

VILLAGE OF VERNON HILLS

ORDINANCE 2015-014

AN ORDINANCE AMENDING ORDINANCE 2013-034 GRANTING CERTAIN APPROVALS FOR PROPERTY COMMONLY KNOWN AS THE OAKS OF VERNON HILLS, A PLANNED UNITED DEVELOPMENT AND TO AMEND THE ZONING CLASSIFICATION FROM B-1, GENERAL BUSINESS TO R-7 MULTI-FAMILY RESIDENTIAL AT LOT 1, THE TRIANGLE SHAPED LOT LOCATED ON THE WEST SIDE OF THE ENTRANCE OF THE OAKS OF VERNON HILLS ON US ROUTE 45 IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

THE 3<sup>rd</sup> DAY OF MARCH 2015

Published in pamphlet form by the Authority of the President and Board of Trustees of the Village of Vernon Hills, Lake County, Illinois, this 9<sup>th</sup> Day of March 2015

**ORDINANCE NO. 2015-014**

AN ORDINANCE AMENDING ORDINANCE 2013-034 GRANTING CERTAIN APPROVALS FOR PROPERTY COMMONLY KNOWN AS THE OAKS OF VERNON HILLS, A PLANNED UNITED DEVELOPMENT AND TO AMEND THE ZONING CLASSIFICATION FROM B-1, GENERAL BUSINESS TO R-7 MULTI-FAMILY RESIDENTIAL AT LOT 1, THE TRIANGLE SHAPED LOT LOCATED ON THE WEST SIDE OF THE ENTRANCE OF THE OAKS OF VERNON HILLS ON US ROUTE 45 IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

**WHEREAS**, Ordinance 2013-034 authorized the Real Estate Group (Kinzie) and Hamilton Partners to construct a 304 unit Planned Unit Development known as The Oaks of Vernon Hills. The PUD consisted of 3 lots, Lot 2 consisting of the R-7 zoned multi-family housing and Lot 3 consisting of tree preservation. The subject property, Lot 1 was zoned B-1, and intended for commercial development.

**WHEREAS**, Warren James of REVA Development, representing Oaks of Vernon Hills, LLC in regards to property commonly known as The Oaks of Vernon Hills, A Planned United Development and legally described in Exhibit A of Ordinance 2013-034, has petitioned the Village of Vernon Hills for the following:

1. Approval to amend the Lot 1 zoning classification from B-1, General Business to R-7 Multi-family Residential PUD for the property;
2. To amend the Special Use Permit, as approved in Ordinance 2013-034, for a Planned Unit Development to allow development of a multi-family residential building on Lot 1 along with certain variations, including but not limited to setbacks and dwelling unit size;
3. Preliminary and final site and landscaping plan approvals; and
4. Preliminary and final approval of the architectural elevations.

**WHEREAS**, the requested approvals would be in general compliance with the following plans:

- Site Plan by The Lakota Group dated January 8, 2015 (2 Pages)
- Architectural elevations by BSB Architects dated December 19, 2012 (10 Pages)
- Engineering Plans by Manhard Consulting, dated January 26, 2015 (12 Pages)
- Plat of Easement Grant for Lot 1 by Manhard Consulting, dated December 1, 2014 (2 Pages)
- Landscaping Plans by Manhard Consulting, dated February 9, 2015 (2 Pages)
- Cross section of the Retaining Wall & Berm by The Lakota Group, dated February 12, 2015 (1 Pages)

Said Plans are attached hereto as Exhibit B; and

**WHEREAS**, REVA Development has requested the following variations as a part of the petition:

1. To maintain a 44'-7" setback to the north property line. The Multi-Family building is required to maintain a setback that is equal to the height of the building (48').
2. To allow a reduction in the minimum size requirements for multi-family dwelling units (consistent with previous approvals) for one and two bedroom apartment units, as follows:

Code Requirement	Multi-Family
1-Bd. Rm. 1200 sq. ft. (22 units)	695 sq. ft.
2-Bd. Rm. 1400 sq. ft. (10 units)	1189 sq. ft.
3-Bd. Rm. 1600 sq. ft.	Not Proposed

**WHEREAS**, upon due notice and after public hearing held January 14, 2015 by the Planning and Zoning Commission of the Village of Vernon Hills, and pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, said Planning and Zoning Commission has filed its report concerning said petition as listed above.

**WHEREAS**, it has been determined that the granting of approval of the zoning amendment will have no serious or depreciating effect upon the value of surrounding property and will have no adverse effect upon the character of the neighborhood, public utility facilities or other matters pertaining to the public health, public safety and general welfare; and

**WHEREAS**, based upon the evidence adduced at said hearings and in their application, the petitioner has entered into the record evidence and findings of fact that address the conditions in Section 18.3 and 21.7 of the Zoning Ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, COUNTY OF LAKE AND STATE OF ILLINOIS:**

**SECTION I.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, amend the zoning classification from B-1, General Business, to R-7 Multi-family Residential PUD for properties legally described in Exhibit B is hereby approved.

