

VILLAGE OF VERNON HILLS

ORDINANCE NO. 2011-010

AN ORDINANCE GRANTING FINAL APPROVALS FOR THE GORDMANS BUILDING AND RELATED IMPROVEMENTS ON PROPERTY LOCATED AT 701 NORTH MILWAUKEE AVENUE IN THE RIVERTREE COURT SHOPPING CENTER IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

THE 1st DAY OF MARCH, 2011

Published in pamphlet form by the Authority of the President and Board of Trustees of the Village of Vernon Hills, Lake County, Illinois, this 16th Day of March, 2011

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FOR THE GORDMANS BUILDING AND RELATED
IMPROVEMENTS ON PROPERTY LOCATED AT 701
NORTH MILWAUKEE AVENUE IN THE
RIVERTREE COURT SHOPPING CENTER IN THE
VILLAGE OF VERNON HILLS, LAKE COUNTY**

WHEREAS, Representatives from Inland Commercial Property Management, Inc., representing the property owner and Gordmans, in regard to property at 701 North Milwaukee Avenue and legally described in Exhibit A, have petitioned the Village of Vernon Hills for approval to amend the final site and landscaping plans and building elevations of the former Rivertree Court Theater building to allow the proposed Gordmans Store, and;

WHEREAS, the final approvals would allow renovation and conversion of the former Rivertree Court Theater building into a Gordmans Store and related site improvements within the Rivertree Court Shopping Center, and;

WHEREAS, Inland Real Estate Column I, LLC., is the owner of the property and building located at 701 North Milwaukee Avenue; and

WHEREAS, after the public meeting held February 9, 2011 and continued from time to time by the Planning and Zoning Commission of the Village of Vernon Hills, and pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, said Planning and Zoning Commission has filed its report concerning said petition as listed above and recommended approval to amend the final site and landscaping plans and building elevations for the proposed Gordmans Store building subject to certain conditions.

NOW, THEREFORE BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, COUNTY OF LAKE AND STATE OF ILLINOIS:

SECTION I. Pursuant to the Vernon Hills Zoning Ordinance of 1982, the final site and landscaping plans and building elevations for the Gordmans Store, as set forth in Exhibit B, are hereby approved subject to the conditions listed in Section II.

SECTION II. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, and the recommendations of the Planning and Zoning Commission, the Conditions of Approval, as set forth in Exhibit C, are hereby approved and are made a part of the approvals as listed in the Section above.

SECTION III. SEVERABILITY. In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force

and effect. If any part of this ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

SECTION IV. REPEAL AND SAVINGS CLAUSE. All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this ordinance.

SECTION V. SUCCESSORS AND ASSIGNS. All of the provisions of this Ordinance and the attachments hereto are binding on all successors and assigns of Inland Real Estate Column I, LLC and Gordmans.

SECTION VI. EFFECTIVE DATE. This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

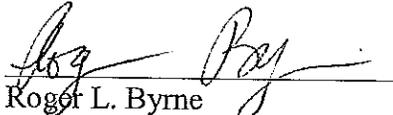
SECTION VII. ORDINANCE NUMBER. This ordinance shall be known as Ordinance Number 2011-010.

Adopted by roll call vote as follows:

AYES: 5 – Schultz, Schwartz, Hebda, Koch, Marquardt

NAYS: 0 - None

ABSENT AND NOT VOTING: 1 - Williams


Roger L. Byrne
Village President

PASSED: 3/1/2011

APPROVED: 3/1/2011

PUBLISHED IN PAMPHLET FORM: 3/16/2011

ATTEST:


Michael Allison
Village Clerk

Exhibit A
Legal Description

Lot 6 in Hawthorn II-Retail Center Amended and Restated, being a subdivision of part of the southwest quarter of Section 34, Township 44 North, Range 11 and part of the Northwest quarter of Section 3, Township 43 North, Range 11 East of the Third Principal Meridian, according to the Plat thereof recorded December 17, 1987 as Document No. 2641246, In Lake County, Illinois.

Exhibit B
Approved Plans

1. Proposed Improvement for Proposed Gordmans prepared by Manhard Consulting LTD with a revised date of 1/25/11 and consisting of 6 pages.
2. Proposed site and floor plans, color elevation plans and elevations with exterior finish schedule prepared by Meyer & Associates Architects with a date of 1/24/11 and consisting of six (6) pages.
3. Landscaping plans prepared by 3D Deign Studio with a date of 1/26/11 and consisting of five pages.

Exhibit C

Terms and Conditions of Approval

1. General compliance with the Proposed Improvement for Proposed Gordmans prepared by Manhard Consulting LTD with a revised date of 1/25/11 and consisting of 6 pages.
2. General compliance with the proposed site and floor plans, color elevation plans and elevations with exterior finish schedule prepared by Meyer & Associates Architects with a date of 1/24/11 and consisting of six (6) pages.
3. General compliance with the Landscaping plans prepared by 3D Deign Studio with a date of 1/26/11 and consisting of five pages.
4. General compliance with the letter from Dan Kerns of Meyer & Associates Architects dated January 24, 2011 and consisting of two (2) pages.
5. The concrete block storage area located at the southeast corner of the property shall be removed prior to issuance of a certificate of occupancy.
6. Review and approval of revised landscaping plans by the Village Landscape Technician and installation of any required plant materials shall be required prior to issuance of certificate of occupancy for the project. The Landscape Technician may require replacement of any plants within the property where, in his opinion, the plant materials are in poor health or missing.
7. Review and approval of the revised site and engineering plans by the Village Engineer. Due to the time of year, this approval may occur after issuance of the building permit for this project. The petitioner shall work with the Village Engineer to inspect the property and make repairs where necessary to the existing parking lot, landscape islands and sidewalks. This will likely require pavement or concrete patching or replacement, new regulatory signs and re-striping of parking spaces, etc.
8. Compliance with all ordinances and standards of the Village.
9. The wall mounted building lighting, Architectural Area Lighting-Flex, will be used on the building.

AFFIDAVIT OF SERVICE

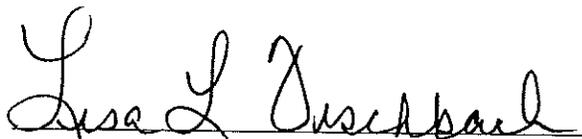
STATE OF ILLINOIS)
)
COUNTY OF LAKE)

I, MICHAEL S. ALLISON, BEING FIRST DULY APPOINTED, DEPOSES AND SAYS ON OATH THAT AS VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, HE DID CAUSE THE FOREGOING CERTIFICATE FOR ORDINANCE 2011-010, AN ORDINANCE GRANTING FINAL APPROVALS FOR THE GORDMANS BUILDING AND RELATED IMPROVEMENTS ON PROPERTY LOCATED AT 701 NORTH MILWAUKEE AVENUE IN THE RIVERTREE COURT SHOPPING CENTER IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

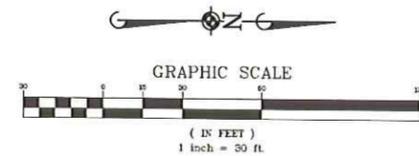


MICHAEL S. ALLISON, VILLAGE CLERK

SUBSCRIBED AND SWORN TO BEFORE
THIS 16TH DAY OF MARCH, 2011


Notary Public





- LEGEND**
- EX. PROPERTY LINE
 - EX. SIDEWALK
 - EX. CONCRETE CURB & GUTTER
 - EX. DEPRESSED CURB
 - EX. EDGE OF PAVEMENT
 - EX. CHAIN-LINK FENCE
 - EX. WOOD FENCE
 - EX. WIRE FENCE
 - EX. STORM LINE
 - EX. SANITARY LINE
 - EX. WATERMAIN LINE
 - EX. STORM/OUTLET CONTROL MANHOLE
 - EX. STORM CATCH BASIN
 - EX. STORM INLET
 - EX. FLARED END SECTION
 - EX. DOWNSPOUT DRAIN
 - EX. SANITARY/COMBINATION MANHOLE
 - EX. CLEANOUT
 - EX. FIRE HYDRANT
 - EX. SIAMESE SPRINKLER CONNECTION
 - EX. VALVE VAULT
 - EX. VALVE BOX
 - EX. AUXILIARY VALVE
 - EX. WATER METER
 - EX. GAS METER
 - EX. ELECTRIC PEDESTAL/BOX
 - EX. ELECTRIC METER
 - EX. ELECTRIC MANHOLE
 - EX. POWER POLE
 - EX. GUY WIRE
 - EX. TELEPHONE PEDESTAL/BOX
 - EX. TELEPHONE MANHOLE
 - EX. SPOT ELEVATION
 - EX. DECIDUOUS TREE WITH TRUNK DIAMETER IN INCHES
 - EX. CONIFEROUS TREE WITH HEIGHT IN FEET
 - EX. DITCH/SWALE
 - EX. LIGHT STANDARD
 - EX. SIGN
 - EX. MAILBOX
 - EX. BOLLARD/POST
 - EX. GUARD RAIL
 - EX. 1 FOOT CONTOURS
 - EX. R/W ELEVATION
 - EX. INVERT ELEVATION

EXISTING SITE DATA	
SITE AREA	7.03 ACRES
EXISTING BUILDING	± 40,214 S.F.
EXISTING PARKING	501 SPACES
EXISTING PARKING RATIO	± 12.46 SPACES/1000 S.F.

- DEMOLITION LEGEND**
- SIDEWALK TO BE REMOVED
 - PAVEMENT TO BE REMOVED
 - XXXX FENCE, GUARD RAIL, CURB AND GUTTER, ETC TO BE REMOVED
 - × TREE TO BE REMOVED
 - APPROXIMATE SAWCUT LINE - CONTRACTOR TO DETERMINE EXACT LIMITS OF REMOVAL TO ALLOW FOR INSTALLATION OF PROPOSED CURB AND GUTTER AND PAVEMENT

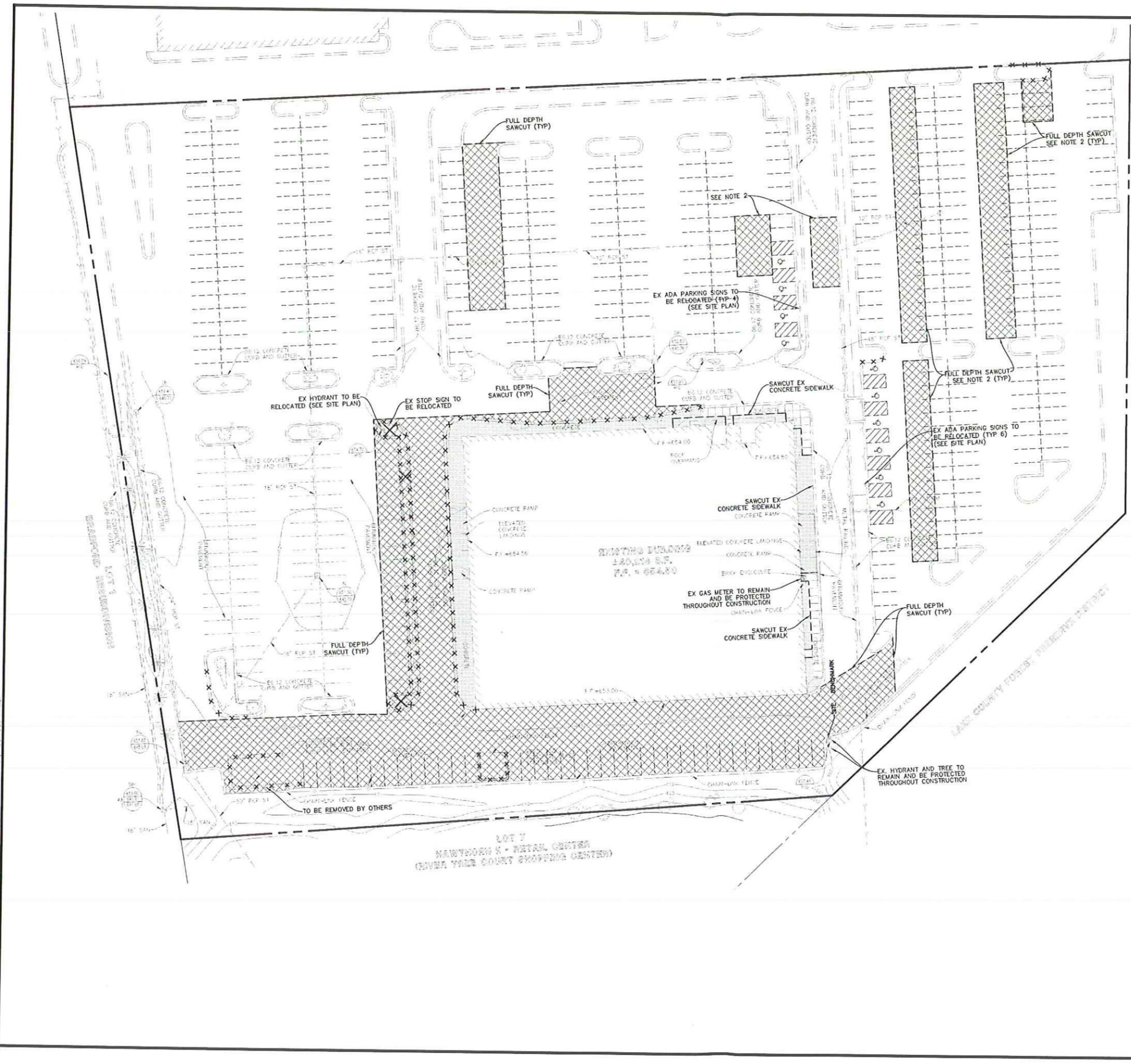
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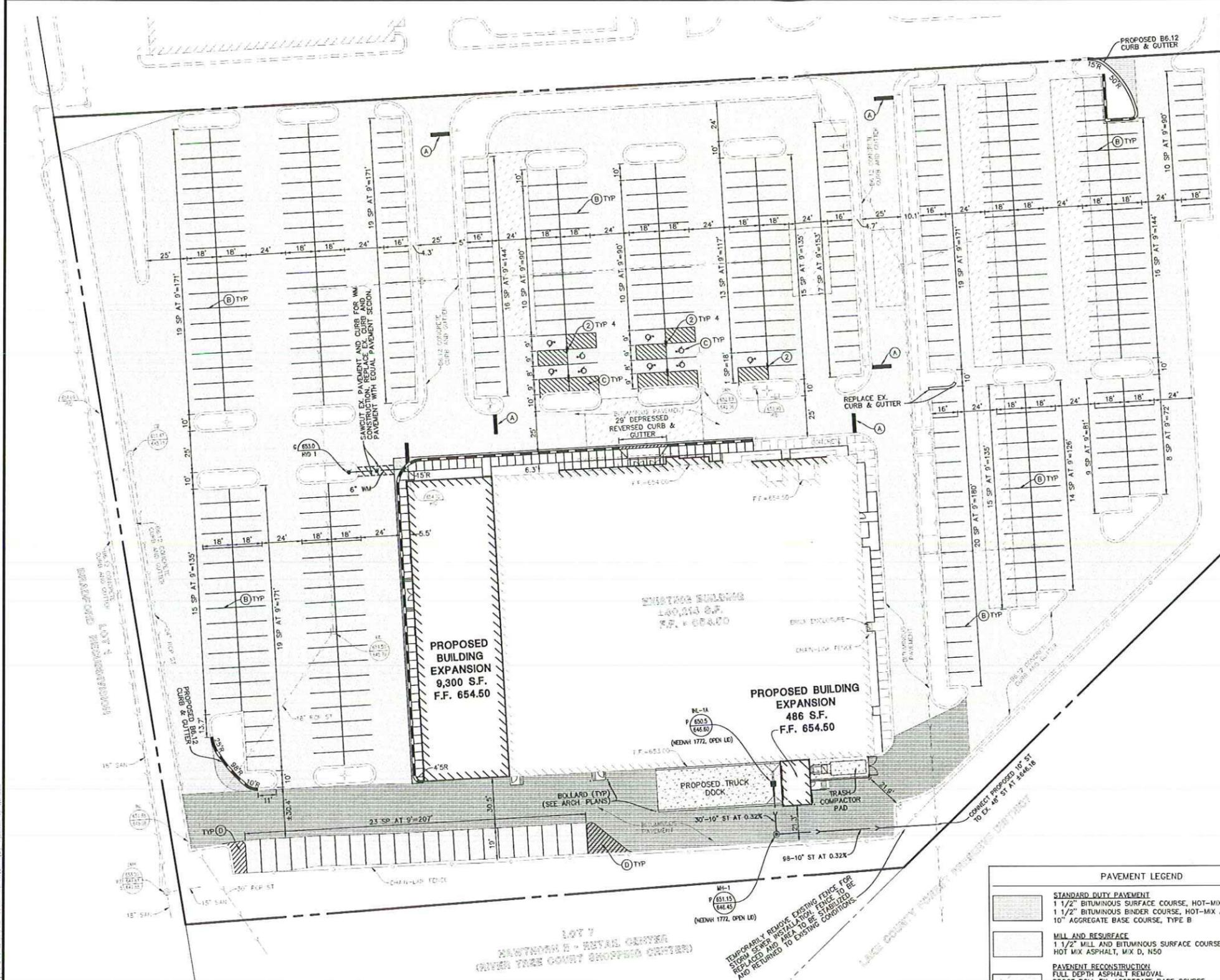
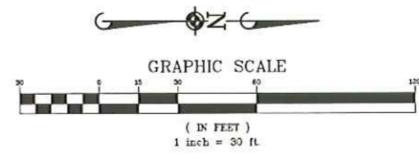
- CONTRACTOR TO INSTALL CONSTRUCTION FENCE AS REQUIRED BY THE VILLAGE OF VERNON HILLS
- ALL LIMITS OF PAVEMENT REMOVAL ARE APPROXIMATE. EXACT DIMENSIONS FOR REMOVAL ARE TO BE DETERMINED PRIOR TO THE START OF CONSTRUCTION DURING A SITE WALK THROUGH WITH THE CONTRACTOR, OWNER AND ENGINEER.

