

VILLAGE OF VERNON HILLS

ORDINANCE NO. 2011-022

AN ORDINANCE GRANTING APPROVAL TO AMEND ORDINANCE 2010-036 TO
ALLOW A FAST FOOD RESTAURANT KNOWN AS PHILLY CHEESE STEAK EXPRESS
TO EXPAND INTO AN ADJACENT VACANT STORE SPACE ON PROPERTY LOCATED
AT 701 NORTH MILWAUKEE AVENUE IN THE VILLAGE OF VERNON HILLS, LAKE
COUNTY

THE 3rd DAY OF MAY, 2011

Published in pamphlet form by the Authority of the
President and Board of Trustees of the Village of
Vernon Hills, Lake County, Illinois, this 5th Day of
May, 2011

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APPROVAL TO AMEND ORDINANCE
2010-036 TO ALLOW A FAST FOOD
RESTAURANT KNOWN AS PHILLY
CHEESE STEAK EXPRESS TO
EXPAND INTO AN ADJACENT
VACANT STORE SPACE ON
PROPERTY LOCATED AT 701
NORTH MILWAUKEE AVENUE IN
THE VILLAGE OF VERNON HILLS,
LAKE COUNTY**

WHEREAS, Vladislav Kostic, business owner and lessee, in regard to 701 N. Milwaukee Avenue, Unit 104, being in the Rivertree Court Shopping Center, said property legally described in Exhibit A, has petitioned the Village of Vernon Hills to grant approval to amend Ordinance 2010-036, being the approved Special Use Permit for a carry-out restaurant, known as Philly Cheese Steak Express, to allow expansion of the existing fast food restaurant into the adjacent vacant space, being Suite 108.

WHEREAS, said approval will allow Philly Cheese Steak Express to expand into the adjacent vacant space and add 26 seats to the existing restaurant giving him a total of 38 seats at the current location; and

WHEREAS, upon due notice and after public hearings held April 13, 2011 by the Planning and Zoning Commission of the Village of Vernon Hills, pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, said Planning and Zoning Commission has filed its report concerning said petition and recommended approval to amend the approved Special Use Permit for a carry-out restaurant, known as Philly Cheese Steak Express, to allow expansion of the existing fast food restaurant into the adjacent vacant space, being Suite 108, subject to certain conditions; and

WHEREAS, based upon the evidence adduced at said hearings and in their application, the petitioner has entered into the record evidence and findings of fact that addresses the conditions in Section 18.3.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, COUNTY OF LAKE AND STATE OF ILLINOIS:

SECTION I. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, the amendment to Ordinance 2010-036, to amend the special use permit for a carry-out restaurant, known as Philly Cheese Steak Express, to allow expansion of the existing

fast food restaurant into the adjacent vacant space, being Suite 108, at the location as described in Exhibit A, and consistent with the floor plans as attached in Exhibit B, is hereby granted, subject to the following conditions:

- a) Adequate outdoor storage of trash and food waste shall be maintained at all times for the use within the existing trash enclosure area and the trash/grease receptacles. This will require additional pick ups for each receptacle. Failure to comply with this condition may result in the revocation of the Special Use Permit for Suite 108.
- b) Receipt of all required licenses from the Village and Lake County Health Department prior to issuance of a final certificate of occupancy.
- c) Compliance with the conditions as set forth in Ordinance 2010-036.
- d) Compliance with all ordinances and standards of the Village except as may otherwise be provided.

SECTION II. SEVERABILITY. In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

SECTION III. REPEAL AND SAVINGS CLAUSE. All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this ordinance.

SECTION IV. EFFECTIVE DATE. This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

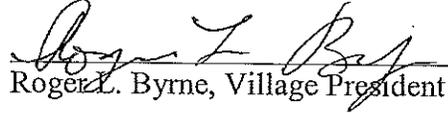
SECTION V. ORDINANCE NUMBER. This ordinance shall be known as
Ordinance Number 2011-022.