**SECTION II.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, approvals of the preliminary and final site and landscaping plans for Lot 1 as set forth in Exhibit B are hereby granted subject to the conditions listed in Section V.

**SECTION III.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final approvals of the architectural elevations as setforth in Exhibit B are hereby granted subject to the conditions listed in Section V.

**SECTION IV.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final site improvement plans as setforth in Exhibit B are hereby approved subject to the conditions listed below in Section V.

**SECTION V.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, and the recommendations of the Planning and Zoning Commission, the terms and conditions as set forth in Exhibit C are hereby approved and are made a part of the approvals as listed in the Sections above.

**SECTION VI. SEVERABILITY.** In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

**SECTION VII. REPEAL AND SAVINGS CLAUSE.** All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this ordinance.

**SECTION VIII. SUCCESSORS AND ASSIGNS.** All of the provisions of this Ordinance and the attachments hereto are binding on all successors and assigns of the petitioner and property owner.

**SECTION IX. EFFECTIVE DATE.** This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

**SECTION X. ORDINANCE NUMBER.** This ordinance shall be known as Ordinance Number 2015-014.

Dated the 3<sup>rd</sup> of March, 2015

Adopted by roll call as follows:

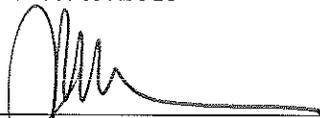
AYES: - 6 Hebda, Koch, Marquardt, Schultz, Schwartz, Williams

NAYS: 0 - None

ABSENT AND NOT VOTING: 0 - None

  
Roger L. Byrne, Village President

PASSED: 03/03/2015  
APPROVED: 03/03/2015  
PUBLISHED IN PAMPHLET FORM: 03/09/2015  
ATTEST: 03/09/2015

A handwritten signature in black ink, consisting of a large initial 'J' followed by several loops and a long horizontal tail.

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John M. Kalmar, Village Clerk

**Exhibit A**  
**Legal Description**

LOT 1 IN THE OAKS OF VERNON HILLS, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 9, PART OF THE NORTHWEST QUARTER OF SECTION 15 AND PART OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORD JULY 26, 2013 AS DOCUMENT NUMBER 7018636, IN LAKE COUNTY, ILLINOIS

**Exhibit B  
Plans**

General Compliance with the following plans:

- Site Plan by The Lakota Group dated January 8, 2015 (2 Pages)
- Architectural elevations by BSB Architects dated December 19, 2012 (10 Pages)
- Engineering Plans by Manhard Consulting, dated January 26, 2015 (12 Pages)
- Plat of Easement Grant for Lot 1 by Manhard Consulting, dated December 1, 2014 (2 Pages)
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- Cross section of the Retaining Wall & Berm by The Lakota Group, dated February 12, 2015 (1 Pages)

**Exhibit C**  
**Terms and Conditions of Approval**

Conditions of Approval for the entire Site:

1. Compliance with the Conditions of Approval as setforth in Ordinance 2013-034 except as otherwise noted.
2. Final approval of plans by the Village Engineer and Landscape Technician prior to issuance of a building permit.
3. Compliance with the Village’s Street Lighting Poles standards.
4. Developer contributions shall be made to School Districts 125 & 103, Vernon Hills Park District and Lincolnshire-Riverwoods Fire Protection District as follows:

Park District:.....	\$113,506.00
Elementary School District 103:.....	\$15,889.42
High School District 125:.....	\$2,289.50
Fire Protection District:.....	\$8,200.00

The numbers above are the total for the one apartment building. Per Village Ordinance, fees will be collected upon issuance of individual building permits.

5. Compliance with all ordinance and standards of the Village except as otherwise noted.
6. Installation of a sidewalk north of the building to connect to the existing interior pathway system generally consistent with the Site Plan prepared by The Lakota Group dated January 8, 2015.
7. The petitioner shall revise, if necessary, the previously approved REA Documents for the project.
8. All building materials within the “Oaks of Vernon Hills” property shall comply with the materials samples information prepared by petitioner/Co-Developer and BSB and previously approved in Ordinance 2013-034.
9. Prior to issuance of permits for the development, the petitioner shall provide cut-sheet details for each of the lights to be used in the parking lot and building. The lighting shall comply with Village standards and match the existing poles and luminaires in the Oaks of Vernon Hills.
10. The Building Commissioner to review and approve the exterior light fixtures prior to issuance of a building permit for the building.
11. To screen the parking lot and shield headlights from U.S. 45 and the residential properties in Writer Estate with a retaining wall generally consistent with The Lakota Group’s Cross Section Plan dated February 12, 2015.
12. Provide the Village’s Landscape Technician with a copy of a report from an independent certified arborist regarding the health and long term health outlook of the Oak tree proposed to be removed at Lot 1 as set forth in Exhibit A. If the tree is found to be in poor health and should be removed, the petitioner should plant additional hardwood trees throughout the property to maintain the character of the development.