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 800 Wisconsin Parkway, Vernon Hills, IL 60061 • PH: 847.634.5000 • FAX: 847.634.5005 • manhard.com
 Construction Management • Environmental Sciences • Landscaping Architecture • Fireworks

PROPOSED GORDMANS VILLAGE OF VERNON HILLS, ILLINOIS EXISTING CONDITIONS AND DEMOLITION PLAN

PROJ. NO.	12-33-10
PROJ. ASSOC.	DJ
DRAWN BY	MH
DATE	12-33-10
SCALE	1"=30'
SHEET	
2 OF 6	
IRDVH2	100674





SITE DATA	
SITE AREA	7.03 ACRES
PROPOSED BUILDING	50,000 S.F.
STANDARD PARKING PROVIDED	459 SPACES
HANDICAP PARKING PROVIDED	9 SPACES
TOTAL PARKING PROVIDED	468 SPACES
PARKING RATIO	9.36 SPACES/1000 S.F.

SIGN LEGEND	
①	R1-1 STOP SIGN
②	R7-B HANDICAP PARKING SIGN

PAVEMENT MARKING LEGEND	
(A)	24" WHITE STOP BAR
(B)	4" YELLOW LINE
(C)	LETTERS AND SYMBOLS PAVEMENT MARKINGS
(D)	4" YELLOW DIAGONAL AT 45° SPACED 2' O.C.

PAVEMENT LEGEND	
	STANDARD DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 1 1/2" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-12.5, N50 10" AGGREGATE BASE COURSE, TYPE B
	MILL AND RESURFACE 1 1/2" MILL AND BITUMINOUS SURFACE COURSE HOT MIX ASPHALT, MIX D, N50
	PAVEMENT RECONSTRUCTION FULL DEPTH ASPHALT REMOVAL PROOF ROLL EX. AGGREGATE BASE COURSE 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 1 1/2" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-12.5, N50 ** SEE NOTE 21
	HEAVY DUTY PAVEMENT 2 1/4" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 2 1/4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 12" AGGREGATE BASE COURSE, TYPE B
	CONCRETE PAVEMENT 8" CONCRETE PAVEMENT W/ 6 X 6 W1.4 WWF 4" COMPACTED AGGREGATE BASE, TYPE B
	SIDEWALK 5" P.C. CONCRETE 4" COMPACTED AGGREGATE BASE, TYPE B

- GENERAL NOTES:
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
 - ALL PROPOSED CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.
 - ALL RADII ARE MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - ALL CURB RADII SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST, THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY MANHARD CONSULTING, LTD. ON 11-30-10. CONTRACTOR SHALL FIELD CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
 - THE CONTRACTOR SHALL CONTACT J.U.L.I.E. (1-800-692-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES IF SHOWN ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
 - CONTRACTOR SHALL EXCAVATE AND VERIFY ALL EXISTING SEWER OR WATER MAIN LOCATIONS, SIZES, CONDITIONS & ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO ANY UNDERGROUND CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
 - IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
 - LIGHTING AND UNDERGROUND CABLE IF SHOWN ON PLANS ARE FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS AND DETAILS.
 - THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED GRADES AS INDICATED ON PLANS.
 - CONTRACTOR TO VERIFY LOCATION, SIZES, AND ELEVATION OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.
 - RETAINING WALL DESIGN TO BE PROVIDED BY OTHERS.
 - PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 - LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DRIVEWAYS. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 - HANDICAP RAMPS SYMBOLS ARE SHOWN FOR LOCATION ONLY; THEY SHALL BE CONSTRUCTED TO MEET IDOT STANDARD DETAIL 424-001-06 (SHEETS 1 & 2). SEE DETAIL.
 - ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
 - ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST STATE OF ILLINOIS STANDARD DETAILS.
 - SOME EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 - ALL LIMITS OF PAVEMENT RECONSTRUCTION ARE APPROXIMATE. EXACT DIMENSIONS OF RECONSTRUCTION ARE TO BE DETERMINED PRIOR TO THE START OF CONSTRUCTION DURING A SITE WALK THROUGH WITH THE CONTRACTOR, OWNER AND ENGINEER.

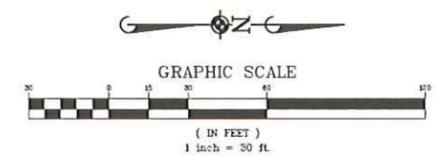
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PROPOSED GORDMANS VILLAGE OF VERNON HILLS, ILLINOIS SITE DIMENSIONAL PAVING AND UTILITY PLAN

SHEET **3** OF **6**

IRDWH2 100674



- LAKE COUNTY SMC SEDIMENTATION AND EROSION CONTROL NOTES
- SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES.
 - SOIL EROSION AND SEDIMENT CONTROL FEATURES SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.
 - DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS OF THE END OF ACTIVE HYDROLOGIC DISTURBANCE, OR REDISTURBANCE.
 - AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 4H:1V, AND APPROVED BY THE ENFORCEMENT OFFICER, SHALL BE STABILIZED WITH SOO, MAT OR BLANKET (NORTH AMERICAN GREEN DS 75) IN COMBINATION WITH SEEDING.
 - EROSION CONTROL BLANKET SHALL BE REQUIRED ON ALL INTERIOR DETENTION BASIN SIDE SLOPES BETWEEN NORMAL WATER LEVEL AND HIGH WATER LEVEL.
 - ALL STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE.
 - ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
 - ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE PROPERTY OWNER SHALL BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE AND REPAIR.
 - A STABILIZED MAT OF AGGREGATE UNDERLAIN WITH FILTER CLOTH (OR OTHER APPROPRIATE MEASURE) SHALL BE LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY, OR PARKING AREA. ANY SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
 - SOIL STOCKPILES SHALL NOT BE LOCATED IN A FLOOD PRONE AREA OR A DESIGNATED BUFFER PROTECTING WATERS OF THE UNITED STATES OR ISOLATED WATERS OF LAKE COUNTY.
 - IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. DISCHARGES SHALL BE ROUTED THROUGH AN EFFECTIVE SEDIMENT CONTROL MEASURE (E.G. SEDIMENT TRAP, SEDIMENT BASIN, POLYACRYLAMIDE TREATMENT SYSTEM OR OTHER APPROPRIATE MEASURE).
 - THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER OR GOVERNING AGENCY.

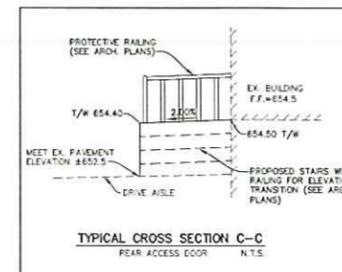
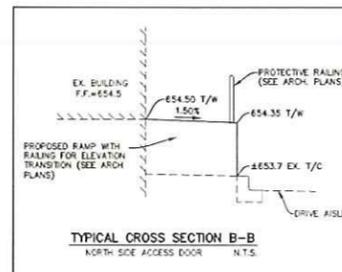
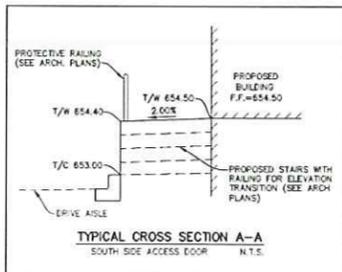
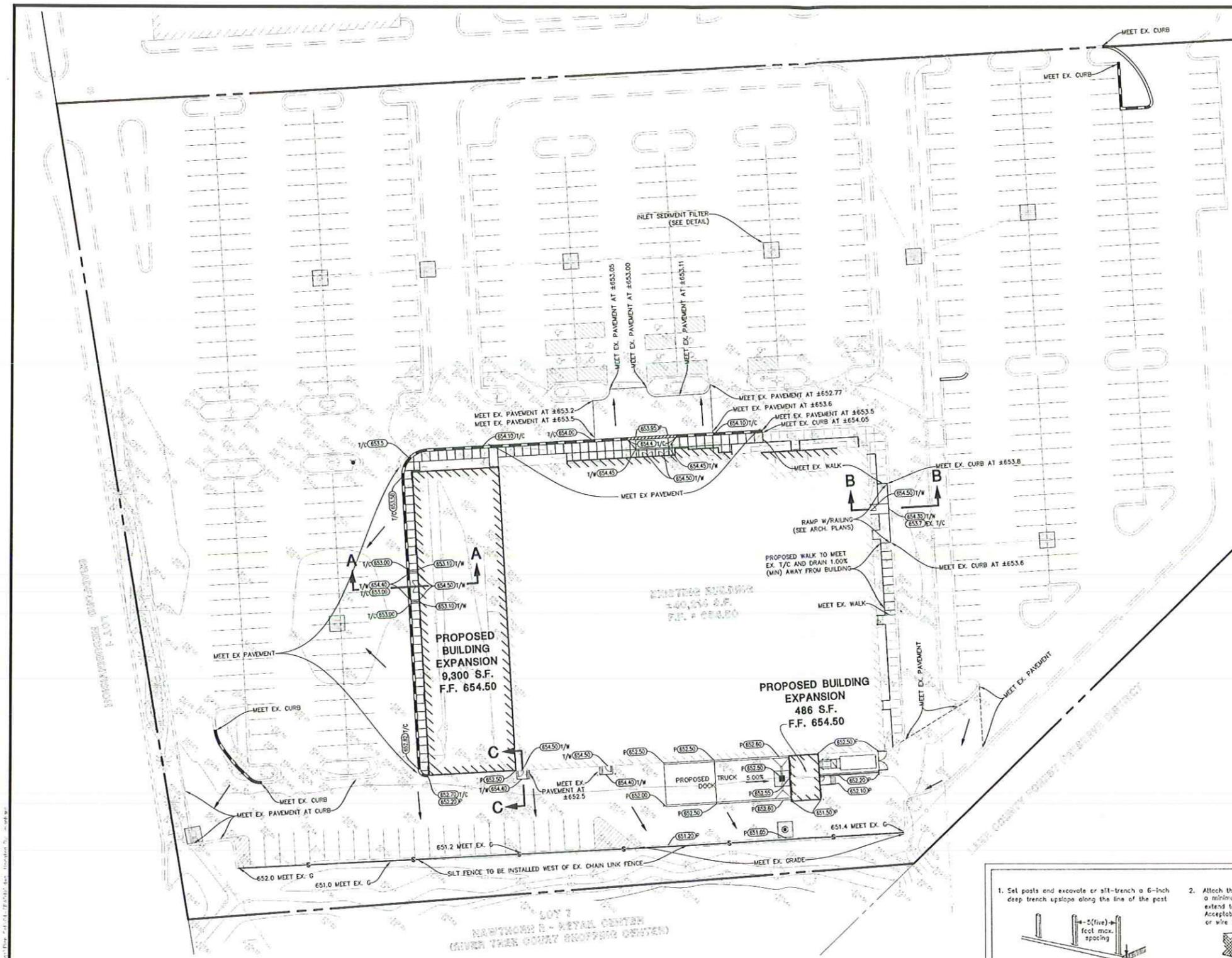
- ADDITIONAL SEDIMENTATION AND EROSION CONTROL NOTES
- ALL VEGETATIVE AND STRUCTURAL EROSION CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE "ILLINOIS PROCEDURE AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL" AND THE "STANDARD AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY.
 - MAINTENANCE AND REPLACEMENT OF EROSION CONTROL ITEMS, WHEN DIRECTED BY THE OWNER, SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.
 - THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OR EQUIVALENT SNOWFALL. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF SAID MEASURES SHALL BE MADE IMMEDIATELY.
 - INSTALL ALL PERIMETER SILT FENCING PRIOR TO ANY CLEARING OR GRADING. ON-SITE SEDIMENT CONTROL MEASURES AS SHOWN AND SPECIFIED BY THIS EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE CONSTRUCTED AND FUNCTIONAL PRIOR TO INITIATING CLEARING, GRADING, STRIPPING, EXCAVATION OR FILLING ACTIVITIES ON THE SITE.
 - STORM WATERS FALLING ON THE ENTIRE SITE SHALL BE DIVERTED INTO THE DETENTION BASIN. PRIOR TO BEGINNING MASS EXCAVATION, THE CONTRACTOR SHALL CONSTRUCT DITCHES, SWALES, SEDIMENTATION TRAPS AND SALTATION CONTROL MEASURES AS REQUIRED TO INTERCEPT SURFACE WATERS BEFORE THEY FLOW ONTO ADJACENT PROPERTY AND CONVEY THEM TO THE DETENTION BASIN.
 - TEMPORARY SEED MIXTURE SHALL BE APPLIED AT 64 LBS / ACRE.
 - AN INLET PROTECTION DEVICE SHALL BE INSTALLED UNDER THE GRATING OF EACH DRAINAGE STRUCTURE.
 - TOPSOIL STOCKPILES SHALL BE SEEDDED WITHIN SEVEN (7) CALENDAR DAYS OF COMPLETION FOR EROSION CONTROL UNLESS THEY WILL BE DISTURBED WITHIN FOURTEEN (14) CALENDAR DAYS. ALL SOIL STORAGE PILES SHALL BE PROTECTED FROM EROSION WITH SILT FENCE ON THE DOWN SLOPE OF THE PILES.
 - DUST CONTROL SHALL BE PERFORMED ON A DAILY BASIS USING WATER DISPERSED FROM A TRUCK MOUNTED TANK WITH STANDARD DISCHARGE HEADER TO PROVIDE A UNIFORM RATE OF APPLICATION WHERE REQUIRED.
 - OVERLAND FLOW SHALL BE DIRECTED TO THE DETENTION BASIN PRIOR TO LEAVING THE SITE.
 - ALL EROSION AND SEDIMENTATION CONTROL SHALL BE IN ACCORDANCE WITH THE MUNICIPALITIES EROSION AND SEDIMENTATION CONTROL ORDINANCES AND THE ILLINOIS URBAN MANUAL.