Adopted by roll call vote as follows:

AYES: 4 – Marquardt, Schultz, Schwartz, Hebda

NAYS: 0 - None

ABSENT AND NOT VOTING: 2 – Williams, Koch


Roger L. Byrne, Village President

PASSED: 5/3/2011

APPROVED: 5/3/2011

PUBLISHED IN PAMPHLET FORM: 5/4/2011

ATTEST



Michael Allison
Village Clerk

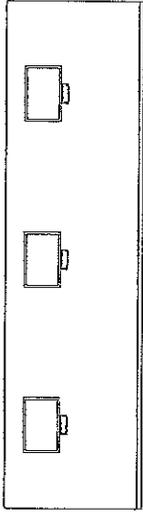
EXHIBIT A

**LEGAL DESCRIPTION OF RIVERTREE COURT SHOPPING CENTER
VERNON HILLS, ILLINOIS**

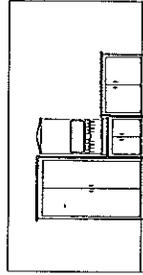
LOT 6 IN HAWTHORN II - RETAIL CENTER AMENDED AND RESTATED, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 11 AND PART OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 17, 1987 AS DOCUMENT NO. 2641246, IN LAKE COUNTY, ILLINOIS.

EXHIBIT B
Plans with stamped RECEIVED date of April 14, 2011

- PROPOSED INTERIOR ELEVATIONS -



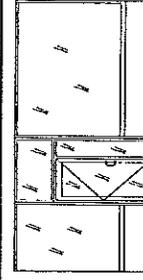
INTERIOR ELEVATION - NORTH
SCALE: 1/8"=1'-0"
LOOKING AT THE WALL LOOKING TWO



INTERIOR ELEVATION - EAST
SCALE: 1/8"=1'-0"
LOOKING AT THE ROOM, WALLS AND CABINETS

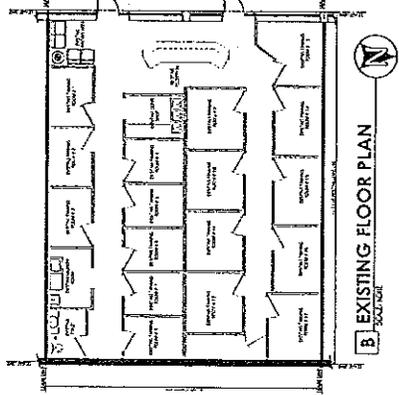


INTERIOR ELEVATION - EAST
SCALE: 1/8"=1'-0"
LOOKING AT THE ROOM, WALLS AND CABINETS



INTERIOR ELEVATION - WEST
SCALE: 1/8"=1'-0"

- EXISTING PLAN -



B. EXISTING FLOOR PLAN

- SCOPE OF WORK -

NEW INTERIOR PARTITION, ELECTRICAL, MECHANICAL, AND PLUMBING PER PLANS FOR NEW TENANT SPACE, NO STRUCTURAL CHANGES

- FIXTURE / EQUIPMENT SCHEDULE -

NO.	DESCRIPTION
01	10' x 10' x 8' CEILING TILES, 10' x 10' x 8' CEILING LIGHTS
02	10' x 10' x 8' CEILING TILES, 10' x 10' x 8' CEILING LIGHTS
03	10' x 10' x 8' CEILING TILES, 10' x 10' x 8' CEILING LIGHTS
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50	10' x 10' x 8' CEILING TILES, 10' x 10' x 8' CEILING LIGHTS