13. The petitioner shall not be required to provide an updated traffic impact study for residential use on Lot 1.

Variations - The following variations are recommended for approval

1. To maintain a 44'-7" setback to the north property line. The Multi-Family building is required to maintain a setback that is equal to the height of the building (48').
2. To allow a reduction in the minimum size requirements for multi-family dwelling units (consistent with previous approvals) for one and two bedroom apartment units, as follows:

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3-Bd. Rm. 1600 sq. ft.	Not Proposed

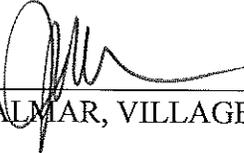
3. To allow combustible framing in dwelling unit floor/ceiling separation assemblies of identical material consistent with the Oaks of Vernon Hills;
4. To allow combustible framing in dwelling unit separation walls consistent with the Oaks of Vernon Hills; and
5. To allow Type V construction consistent with the Oaks of Vernon Hills.



AFFIDAVIT OF SERVICE

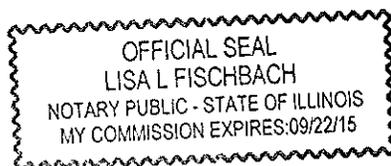
STATE OF ILLINOIS     )  
  )  
COUNTY OF LAKE        )

I, JOHN M. KALMAR, BEING FIRST DULY APPOINTED, DEPOSES AND SAYS ON OATH THAT AS VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, HE DID CAUSE THE FOREGOING CERTIFICATE FOR ORDINANCE 2015-014 AN ORDINANCE AMENDING ORDINANCE 2013-034 GRANTING CERTAIN APPROVALS FOR PROPERTY COMMONLY KNOWN AS THE OAKS OF VERNON HILLS, A PLANNED UNITED DEVELOPMENT AND TO AMEND THE ZONING CLASSIFICATION FROM B-1, GENERAL BUSINESS TO R-7 MULTI-FAMILY RESIDENTIAL AT LOT 1, THE TRIANGLE SHAPED LOT LOCATED ON THE WEST SIDE OF THE ENTRANCE OF THE OAKS OF VERNON HILLS ON US ROUTE 45 IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY TO BE POSTED IN THE VILLAGE HALL AS REQUIRED BY LAW FROM MARCH 9, 2015 TO MARCH 19, 2015

  
\_\_\_\_\_  
JOHN M. KALMAR, VILLAGE CLERK

SUBSCRIBED AND SWORN TO BEFORE  
THIS 9<sup>th</sup> DAY OF MARCH, 2015

  
\_\_\_\_\_  
Notary Public





**PHASE 1 - SITE DATA**

Parking	# of Spaces
Garages (Apartments):	80
Garages (Rowhomes):	96
Garage Subtotal:	176
Tandem Spaces:	176
Surface Parking: (without landbanked area)	362
Landbanked Parking Area:	21
Total Parking Spaces: (without landbanked area)	714
Ratio:	2.35
Total Parking Spaces: (including landbanked area)	735
Ratio:	2.42
<b>Rental Unit Type</b>	<b># of Units</b>
1 Bedroom:	168
2 Bedroom:	118
3 Bedroom:	18
Total Units:	304
<b>SITE AREA:</b>	<b>26 Acres</b>