DATE	
REVISION	
NO.	
DATE	
BY	

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 Civil Engineers & Surveyors • Major Resources • Innovative • Landmarks Architects • Planners
 Construction Management • Environmental Compliance • Landscape Architecture • Urbanism

PROPOSED GORDMANS VILLAGE OF VERNON HILLS, ILLINOIS GRADING PLAN

PROJ. NO.	17
PROJ. ASSOC.	DJ
DATE	12-23-10
SCALE	1"=30'
SHEET	4 OF 6
IRDVH2	100674



LEGEND:

- TEMPORARY INLET SEDIMENT FILTER (SEE DETAIL)
- PAVEMENT DRAINAGE FLOW
- TEMPORARY SILT FENCE (SEE DETAIL)

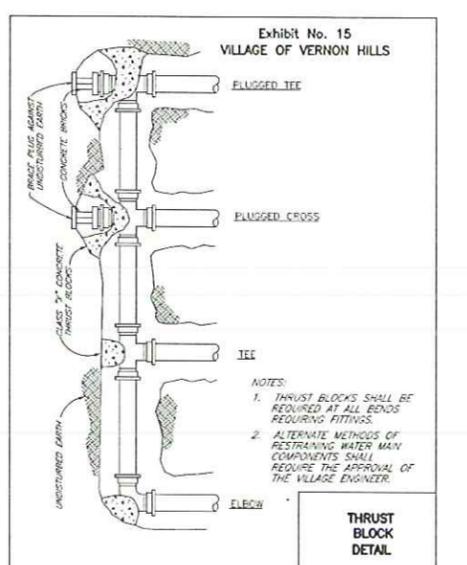
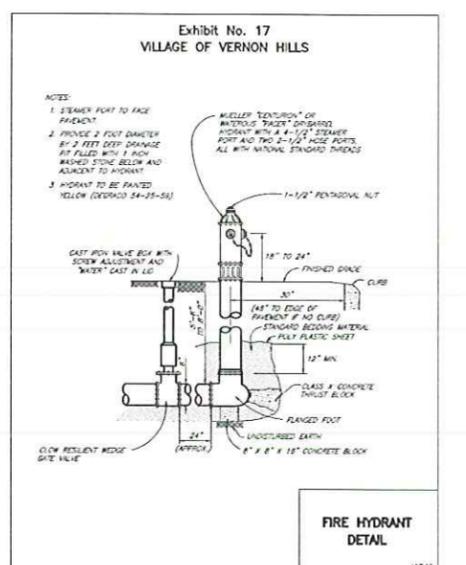
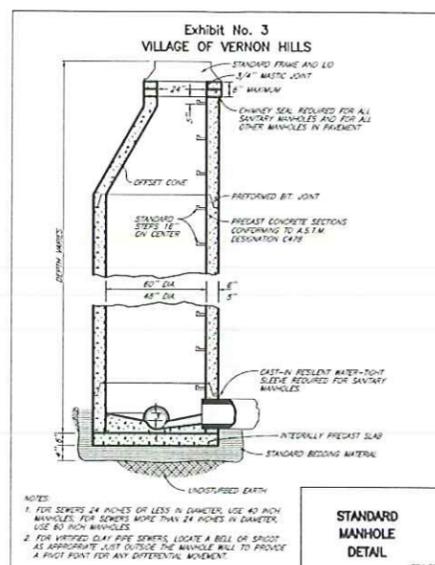
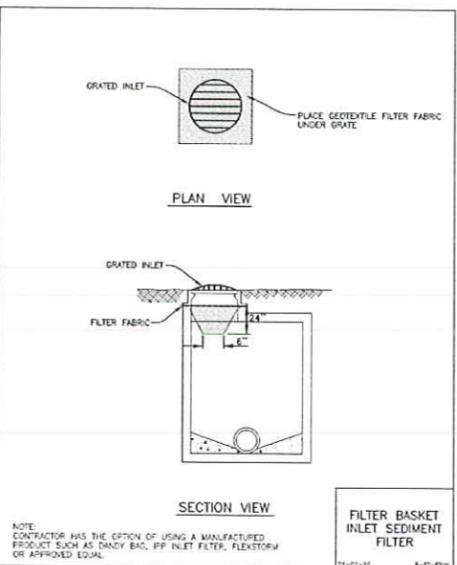
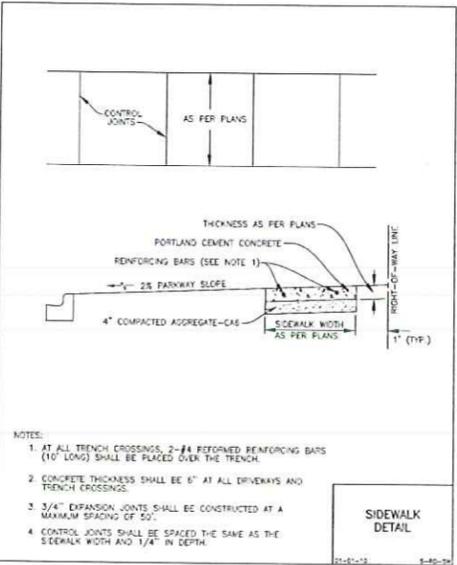
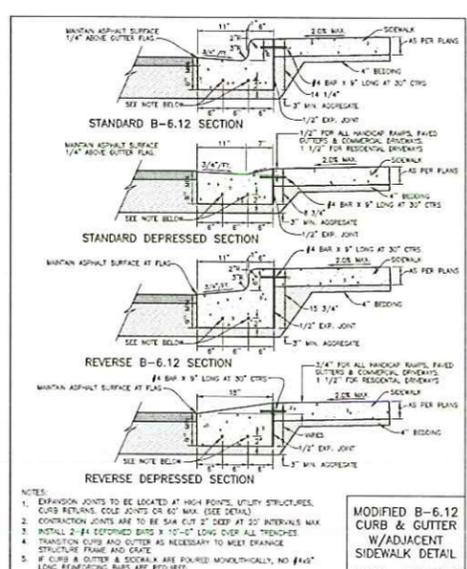
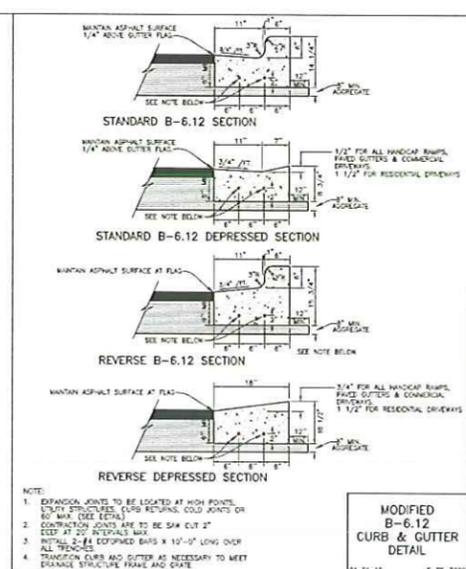
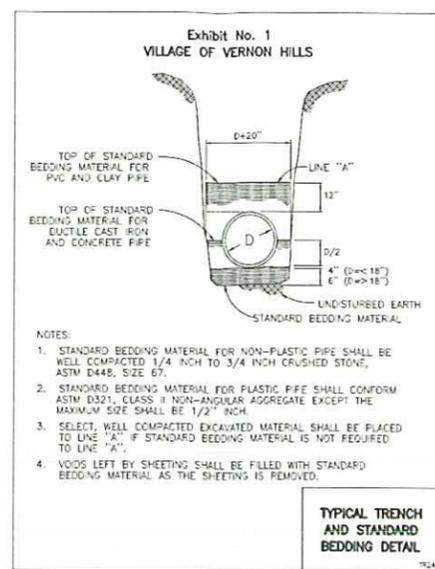
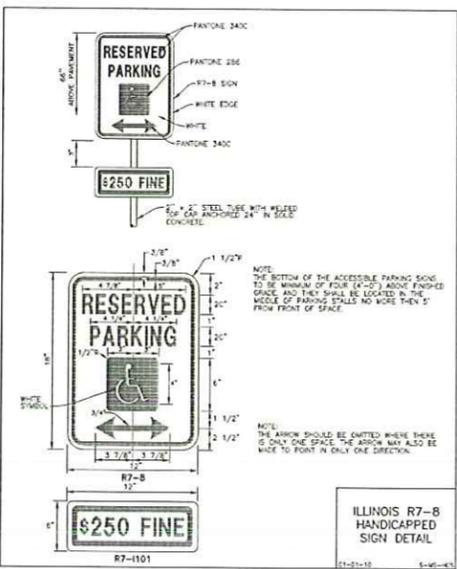
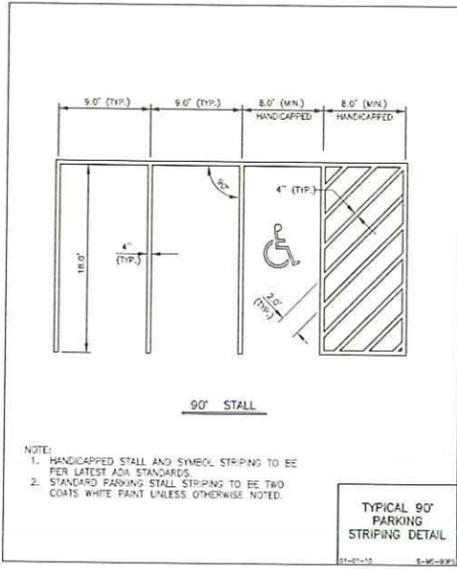
SILT FENCE DETAIL

- Set posts and excavate or slit-trench a 6-inch deep trench upslope along the line of the post.
 - Attach the geotextile filter fabric to each post with a minimum of 3 (three) fasteners per post and extend to the bottom of the trench. Acceptable fasteners include staples, zip ties, or wire ties.
- Backfill and compact the excavated spoil materials.
 - Geotextile Requirements:

Test Method	MSMV
Grab strength - Machine direction	ASTM D 4532 850 N
Grab strength - Machine direction	ASTM D 4532 450 N
Permeability	ASTM D 4491 0.05 sec-1
Apparent opening size	ASTM D 4751 0.075 mm
Ultraviolet stability (retained strength)	ASTM D 4355 70% after 500 hours

* TO MEET AASHTO M288-00

DATE: 4/21/09 BY: KAW
 REVISION: BY:



Manhard CONSULTING LTD.
 1000 Westchester, Des Plaines, IL 60018
 708.463.8800
 Civil Engineers • Surveyors • Water Resources Engineers • Water & Wastewater Engineers • Environmental Scientists • Landscaping Architects • Planners

PROPOSED GORDMANS VILLAGE OF VERNON HILLS, ILLINOIS CONSTRUCTION DETAILS

PROJ. NO.: FF
 PROJ. ASSOC.: DJ
 DRAWN BY: BH
 DATE: 12-30-10
 SCALE: N.T.S.

SHEET 5 OF 6
 IRDVH2 100674

MANHARD CONSULTING, LTD.
STANDARD SPECIFICATIONS
GENERAL CONDITIONS

CONTRACTOR acknowledges and agrees that the use and reliance of these Plans and Specifications is sufficient consideration for CONTRACTOR'S covenants stated herein.

DEFINITION OF TERMS

- a. "CLIENT" shall mean INLAND COMMERCIAL PROPERTY MANAGEMENT, which is the person or entity with whom Manhard Consulting, Ltd. has contracted with to prepare Civil Engineering Plans and Specifications.
- b. "ENGINEER" shall mean Manhard Consulting, Ltd., a Civil Engineering consultant on the subject project.
- c. "PLANS AND SPECIFICATIONS" shall mean the Civil Engineering Plans and Specifications prepared by the ENGINEER, which may be a part of the contract documents for the subject project.
- d. "CONTRACTOR" shall mean any person or entity performing any work described in the PLANS and SPECIFICATIONS.
- e. "JURISDICTIONAL GOVERNMENTAL ENTITY" shall mean any municipal, county, state or federal unit of government from whom an approval, permit and/or review is required for any aspect of the subject project.