- AERIAL MAP -



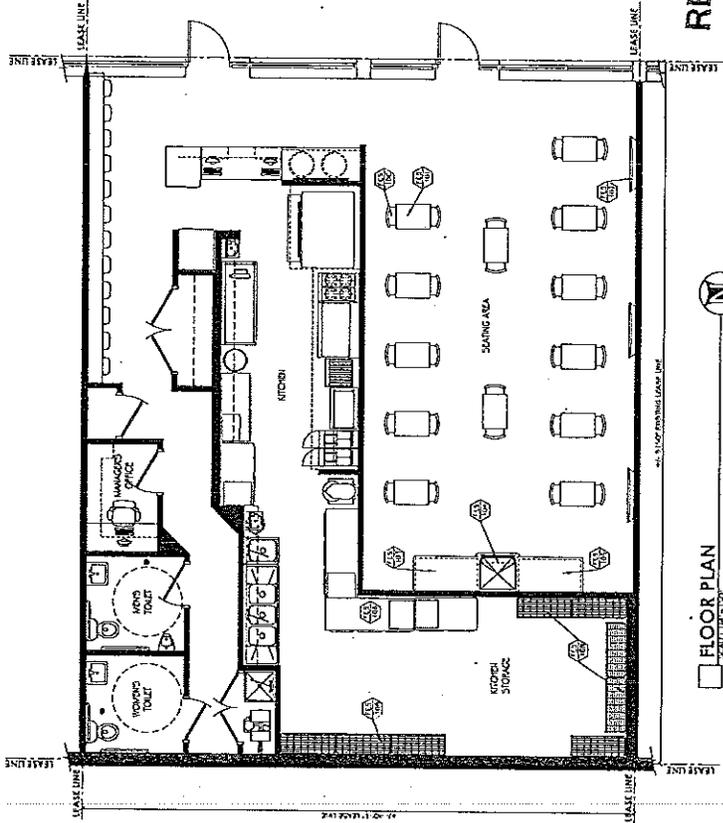
A. AERIAL MAP

- PROJECT TEAM -

RESTAURANT OWNER
 VLADISLAV KOSTIC
 6645 NORTH LOWELL AVENUE
 LINCOLNWOOD, IL 60712
 1-224-935-0252 PHONE

ARCHITECT
 STUDIO D ARCHITECTURE, LLC
 345 NORTH JUSTINE STREET, SUITE 700
 CHICAGO, IL 60607
 312-421-7761 PHONE
 312-421-7762 FAX

- PROPOSED FLOOR PLAN -



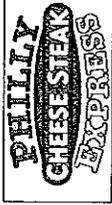
FLOOR PLAN



RECEIVED

APR 14 2011

COMMUNITY DEVELOPMENT
DEPARTMENT



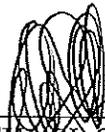
PHILLY CHEESE STEAK EXPRESS: Interior Alterations

701 NORTH MILWAUKEE AVE, SUITE 104 & 108, VERNON HILLS IL 60661

AFFIDAVIT OF SERVICE

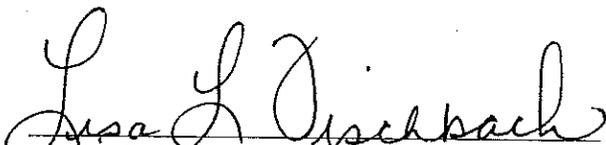
STATE OF ILLINOIS)
)
COUNTY OF LAKE)

I, MICHAEL S. ALLISON, BEING FIRST DULY APPOINTED, DEPOSES AND SAYS ON OATH THAT AS VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, HE DID CAUSE THE FOREGOING CERTIFICATE FOR ORDINANCE 2011-022, AN ORDINANCE GRANTING APPROVAL TO AMEND ORDINANCE 2010-036 TO ALLOW A FAST FOOD RESTAURANT KNOWN AS PHILLY CHEESE STEAK EXPRESS TO EXPAND INTO AN ADJACENT VACANT STORE SPACE ON PROPERTY LOCATED AT 701 NORTH MILWAUKEE AVENUE IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY



MICHAEL S. ALLISON, VILLAGE CLERK

SUBSCRIBED AND SWORN TO BEFORE
THIS 5TH DAY OF MAY, 2011



Notary Public