INTENT OF THE CONTRACT DOCUMENTS

The Intent of the PLANS and SPECIFICATIONS is to set forth certain requirements of performance, type of equipment and structures, and standards of materials and construction. They may also identify labor and materials, equipment and transportation necessary for the proper execution of the work but are not intended to be infinitely determined so as to include minor items obviously required as part of the work. The PLANS and SPECIFICATIONS require new material and equipment unless otherwise indicated, and to require complete performance of the work in spite of omissions or specific references to any minor component part. It is not intended, however, that materials or work not covered by or properly inferred from any heading, branch, class or trade of the SPECIFICATIONS shall be applied unless distinctly so noted. Materials or work described in words, which so applied have a well-known technical or trade meaning, shall be held to refer to such recognized standards.

INTERPRETATION OF PLANS AND SPECIFICATIONS

- a. The CLIENT and/or CONTRACTOR shall promptly report any errors or ambiguities in the PLANS and SPECIFICATIONS to the ENGINEER. Questions as to meaning of PLANS and SPECIFICATIONS shall be interpreted by the ENGINEER, whose decision shall be final and binding on all parties concerned.
- b. The ENGINEER will provide the CLIENT with such information as may be required to show revised or additional details of construction.
- c. Should any discrepancies or conflicts on the PLANS or SPECIFICATIONS be discovered either prior to or after award of the contract, the ENGINEER'S attention shall be called to the same before the work is begun thereon and the proper corrections made. Neither the CLIENT nor the CONTRACTOR shall take advantage of any error or omissions in the PLANS and SPECIFICATIONS. The ENGINEER will provide information when errors or omissions are discovered.

GOVERNING CODES

All works herein proposed shall be completed in accordance with all requirements of any JURISDICTIONAL GOVERNMENTAL ENTITY, and all such pertinent laws, decrees, ordinances and the like shall be considered to be a part of these SPECIFICATIONS. If a discrepancy is noted between the PLANS and SPECIFICATIONS and requirements of any JURISDICTIONAL GOVERNMENTAL ENTITY, the CLIENT and/or the CONTRACTOR shall immediately notify the ENGINEER in writing.

LOCATION OF UNDERGROUND FACILITIES AND UTILITIES

When the PLANS and SPECIFICATIONS include information pertaining to the location of existing underground facilities and utilities (including but not limited to water mains, sanitary sewers, storm sewers, electric, telephone, gas and cable TV lines), such information represents only the opinion of the ENGINEER as to the approximate location and elevation of such facilities and utilities. At the locations where detailed positions of these facilities and utilities become necessary to the new construction, including all points of connection, the CONTRACTOR shall furnish all labor and tools to verify or definitively establish the horizontal location, elevation, size and material (if appropriate) of the facilities and utilities. The CONTRACTOR shall notify the ENGINEER at least 48 hours prior to construction if any discrepancies in existing utility information or conflicts with existing utilities exist. The ENGINEER assumes no responsibility whatever with respect to the sufficiency or accuracy of the information shown on the PLANS and SPECIFICATIONS relative to the location of underground facilities and utilities, nor the manner in which they are removed or adjusted.

It shall be the CONTRACTOR'S responsibility prior to construction, to notify all Utility Companies of the intentions to begin construction and to verify the actual location of all such facilities and utilities. The CONTRACTOR shall also obtain from the respective Utility Companies the working schedules for removing or adjusting these facilities.

UNSATURATED SOILS

The PLANS have been prepared by the ENGINEER based on the assumption that all soils on the project are suitable to support the proposed improvements shown. The CONTRACTOR shall immediately notify the ENGINEER if he discovers or encounters an obstruction that prevents the installation of the improvement according to the line and grades shown on the PLANS.

PROTECTION OF TREES

All trees that are not to be removed shall be protected from damage. Trees shall not be removed unless requested to do so in writing by the CLIENT.

NOTIFICATION OF OWNERS OF FACILITIES AND UTILITIES

The CONTRACTOR shall notify all applicable Jurisdictional Governmental Entities or utility companies, i.e., water, sewer, electric, telephone, gas and cable TV prior to any construction so that said entity or company can establish the location and elevation of underground pipes, conduits or cables adjoining or crossing proposed construction.

SOIL BORING DATA

Copies of results of soil boring and reports, if such borings were taken by the CLIENT in the vicinity of the proposed construction site, should be made available by the CLIENT to the CONTRACTOR. These borings are presented for whatever purpose the CONTRACTOR chooses to make of them. The ENGINEER makes no representation or warranty regarding the number, location, spacing or depth of borings taken, nor the accuracy or reliability of the information given in the results thereof.

Further, the ENGINEER does not assume responsibility for the results of borings during construction, the soil and groundwater condition may be different than indicated. Neither does the ENGINEER assume responsibility for variations of soil and groundwater at location between borings. The CONTRACTOR is required to make its own borings, explorations and observations to determine soil and groundwater conditions.

EARTHWORK CALCULATIONS AND CROSS SECTIONS

Intentionally Deleted

TRAFFIC CONTROL

The CONTRACTOR shall provide when required by any JURISDICTIONAL GOVERNMENTAL ENTITY, all signs, equipment, and personnel necessary to provide for safe and efficient traffic flow in all areas where the work will interrupt, interfere or cause to change in any form, the conditions of traffic flow that existed prior to the commencement of any portions of the work. The CLIENT may, at his discretion, require the CONTRACTOR to furnish traffic control under these or other circumstances where in his opinion it is necessary for the protection of life and property. Emergency vehicle access shall be maintained at all times. Unless authorized by the CLIENT or CLIENT'S construction representative, all existing access points shall be maintained at all times by the CONTRACTOR. The need for traffic control shall be anticipated by the CLIENT.

WORK AREA

The CONTRACTOR, his agents and employees and their employees and all equipment, machinery and vehicles shall confine their work within the boundaries of the project or work area specified by the CLIENT. The CONTRACTOR shall be solely liable for damage caused by him or his agents and employees and their equipment, machinery and vehicles on adjacent property or areas outside designated work areas.

UTILITY POLES

It shall be the responsibility of the CONTRACTOR to arrange for the relocation or bracing of existing utility poles that may be within the working limits of this contract. It is expressly understood that all work and costs connected with the maintenance of these utility poles, their temporary relocations, etc., shall be the responsibility of the CLIENT or the CONTRACTOR.

RESTORATION

It is the intent of these SPECIFICATIONS that clean-up and final restoration shall be performed immediately upon completion of each phase of the work or when so directed by the CLIENT so that these areas will be restored as nearly as possible to their original condition or better, and shall include but not be limited to, restoration of maintained lawns and rights-of-way, roadways, driveways, sidewalks, ditches, bushes, hedges, trees, shrubs, fences, mailboxes, sewers, drain tiles, water mains, etc.

ROAD CLEANING

The CONTRACTOR shall maintain roadways adjoining the project site free from mud and debris at all times. If mud and/or debris is carried onto the roadways from vehicles entering onto the highway from either the CONTRACTOR'S trucks, his employees' vehicles, or his material supplies, the CONTRACTOR shall immediately remove said mud and/or debris.

SAFETY AND PROTECTION

The CONTRACTOR shall be solely and completely responsible for the conditions of the job site, including safety of all persons and property during performance of the work. This requirement shall apply continuously and not be limited to normal working hours. The CONTRACTOR shall comply with all applicable Laws and Regulations relating to the safety of persons or property, or to the protection of persons or property from damage. Injury or loss and shall erect and maintain all necessary safeguards for such safety and protection. CONTRACTOR'S duties and responsibilities for safety and for protection of the work shall continue until such time as all work is completed and the CLIENT has notified CONTRACTOR that the work is acceptable. The duties of the ENGINEER do not include review of the adequacy of either the CONTRACTOR'S or the general public's safety in, on, or near the construction site.

HOLD HARMLESS

To the fullest extent permitted by law, any CONTRACTOR, material supplier or other entity by use of these plans and specifications hereby waives any right of contribution and agrees to indemnify, defend, save and hold harmless Manhard Consulting, Ltd. and its agents, employees and consultants from and against all manner of claims, causes, causes of action, damages, losses and expenses, including but not limited to, attorney's fees arising out of, resulting from or in connection with the performance of any work, pursuant to or with respect to these plans and specifications. However, this indemnity shall not be construed to indemnify Manhard Consulting, Ltd., its consultants, agents or employees against its own negligence.

Claims, damages, losses and expenses as these words are used in the Agreement shall mean and include, but not be limited to: (1) injury or damage occurring by reason of the failure of or use or misuse of any hoist, rigging, blocking, scaffolding or any and all other kinds of forms or equipment, whether or not the same be owned, furnished or loaned by any party or entity, including any contractor; (2) all attorney's fees and costs incurred in bringing an action to enforce the provisions of this indemnity; (3) costs for time expended by the indemnified party and its employees, at its usual rates plus costs of travel, long distance telephone and reproduction of documents and (4) consequential damages. Only to the extent necessary to prevent this agreement from being void under any state statute of the state where the work specified in these Plans and Specifications are to be performed, this indemnity agreement shall not require the CONTRACTOR to indemnify the ENGINEER, its consultants, agents or employees against its own negligence.

INSURANCE

Any party using these plans, including any contractor, material supplier, or other entity shall obtain, (prior to commencing any work) general liability insurance insuring against all damages and claims for any bodily injuries, death or property damage arising out of any work, including the construction work provided for in these plans, and shall name Manhard Consulting, Ltd. and its consultants, agents and representatives as additional insureds under such insurance policy. Such insurance must contain a clause stating that the insurance is primary coverage for Manhard Consulting, Ltd. and Manhard Consulting, Ltd.'s other applicable coverage is considered secondary.

THIRD PARTY BENEFICIARY

Manhard Consulting, Ltd. the ENGINEER, is intended to be a third party beneficiary of this willing agreement and requirement. Note: These Specifications are for Northern Illinois. Revised 01/01/10

DETAILED SPECIFICATIONS

I. EXCAVATION AND GRADING

A. STANDARDS

This work shall be completed in conformance with the applicable sections of the Standard Specifications for Road and Bridge Construction, Department of Transportation, State of Illinois, latest edition except as modified below.

B. EXCAVATION AND EMBANKMENT

DEMOLITION

- a. CONTRACTOR shall perform all demolition work in accordance with all applicable Federal, State and local requirements.
- b. The CONTRACTOR shall coordinate all demolition with the JURISDICTIONAL GOVERNING ENTITY and CLIENT to ensure protection and maintenance of sanitary sewer and water utilities as necessary and to provide stormwater conveyance until new facilities are constructed, installed and placed into operation.
- c. CONTRACTOR shall develop and implement a daily program of dust control and shall submit and obtain JURISDICTIONAL GOVERNING ENTITY approval of dust control procedures prior to demolition of any structures. Modification of dust control procedures shall be performed by the CONTRACTOR to the satisfaction of the JURISDICTIONAL GOVERNING ENTITY as requested.
- d. All asphalt pavement, curb and gutter and miscellaneous structures shall be demolished by the CONTRACTOR and disposed of as approved by CLIENT.
- e. All existing sewers outside the building as indicated on the PLANS to be abandoned shall be removed from the site and disposed of by the CONTRACTOR.
- f. Voids left by any item removed under any proposed building, pavement or walk or within 24" thereof shall be filled and compacted with suitable materials by the CONTRACTOR.
- g. All fire access lanes within the project area shall remain in service, clear of debris, and accessible for use by emergency vehicles.
- h. Any existing walls encountered shall be exposed and sealed 3' below proposed finish grade by the CONTRACTOR in accordance with Section 922.120 of the Illinois Water Well Construction Code, Department of Public Health, Latest Edition, and all applicable local rules and regulations.

- i. Any existing piping tanks and grease traps encountered shall have all liquids and solids removed and disposed of by a licensed commercial hauler in accordance with JURISDICTIONAL GOVERNING ENTITY regulations, and the tank and grease traps shall then be filled with suitable materials or removed from the site and disposed of by the CONTRACTOR.
- j. Any material containing asbestos found within existing structures shall be removed from the site and disposed of off-site by the CONTRACTOR in accordance with County, State and Federal regulations.
- k. Prior to the commencement of any demolition activity, the OWNER/CONTRACTOR shall obtain all applicable permits to disconnect existing utility services to each existing structure proposed for demolition.

***CLEANING, GRUBBING AND TREE REMOVAL**

Intentionally Deleted

***TOPSOIL STRIPPING**

Intentionally Deleted

TOPSOIL RESURFACE

Upon completion of roadway and/or parking lot improvements and installation of underground utilities a minimum of four inches (4") of topsoil shall be respread over all unpaved areas which have been disturbed by earthwork construction, except building pads and other designated areas, which shall be kept free from topsoil.

SEEDING

Upon completion of topsoil respread, the CONTRACTOR shall apply seed and fertilizer as designated on the PLANS or as designated on landscape drawings and specifications provided by the CLIENT. The CONTRACTOR shall adhere to the requirements of the landscape plans, however in the absence of landscape drawings and specifications, seeding shall be as designated on the PLANS and in accordance with the above standards.

EXCAVATION AND EMBANKMENT (FULL)

Upon completion of topsoil stripping, all excavation and embankments shall be completed as shown on the PLANS. All suitable excavated materials shall be hauled, placed (moisture conditioned if necessary) and compacted in the embankment areas. The CONTRACTOR shall include all dewatering, temporary ditches and culverts necessary to complete the excavation and embankment.

Specifically included in the scope of Excavation and Embankment is grading and shaping of all cut or fill areas including swales and ditches; handling of sewer spoil, etc., and all work required to provide positive drainage at the end of each working day and upon completion of a section.

The CONTRACTOR shall be responsible for the excavation of all swales and ditches and for the excavation or filling of the parking lot within the work limits to within ± 0.1 feet of the proposed subgrade elevations indicated on the PLANS. He shall be responsible for obtaining inspection in accordance with the minimum values listed in the table below for all embankments unless more stringent values are listed in the table report, and to use any method approved by the CLIENT necessary to obtain this compaction (i.e., soil fabric or any underdrain that may be required).

Parent	Compaction		Pavement &	
	Standard	Modified Proctor	Floor Slabs	Grass Areas
Sandy Soils	95%	90%	95%	90%
Clayey Soils	90%	85%	90%	85%

Unless approved otherwise in the soils report or by the CLIENT, the CONTRACTOR shall notify the CLIENT if proper compaction cannot be obtained so that the CLIENT may determine what remedial measures may be needed.

As soils testing firm employed by the CLIENT shall determine which soils are unsuitable. Materials in their natural state being defined as unsuitable that would be suitable material if moisture conditioned, shall be conditioned by the CONTRACTOR and used as suitable embankment material or hauled from the site.

For purposes of definition, unsuitable material shall be as follows unless determined otherwise by the Soils Engineer:
a. Any soil whose optimum moisture content exceeds 25%
b. Any cohesive soil with an unconfined compressive strength of 1.5 tons per square foot or less.
c. Any soil whose air content exceeds 60% by weight.
d. Any soil whose maximum density is less than 100 pounds per cubic foot.
e. Any soil containing organic, deleterious, or hazardous material.

Upon completion of excavation and shaping of the water retention areas, all silt seams and granular or sandy soils shall be removed to a minimum depth of three feet below the subgrade and replaced with an impermeable clay liner, including adjacent to and under storm sewer inlets and outlets. It is the intent of these PLANS and SPECIFICATIONS that the CONTRACTOR shall prepare the lake bottom, silt slopes, and compaction thereof so that the lakes will maintain the proposed normal water level and that leakage does not exceed $1/8$ inch per week.

Ditches and swales are to be excavated to the lines and grades indicated on the PLANS. All suitable materials excavated from the ditches shall be used in construction of the embankments.

The CONTRACTOR shall notify the CLIENT immediately upon encountering groundwater during excavation. If in the opinion of the CLIENT or the JURISDICTIONAL GOVERNING ENTITY this condition necessitates the installation of perforated drain tile bedded in washed gravel or open storm sewer joints wrapped with fabric, the CONTRACTOR shall install the same.

During excavation and embankment, grades may be adjusted to provide an overall earthwork balance. The CONTRACTOR shall cooperate fully with the CLIENT in adjustment of grades, construction methods and placement of material to meet the above goals and shall immediately advise CLIENT if he believes that the earthwork will not balance.

It is the intent of these PLANS that storm waters falling on the site be diverted into sedimentation / lake / detention basins during construction. The CONTRACTOR shall construct and maintain any temporary ditches or swales that are necessary to accomplish this prior to beginning mass excavation.

EROSION CONTROL

Subtle erosion control practices shall be maintained by the CONTRACTOR in accordance with Illinois Urban Manual and all applicable Soil Erosion and Sedimentation Control ordinances and the PLANS.

UNDERCUTTING DURING EARTHWORK

If the subgrade cannot be dried adequately by drying as outlined above for placement of material to planned grades and if the CLIENT determines that the subgrade does not meet the standards set forth above, the CLIENT may require undercutting.

MISCELLANEOUS CONTRACT ITEMS

The following items may be required at the CLIENT'S option, as indicated on the PLANS or as required by the JURISDICTIONAL GOVERNING ENTITY.

(4) GEOTEXTILE FABRIC

Geotextile fabric or approved equal shall be provided in areas as designated by the CLIENT, as indicated on the PLANS or as required by the JURISDICTIONAL GOVERNING ENTITY where proper compaction of embankments over existing soil soils is not possible. Geotextile fabric shall meet the material specifications of and shall be installed in accordance with the above standards.

(5) EROSION CONTROL BLANKET

Erosion control blanket or approved equal shall be provided in areas as designated by the CLIENT, as indicated on the PLANS or as required by the JURISDICTIONAL GOVERNING ENTITY for the stabilization of disturbed areas. Erosion control blanket shall meet the material specifications of and shall be installed in accordance with the above standards, the Illinois Urban Manual and/or the details shown on the PLANS.

II. UNDERGROUND IMPROVEMENTS

A. GENERAL

STANDARDS

All underground improvements shall be constructed and tested in accordance with the Standard Specifications for Water and Sewer Construction in Illinois and Standard Specifications for Road and Bridge Construction, Department of Transportation, State of Illinois, latest edition. In the event of conflicting guidelines, the more restrictive shall govern.

SELECTED GRANULAR BACKFILL

Selected Granular Backfill shall be required for all sewer and water main trenches lying under existing or proposed streets, driveways, parking lots and within 24" thereof, and where noted on PLANS. All material placed in such trenches shall be in accordance with the above standards.

MANHOLES, CATCH BASIN, INLETS & VALVE VAULTS

All Manholes, Catch Basins, Inlets, and Valve Vaults shall be constructed of reinforced precast concrete ring construction with tongue and groove joints in conformance with the latest revision of ASTM designation C-478. All joints between sections and frames (except sanitary manholes, see Section 108 Manholes, below) shall be sealed with mastic type bituminous jointing compound. CONTRACTOR shall remove all excess mastic on inside of structure and butter joints with mortar. Manholes are to have offset curves except that no curve shall be used on storm manholes 6'-0" deep or less in which case a reinforced concrete flat top section shall be used, and Valve Vaults shall have concrete cones. Only concrete adjustment rings will be permitted where necessary and shall be limited to two adjustment rings totaling not more than 6" in height. All manholes and catch basin steps shall be copolymer polypropylene with continuous 1/2" steel reinforcement as manufactured by MA Industries, or approved equal.

AUGER BORING AND CASING

Intentionally Deleted

AUGER (OPEN BORE)

The CONTRACTOR shall auger (open bore) where noted on PLANS.

HORIZONTAL AND VERTICAL SEPARATION OF WATER AND SEWER MAINS

Horizontal and vertical separation of water and sewer mains shall be in accordance with Standard Specifications for Water and Sewer Construction in Illinois Section 411-2.61A and 411-2.61B and Standard Drawing 16, 15, 20, 21, 22, 23 and 24.

STRUCTURE ADJUSTMENTS

Structures shall be adjusted to the finished grade as shown on PLANS.

***SANITARY SEWERS AND APPURTENANCES**

Intentionally Deleted

A. WATER MAINS AND APPURTENANCES

WATER MAIN PIPE (1" AND LARGER)

Water main pipe shall conform to the following:

- a. Ductile iron cement lined pipe conforming to the latest revision of ANSI/AWWA C151/A21.51, Thickness Class 52, minimum 150 psi working pressure with "push on" type joints.
- b. Polyvinyl Chloride Pipe (PVC) conforming to the latest revision of ANSI/AWWA C900 (4-inch thru 12-inch) or ANSI/AWWA C905 (14-inch thru 48-inch) with a pressure rating of 235 psi, SDR 11 in accordance with ASTM D2411. Joints shall be pressure rated in accordance with ASTM D3159 with elastomeric seals in accordance with ASTM F477.

Installation shall be in accordance with ANSI/AWWA C900 (Ductile Iron) or ANSI/AWWA C905 (PVC). All water main shall have mechanical joint cast iron or ductile iron fittings in accordance with ANSI/AWWA C115/A21.10 or compact ductile iron fittings in accordance with ANSI/AWWA C153/A21.51 with 250 psi working pressure.

Round or monolithic concrete thrust blocks are required to brace all lines, plugs, caps, and bends of 11 1/4 degree deflection or greater. Minimum cover for all water mains, including services, shall be 5'-0" from the finished grade. Water main shall include bedding and backfill.

***WATER VALVES**

Intentionally Deleted

***VALVE VAULTS**

Intentionally Deleted

FIRE HYDRANTS

Fire Hydrants shall be per JURISDICTIONAL GOVERNING ENTITY requirements. All the hydrants shall be located as shown on the PLANS and shall be installed in a manner acceptable to the JURISDICTIONAL GOVERNING ENTITY after installation and shall be adjusted to final grade.

***TAP, STOPS AND BOX**

Intentionally Deleted

***SMALL WATER SERVICES (2" DIAMETER OR LESS)**

Intentionally Deleted

DISINFECTION

Disinfectants shall meet all of the requirements of the State of Illinois, Environmental Protection Agency, Public Water Supply Division. The safe quality of the water supply shall be demonstrated by bacteriological analysis of samples collected at sampling taps on at least two consecutive days following disinfection of the mains and copies of the said report submitted to the JURISDICTIONAL GOVERNING ENTITY and the CLIENT.

PRESSURE TEST

Allowable leakage, test pressure and duration shall be as per the requirements of the JURISDICTIONAL GOVERNING ENTITY.

DIY CONNECTION TO EXISTING WATER MAIN

A diy connection to existing water main shall include a connection to an existing water main stub where shown on the PLANS. The CONTRACTOR shall obtain approval of the JURISDICTIONAL GOVERNING ENTITY to shut down any main, including a submain of a schedule of the time of shut off and the time the line will be returned to service. All mains shut down that are opened to atmosphere must be disinfected prior to returning main into service.

POLYETHYLENE TUBE (FOR DUCTILE IRON WATER MAIN ONLY)

The CLIENT, or JURISDICTIONAL GOVERNING ENTITY may request that portions of the water main be enclosed in a polyethylene tube, Class F-181 or approved equal installed as per the manufacturer's recommendations, should soil conditions so warrant its use.

FOUNDATION, BEDDING AND HAUNCHING

Foundation, Bedding and Haunching shall be wet coarse aggregate or moist fine aggregate in accordance with the above standards and placed as shown on the detail.

D. STORM SEWERS AND APPURTENANCES

STORM SEWER PIPE

Storm sewer pipe shall conform to the following:

- a. Reinforced concrete pipe minimum Class IV in conformance with the latest revision of ASTM designation C76 with C361 or C443 flexible gasket joints, except that bituminous mastic joints may be used in grass areas.
- b. Storm sewers may be constructed with reinforced concrete pipe using only flexible gasket joints (ASTM 361 or 443) for water main crossings. Storm sewer shall include bedding and trench backfill.

MANHOLES, INLETS & CATCH BASINS

Manholes, Inlets and Catch Basins shall be constructed in conformance with Section 108 Manholes, etc. above. The space between connecting pipes and the wall of the manhole shall be completely filled with non-shrink hydraulic cement mortar. Frames and lids shall be Neoroh or approved equal unless specified otherwise on the PLANS. All frames and grates shall be provided such that the frame fully covers the opening plus 2" of the structure as a minimum. *Provide "Wave" Type frame & grate for all structures located in curb where gradient exceed 2.0%. Manholes shall include steps, frame & grate, bedding and trench backfill.

***FLARED END SECTION**

Intentionally Deleted

FOUNDATION, BEDDING AND HAUNCHING

Foundation, Bedding and Haunching shall be wet coarse aggregate or moist fine aggregate in accordance with the above standards and placed as shown on the detail.

***UNDERDRAINS**

Intentionally Deleted

MISCELLANEOUS

- a. All existing field drainage tile or storm sewers encountered or damaged during construction shall either be restored to their original condition, properly re-routed and/or connected to the storm sewer system.
- b. Flooding drains shall be connected to sump pumps or discharged directly into storm sewers. Flooding drains or drainage shall not be connected to the sanitary sewer.

CONNECTION FOR STORM SERVICE TO STORM MAIN

Connections of storm sewer services to storm sewer mains should be made with manufactured tees when available. Availability of manufactured tees will be a function of the storm sewer material and pipe diameter size of the service sewer and main. If manufactured tees are not reasonably available, connections should be made in accordance with manufacturer's recommendations for all storm sewer offset on concrete pipe. For concrete pipe connections without manufactured tees the storm sewer main shall be machine bored and the service sewer connected using non-shrink grout for the void between pipes. The service sewer shall be cut flush with the inside wall of the sewer main and not extend into the inside flow area of the main or otherwise impede flow.

III. ROADWAY AND PARKING LOT IMPROVEMENTS

STANDARDS

Work shall be completed in accordance with the applicable sections of the Standard Specifications for Road and Bridge Construction, Department of Transportation, State of Illinois, latest edition.

SUBGRADE PREPARATION

The CONTRACTOR shall be responsible for all subgrade compaction and preparation to ± 0.1 foot of the proposed subgrade elevation with the average subgrade elevation to be within ± 0.02 feet of the proposed subgrade grade elevation.

BITUMINOUS BASE COURSE

Bituminous base course shall be installed where shown on the PLANS and shall have a Marshall stability of 750 or greater.

AGGREGATE BASE COURSE TYPE 'B'

Compacted aggregate base course type "B" shall be constructed using IDOT Type CA-6 materials and shall be placed where shown on the PLANS.

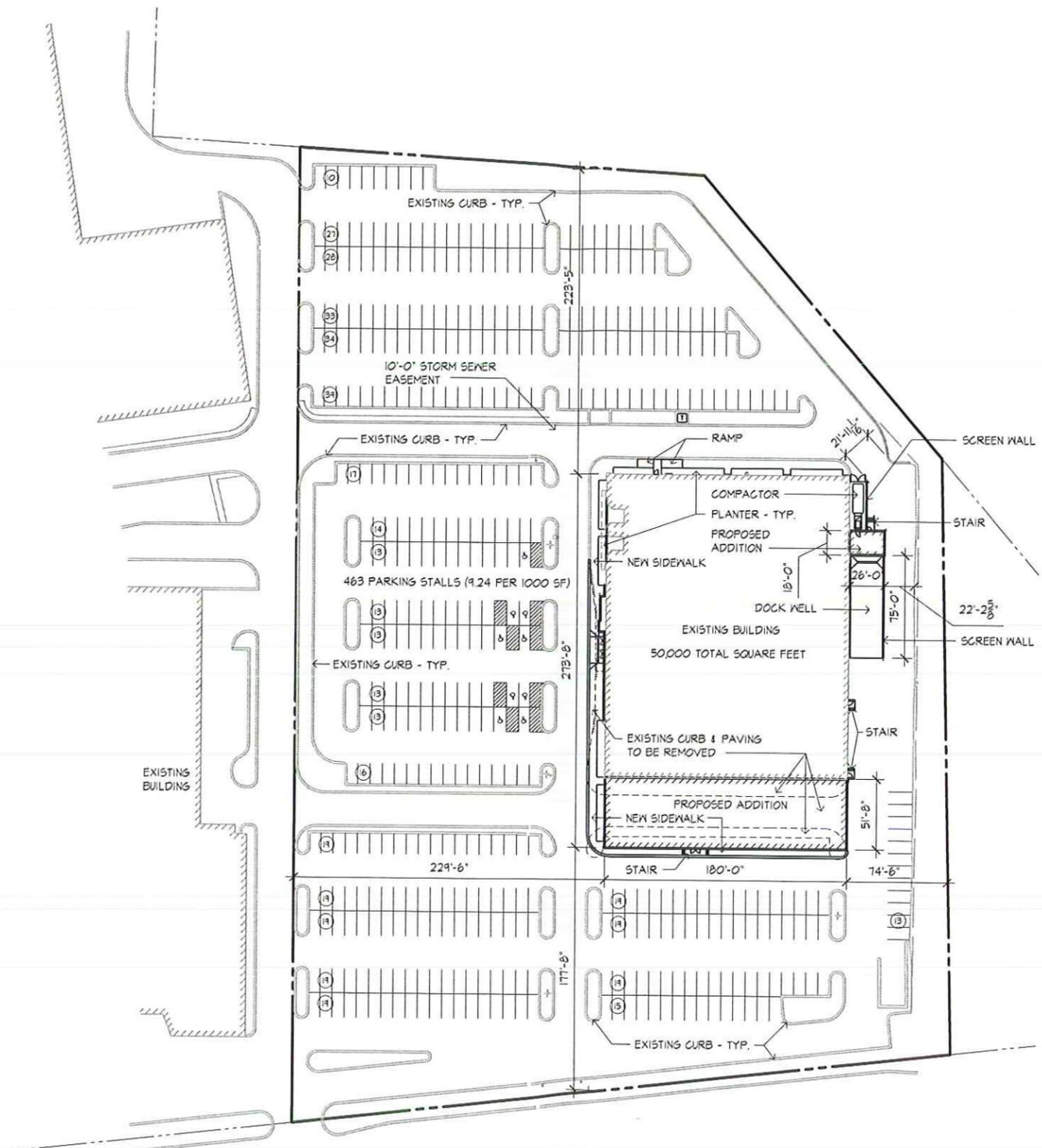
BITUMINOUS CONCRETE, BINDER AND SURFACE COURSE

Bituminous pavement shall consist of bituminous concrete binder and surface courses, IDOT Hot Mix Asphalt, to the compacted thickness as shown on the PLANS. The base course shall be cleaned and primed in accordance with the JURISDICTIONAL GOVERNING ENTITY. The bituminous concrete surface course shall be placed after the base course has gone through one winter season, or as directed by the CLIENT. Before applying the surface course, the binder course shall be thoroughly cleaned and primed in accordance with the JURISDICTIONAL GOVERNING ENTITY. Prior to the placement of the bituminous concrete surface, the JURISDICTIONAL GOVERNING ENTITY shall examine the completed pavement, including curb and gutter, and all failures shall be corrected by the CONTRACTOR.

SIDEWALKS

Concrete sidewalks shall be constructed to width and thickness as shown on the PLANS. Sidewalks shall be thickened to a minimum of 6" at all driveways. All sidewalks shall be IDOT Class III concrete, on aggregate base as shown on the detail. A 1/2" expansion joint shall be provided when meeting existing sidewalk.

CURB AND GUTTER



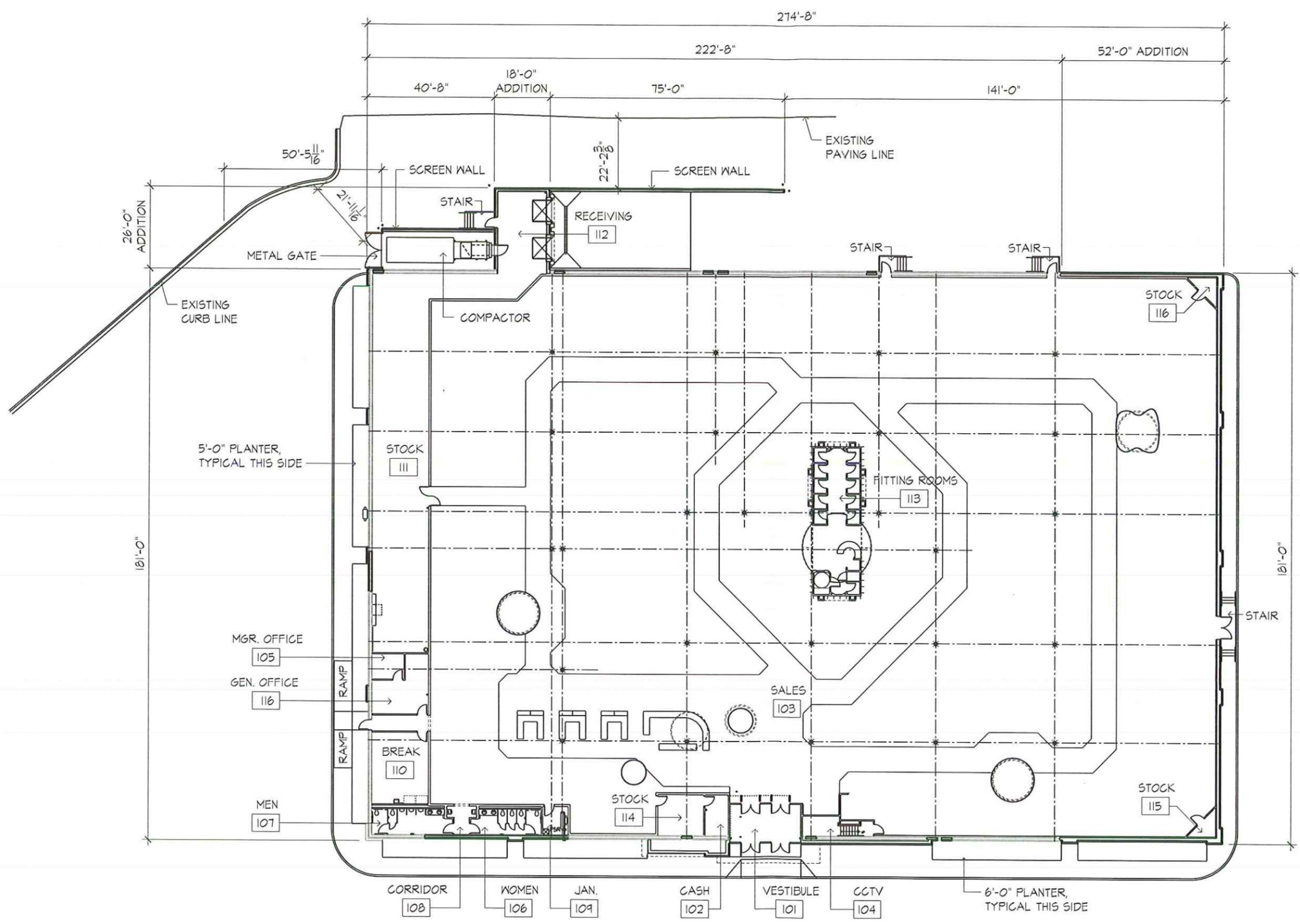
SITE PLAN
 1" = 100'-0"
 NORTH

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 DEPARTMENT

Meyer & Associates
 1000 10th St
 St. Paul, MN 55102
 (612) 221-1111

ORDINANCE 2011-010 Exhibit B(2) Proposed site and floor plans, color elevation plans and elevations with exterior finish schedule prepared by Meyer & Associates Architects with a date of 1/24/11 and consisting of six (6) pages.

GORDMANS - RIVERTREE COURT
 TECHNICAL REVIEW SUBMITTAL



FLOOR PLAN

1/32" = 1'-0"



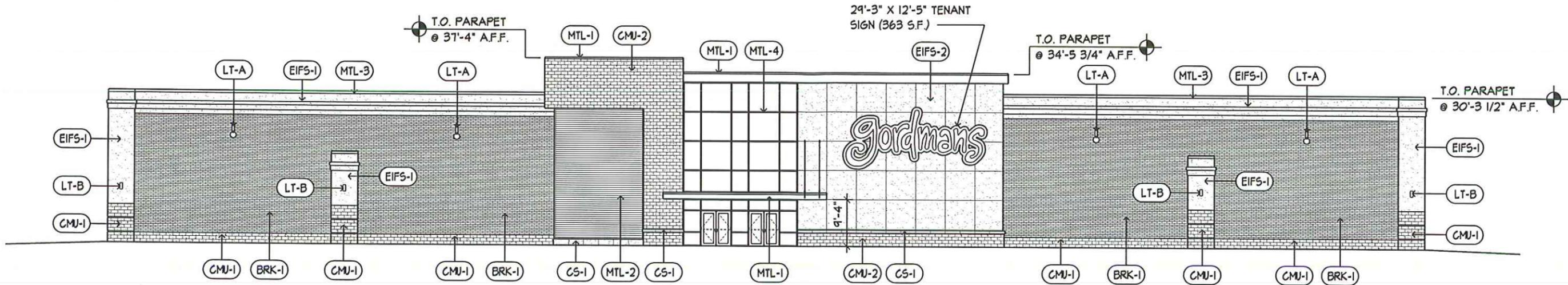
GORDMANS - RIVERTREE COURT
TECHNICAL REVIEW SUBMITTAL

EXTERIOR FINISH SCHEDULE

- (CMU-1) SPLIT-FACE CMU - MATCH EXISTING LIGHT GREY
- (CMU-2) SPLIT-FACE CMU - PAINT MEDIUM GREY
- (BRK-1) BRICK VENEER - MATCH EXISTING
- (EIFS-1) EIFS - LIGHT CREAM
- (EIFS-2) EIFS - GORDMANS EGGPLANT
- (CS-1) WHITE (PER CAST STONE INSTITUTE)
- (MTL-1) METAL CAP FLASHING - SILVER METAL
- (MTL-2) HORIZONTAL RIBBED METAL PANEL - SILVER METAL
- (MTL-3) METAL CAP FLASHING - MATCH EIFS-1
- (MTL-4) ANODIZED ALUMINUM STOREFRONT - SILVER METAL
- (MTL-5) METAL CAP FLASHING - MATCH BRK-1

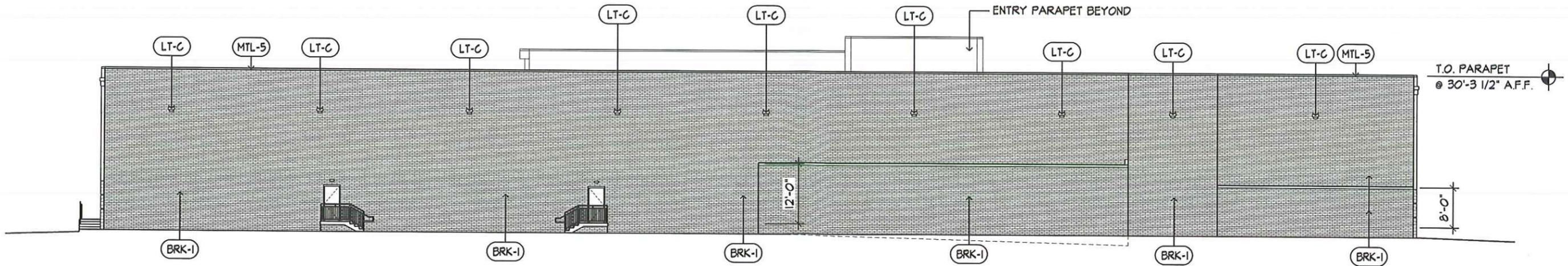
LIGHT FIXTURE SCHEDULE

- (LT-A) DECORATIVE ACCENT LIGHT FIXTURE - SILVER METAL
- (LT-B) DECORATIVE ACCENT LIGHT FIXTURE - SILVER METAL
- (LT-C) WALLPACK LIGHT FIXTURE - BLACK



WEST ELEVATION

1" = 20'-0"



EAST ELEVATION

1" = 20'-0"

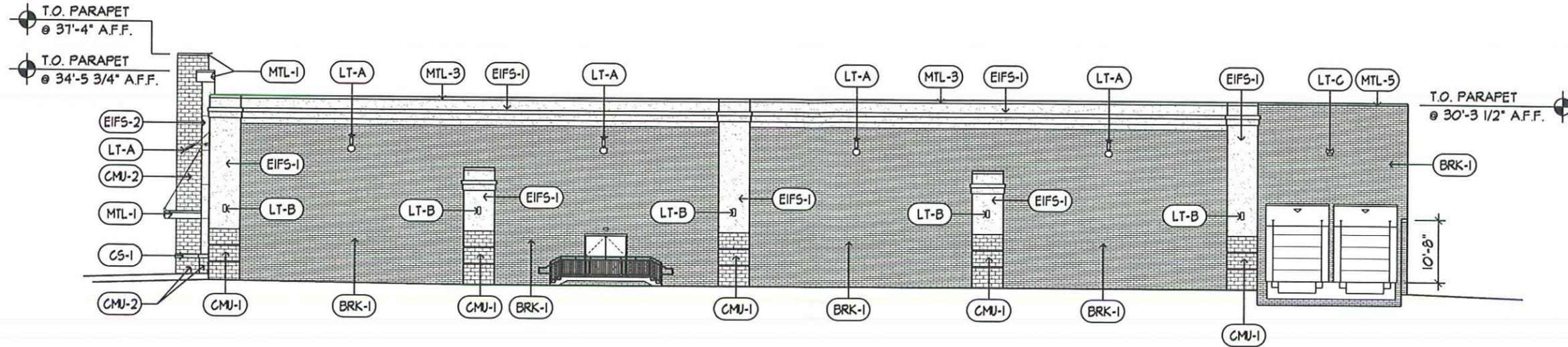
GORDMANS - RIVERTREE COURT
TECHNICAL REVIEW SUBMITTAL

EXTERIOR FINISH SCHEDULE

- | | |
|--|--|
| (CMU-1) SPLIT-FACE CMU - MATCH EXISTING LIGHT GREY | (MTL-1) METAL CAP FLASHING - SILVER METAL |
| (CMU-2) SPLIT-FACE CMU - PAINT MEDIUM GREY | (MTL-2) HORIZONTAL RIBBED METAL PANEL - SILVER METAL |
| (BRK-1) BRICK VENEER - MATCH EXISTING | (MTL-3) METAL CAP FLASHING - MATCH EIFS-I |
| (EIFS-1) EIFS - LIGHT CREAM | (MTL-4) ANODIZED ALUMINUM STOREFRONT - SILVER METAL |
| (EIFS-2) EIFS - GORDMANS EGGPLANT | (MTL-5) METAL CAP FLASHING - MATCH BRK-1 |
| (CS-1) WHITE (PER CAST STONE INSTITUTE) | |

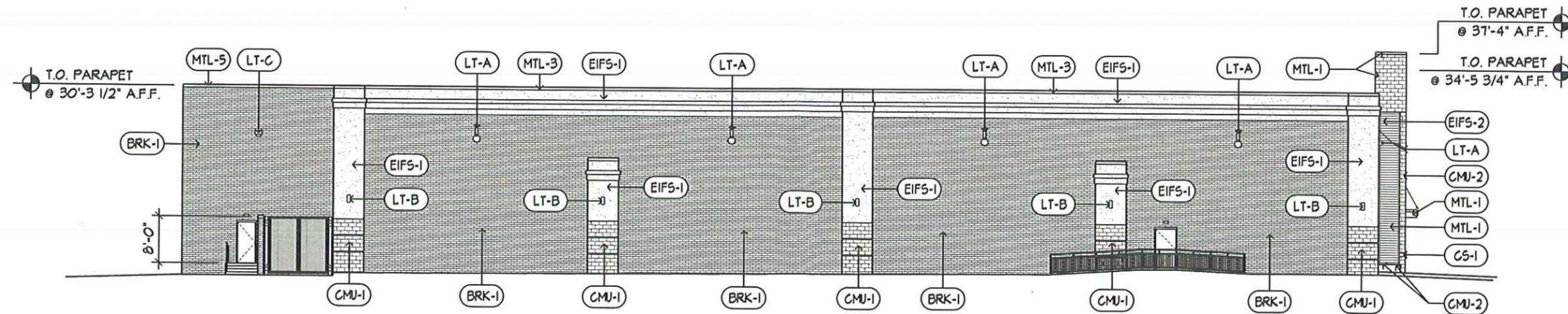
LIGHT FIXTURE SCHEDULE

- | |
|---|
| (LT-A) DECORATIVE ACCENT LIGHT FIXTURE - SILVER METAL |
| (LT-B) DECORATIVE ACCENT LIGHT FIXTURE - SILVER METAL |
| (LT-C) WALLPACK LIGHT FIXTURE - BLACK |



SOUTH ELEVATION

1" = 20'-0"



NORTH ELEVATION

1" = 20'-0"

GORDMANS - RIVERTREE COURT
TECHNICAL REVIEW SUBMITTAL

GORDMANS - RIVERTREE COURT



Meyer & Associates, Architects
402.391.1823



WEST ELEVATION



EAST ELEVATION

GORDMANS - RIVERTREE COURT



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402.391.1823



SOUTH ELEVATION



NORTH ELEVATION

Note:
Perennials around existing monument signs shall be transplanted to various locations throughout the site.

Note:
Perennials around existing monument signs shall be transplanted to various locations throughout the site.

Existing Burning Bush to be Removed

Monument Sign to be Removed and Replaced

Existing Evergreen Tree Removal, Typ.

Existing Ornamental Tree to Remain, Typ.

(5) Existing Juniper Beds to be Removed

Existing Junipers and Burning Bush to be Removed

Existing Shade Tree to Remain, Typ.

Existing Shade Tree Removal, Typ.

Existing Ornamental Tree to Remain, Typ.
Existing Ornamental Tree Removal, Typ.

Existing Evergreen Tree to Remain, Typ.

(3) Existing Shade Tree Removals (Due to Building Expansion)

Existing Ornamental Tree Removal, Typ.

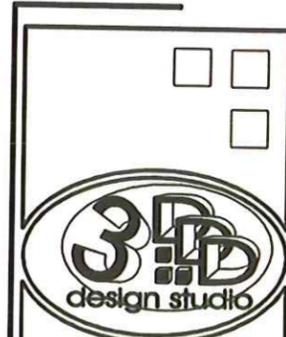
Existing Shade Tree to Remain, Typ.

Existing Shade Tree Removal, Typ.

Removal Notes:

1. The tree removals include several dead or dying crabapples and ash trees. Most trees have replacement tree species planted in their place.
2. Contractor shall stump grind at all tree and shrub removal locations.
3. Any plant material not specifically called out on the plan shall remain as is.

1 Landscape Removals Plan
SCALE: 1"=200'-0"

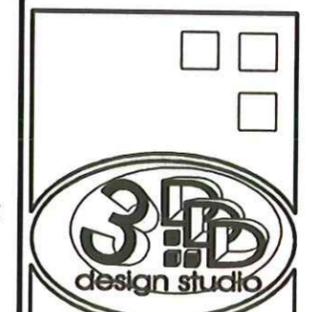


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website: www.3ddesignstudio.com
email: info@3ddesignstudio.com

Rivertree Court Shopping Center
Removals Plan

scale	As Noted
design	CSM
date	1.26.11
revision	
revision	
revision	

sheet
1
of 5 sheet(s)

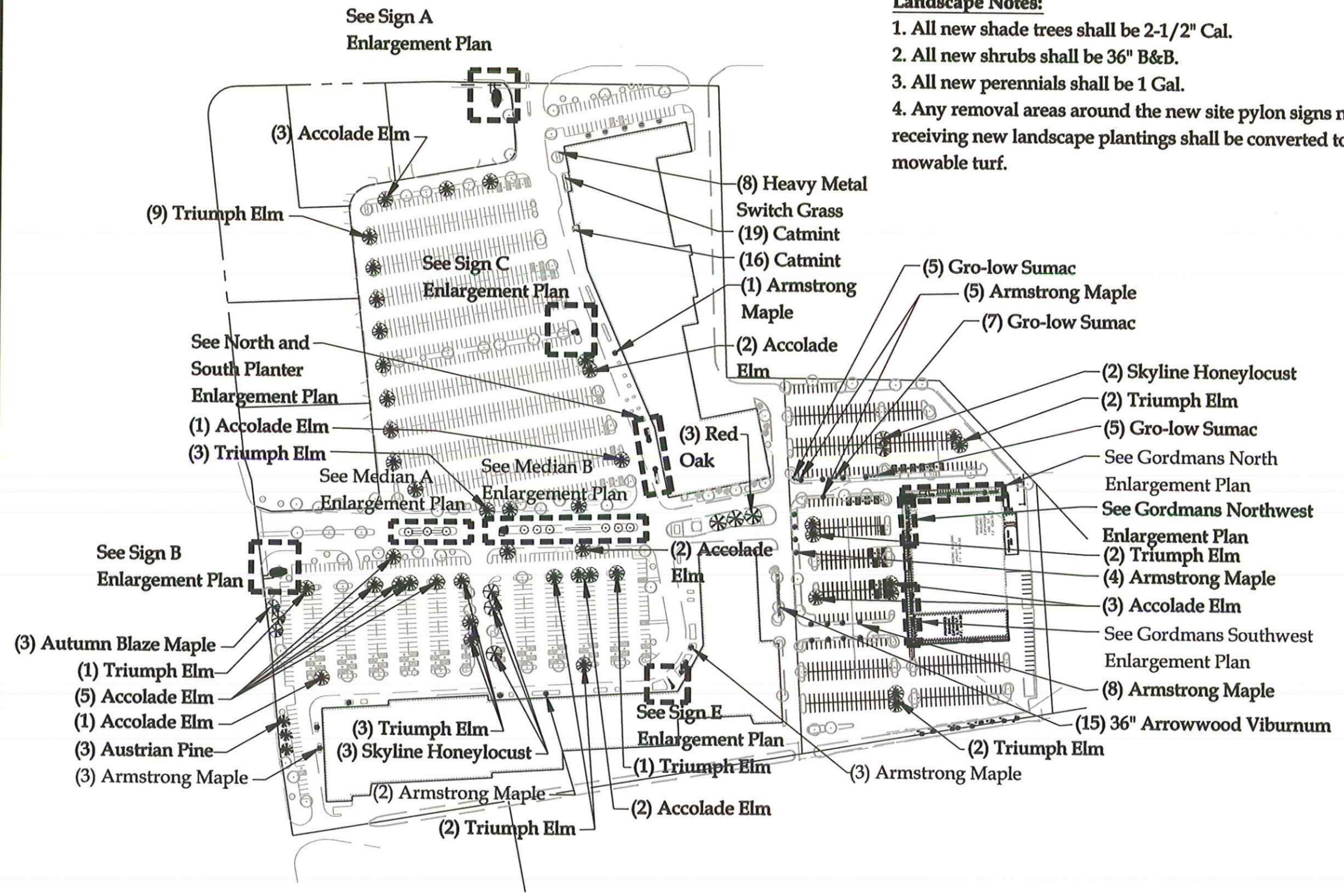


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 website: www.34d.com
 email: info@34d.com

Rivertree Court Shopping Center
 Overall Landscape Plan

Landscape Notes:

1. All new shade trees shall be 2-1/2" Cal.
2. All new shrubs shall be 36" B&B.
3. All new perennials shall be 1 Gal.
4. Any removal areas around the new site pylon signs not receiving new landscape plantings shall be converted to mowable turf.

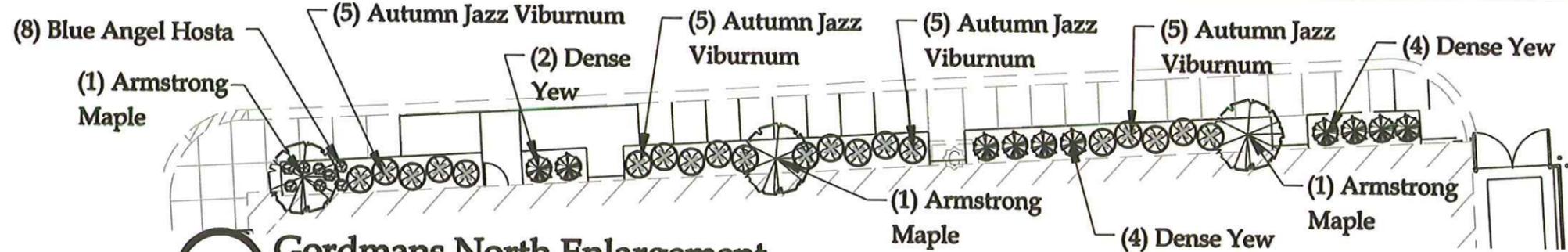


1 Overall Landscape Plan
 SCALE: 1"=200'-0"

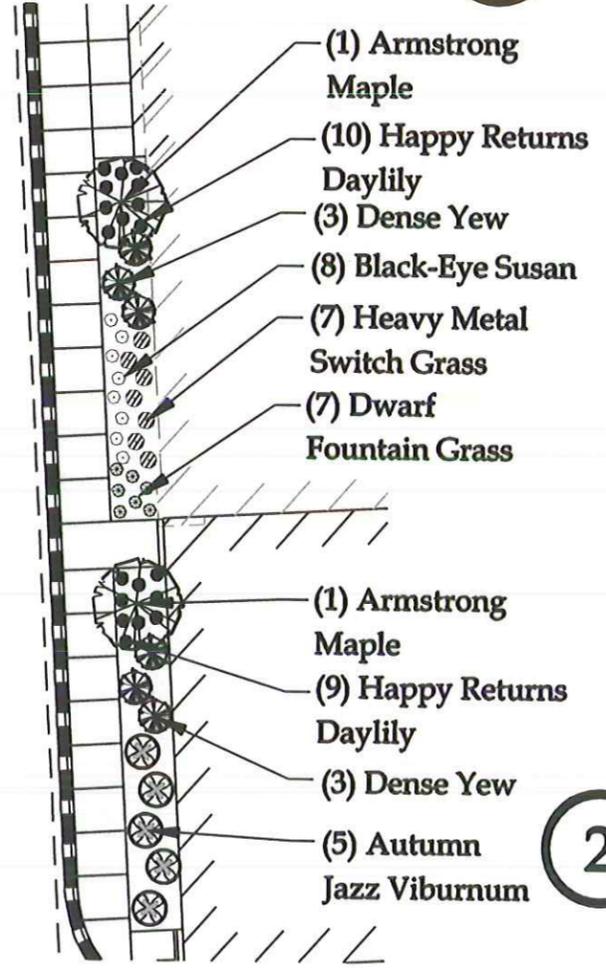


scale	As Noted
design	CSM
date	1.26.11
revision	
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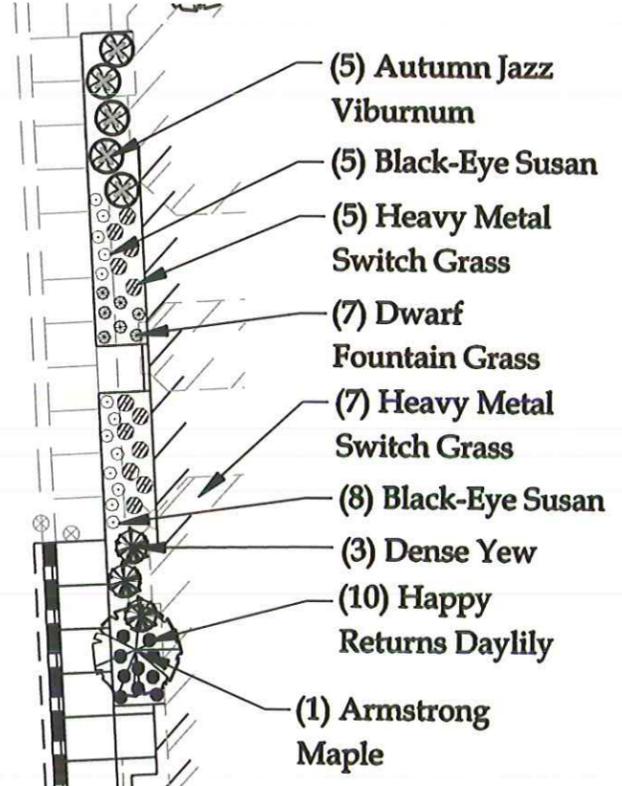
sheet
2
 of 5 sheet(s)



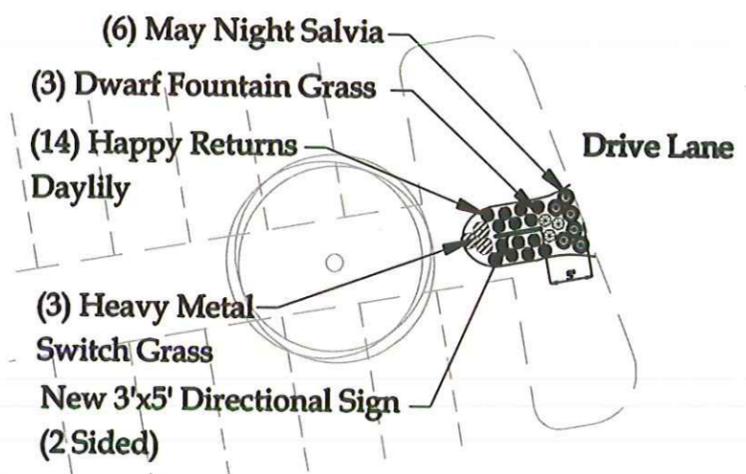
3 Gordmans North Enlargement
 SCALE: 1"=20'-0"



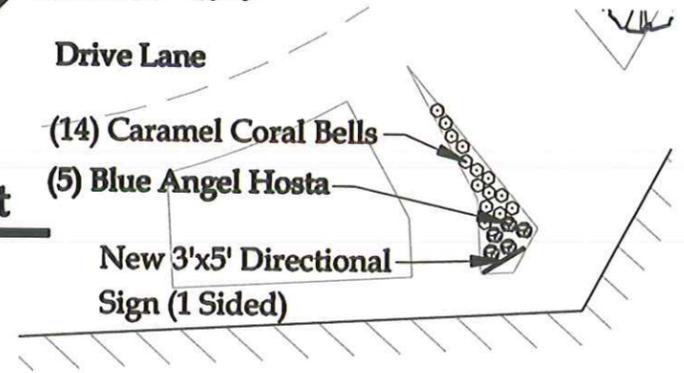
1 Gordmans Southwest Enlargement
 SCALE: 1"=20'-0"



2 Gordmans Northwest Enlargement
 SCALE: 1"=20'-0"



3 Sign C Landscape Enlargement
 SCALE: 1"=10'-0"



4 Sign E Landscape Enlargement
 SCALE: 1"=10'-0"

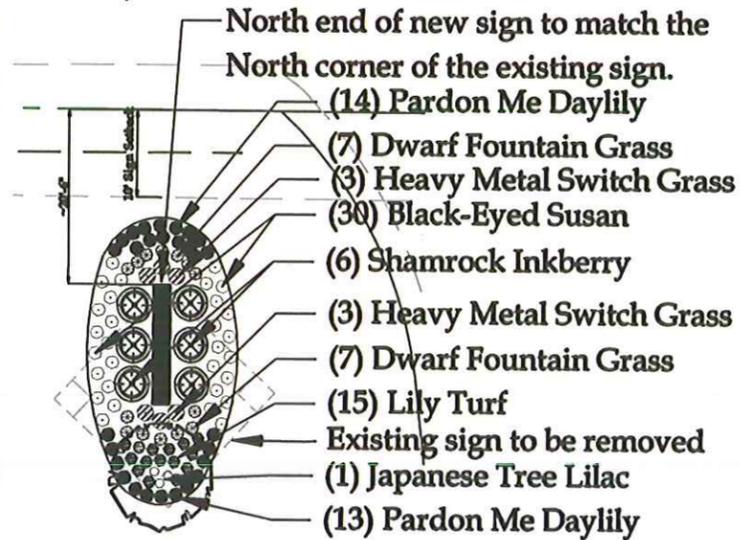
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 email: info@3ddesignstudio.com

Rivertree Court Shopping Center
 Landscape Enlargements

scale	As Noted
design	CSM
date	1.26.11
revision	
revision	
revision	

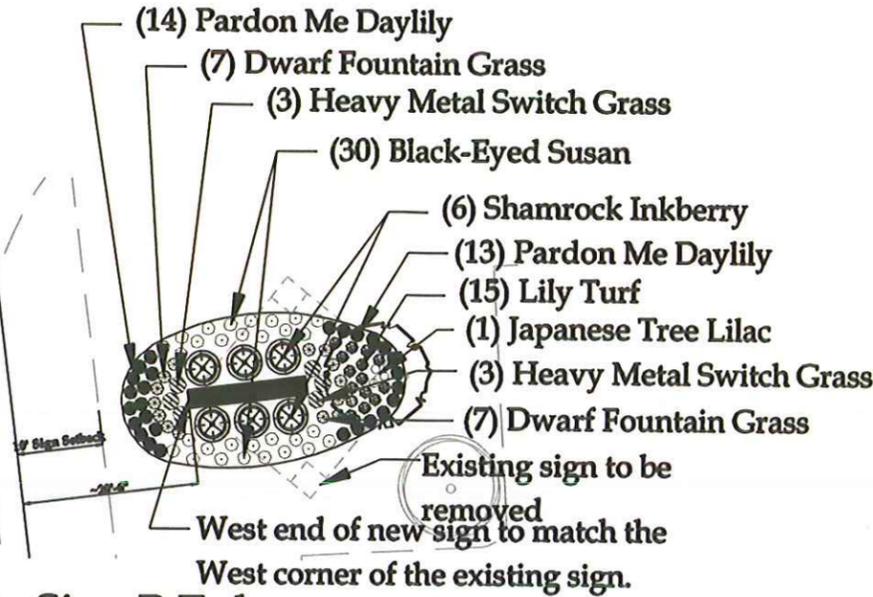


Route 60 / Townline Road

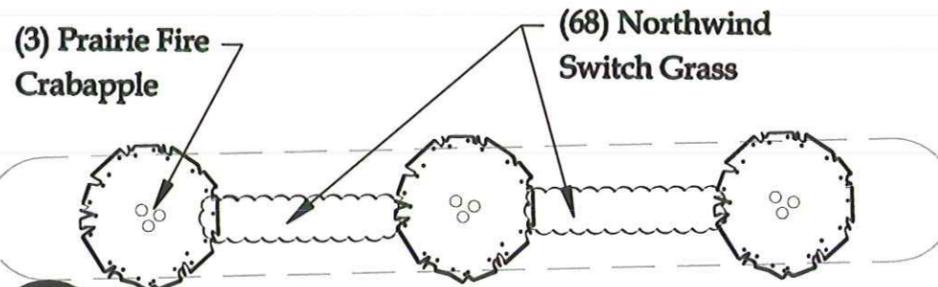


1 Sign A Enlargement
SCALE: 1"=10'-0"

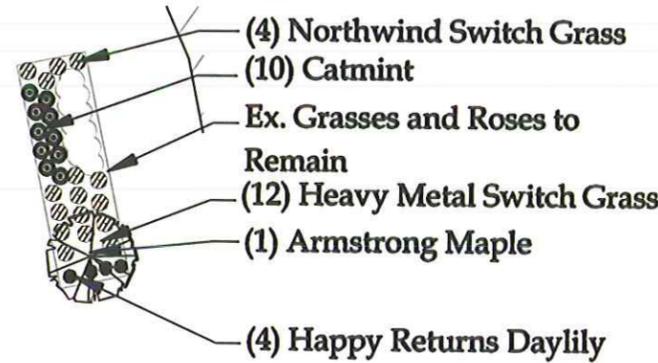
Route 21 /
Milwaukee Avenue



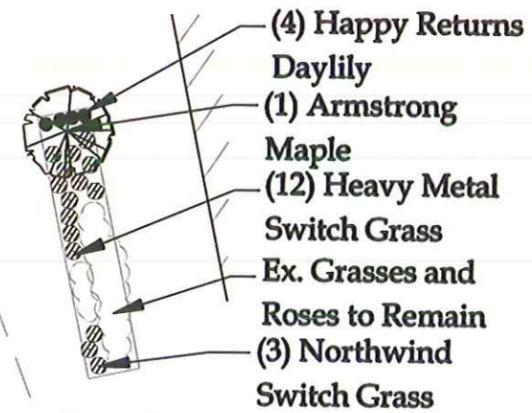
2 Sign B Enlargement
SCALE: 1"=10'-0"



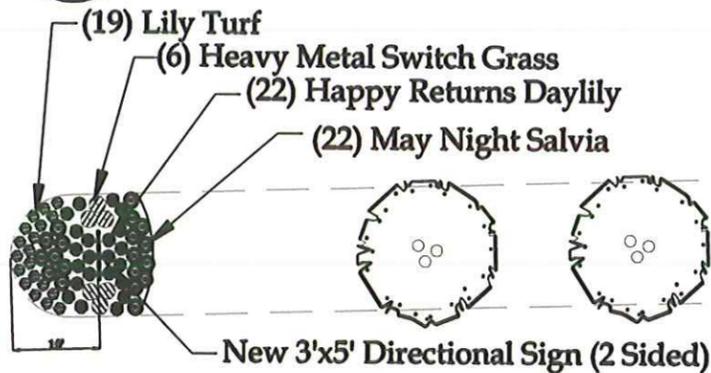
3 Median A Enlargement
SCALE: 1"=20'-0"



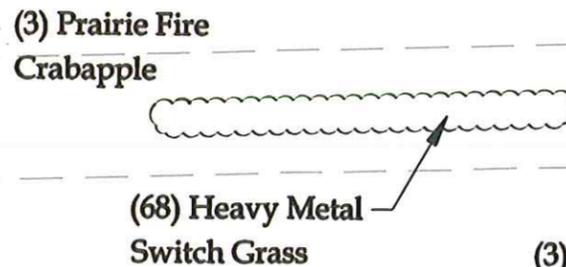
4 North Planter Enlargement
SCALE: 1"=10'-0"



5 South Planter Enlargement
SCALE: 1"=10'-0"



6 Median B Enlargement
SCALE: 1" = 20'



(3) Prairie Fire
Crabapple

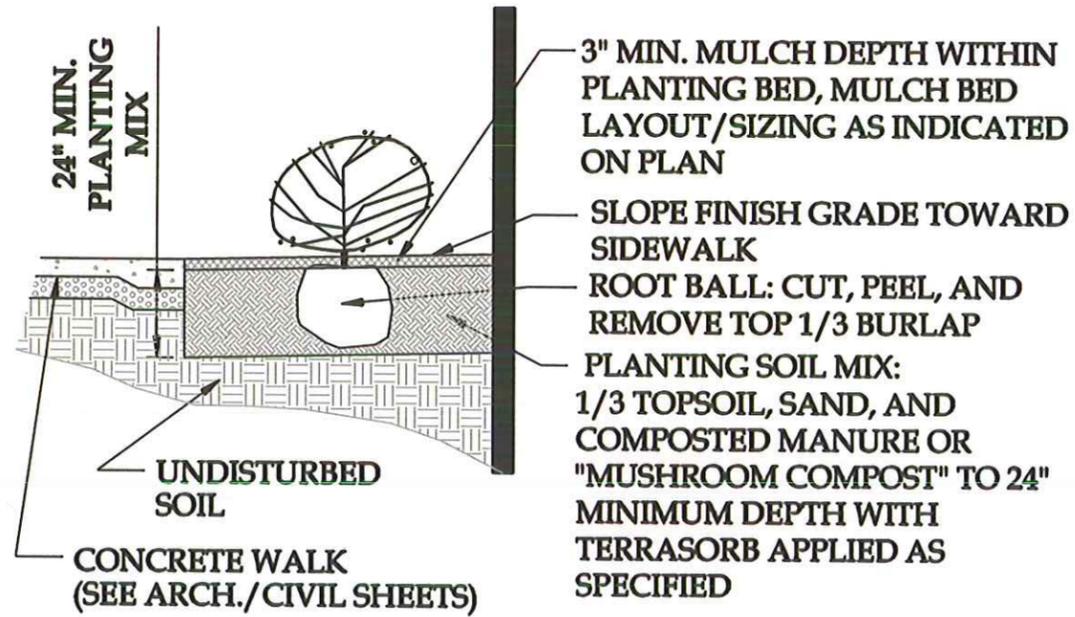


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Rivertree Court Shopping Center
Landscape Enlargements

scale	As Noted
design	CSM
date	1.26.11
revision	
revision	
revision	

4
of 5 sheet(s)

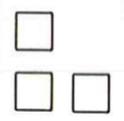


1 Planting Detail
SCALE: 1/4"=1'-0"



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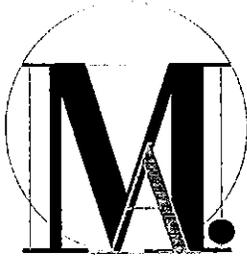
Rivertree Court Shopping Center
Details



scale	As Noted
design	CSM
date	1.26.11
revision	
revision	
revision	

5
of 5 sheet(s)





Meyer & Associates, Architects

ORDINANCE 2011-010 Exhibit B(4) General
compliance with the letter from Dan Kerns of Meyer &
Associates Architects dated January 24, 2011 and
consisting of two (2) pages.

January 24, 2011

Mr. John Kalmar
290 Evergreen Drive
Vernon Hills, Illinois 60061

RE: GORDMANS AT RIVERTREE COURT

Dear Mr. Kalmar:

The purpose of this letter is to provide a Project Scope for Gordmans to occupy the Cinemas Building at Rivertree Court. The following Documents are being submitted for your consideration and for the submittal to the Planning & Zoning Commission:

1. Preliminary Site Plan
2. Preliminary Floor Plan
3. Preliminary Rendered Exterior Elevations
4. Preliminary Architectural Exterior Elevations
5. Preliminary Landscape Plan
6. Exterior Materials Sample Board

The existing building is approximately 40,214 square feet. A 9,300 square foot Sales Floor Addition is planned on the south side of the existing building. A 468 square foot Dock Addition is planned on the east side of the building towards the northeast corner. The total building square footage will be approximately 50,000 square feet once construction is complete. Both additions shall be constructed to match the existing building materials. New masonry and EIFS piers will be constructed on the north, south, and west sides of the building to provide visual relief to the elevations. Decorative lighting will also be added on the north, south, and west sides of the building. An EIFS cornice will be constructed on the north and south sides of the building to match the cornice on the west side. The new piers and cornice will provide an aesthetic congruency between the north, west, and south sides of the building. The existing entrance and sign fascia will be removed and filled in to match the existing building materials.

A new Prototypical Gordmans Entrance Feature is also planned on the west side of the building. The materials consist of split-face masonry, glass in curtain wall aluminum framing, EIFS, horizontal ribbed metal panels, and a suspended metal canopy. The design intent behind the storefront is to create a branding image for Gordmans by bringing the aesthetic, feel, and experience of the store interior to the exterior. This is achieved by designing architectural elements with the use of form, material, and layering that reflects this intent. The interior of the store has a very clean line aesthetic that is presented with a certain rawness and trueness to form and materials. This translates to the exterior through the use of geometric forms and massing that is very straightforward and easy to read. This is further articulated through the use of concrete block, silver metal, glass, and color for the exterior materials. These same materials occur in the interior. The forms and their materials reinforce each other and their composition creates a layering effect on the storefront. This layering effect is similar to the same way that merchandise is displayed in the store. The use of color on the exterior is identical to the interior. The main field colors of the interior are very neutral and color accents are used to identify departments. The majority of the exterior forms are neutral in color while the sign panel area is emphasized through the use of Gordmans' eggplant color. This Feature is essential to Gordmans Branding and provides them a distinct identity that differs from their competitors.

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**COMMUNITY DEVELOPMENT
DEPARTMENT**

In order to accommodate the new Entrance Feature, the front sidewalk will be extended and the ADA parking stalls shall be relocated to be directly in front of the building. Sidewalk planters are being added to the north and west sides of the building to provide the opportunity to landscape next to the building. This addition of landscaping by the building will help soften the appearance of the building.

Due to the building additions, approximately 43 parking stalls will be eliminated. The site will be left with 463 parking stalls - which is a ratio of 9.24 stalls per 1,000 square feet.

At the Dock Addition, screen walls have been designed to completely hide the compactor and truck dock area. The screen walls shall be built with materials that match the building. The gate to the compactor area shall be constructed out of metal and will completely hide the compactor.

Upon your review if you should have any questions or need any other information, please feel free to contact me directly at (402) 391-1823 or via email at dkerns@meyerarchitecture.com.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Dan Kerns". The signature is stylized and cursive.

Dan Kerns

CC Dean Lev, Inland Commercial Property Management, via email
Allison Kuchny, Inland Commercial Property Management, via email