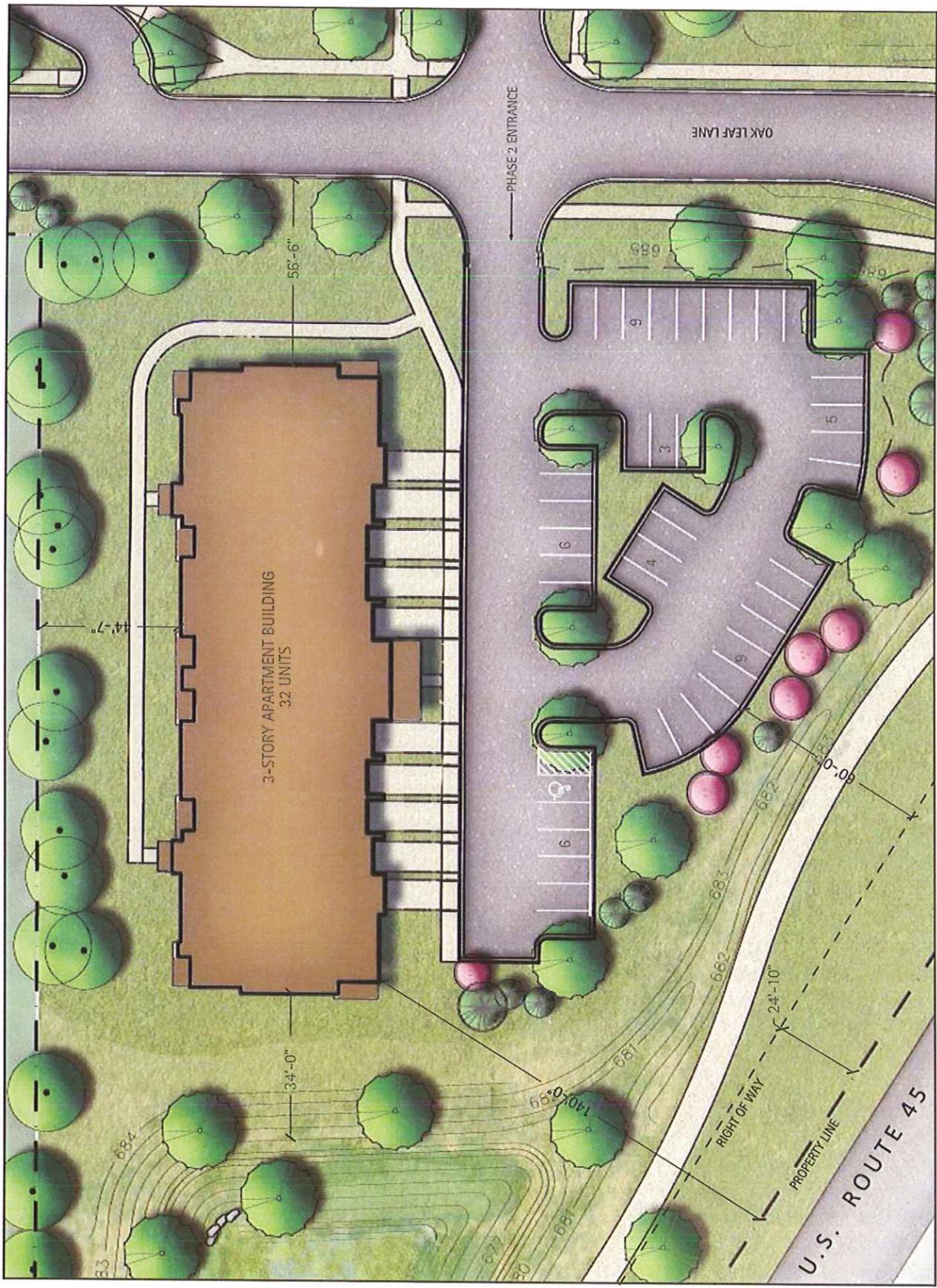
**PHASE 2 - SITE DATA**

Parking	# of Spaces
Garages (Apartments):	10
Tandem Spaces:	10
Surface Parking:	42
Total Parking Spaces:	62
Ratio:	1.97
<b>Rental Unit Type</b>	<b># of Units</b>
1 Bedroom:	22
2 Bedroom:	10
3 Bedroom:	0
Total Units:	32
<b>SITE AREA:</b>	<b>3.0 Acres</b>

**COMBINED SITE TOTALS PHASE 1 & 2**

Total Parking Spaces:	797
Total Parking Ratio:	2.38
Total Units:	336
<b>TOTAL SITE AREA:</b>	<b>31 Acres</b>

VERNON HILLS, ILLINOIS  
**THE OAKS OF VERNON HILLS**  
 Development Master Plan - Phase 1 & Phase 2



Ⓐ - Apartment Expansion Plan - Phase 2



**Front Elevation**

scale: 1/8" = 1'-0"



**Right Elevation**

scale: 1/8" = 1'-0"

**Character Elevation**

Color Scheme D



212 West Kinzie Street  
 5th Floor  
 Chicago, IL 606054  
 312-464-8800

bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan/floor plan changes, etc.)

**Oaks of Vernon Hills MF**

Vernon Hills, IL



12-19-2012  
 © 2012 BSB Design, Inc.



### Rear Elevation

scale: 1/8" = 1'-0"



### Left Elevation

scale: 1/8" = 1'-0"

### Character Elevation

Color Scheme D

### Oaks of Vernon Hills MF

Vernon Hills, IL



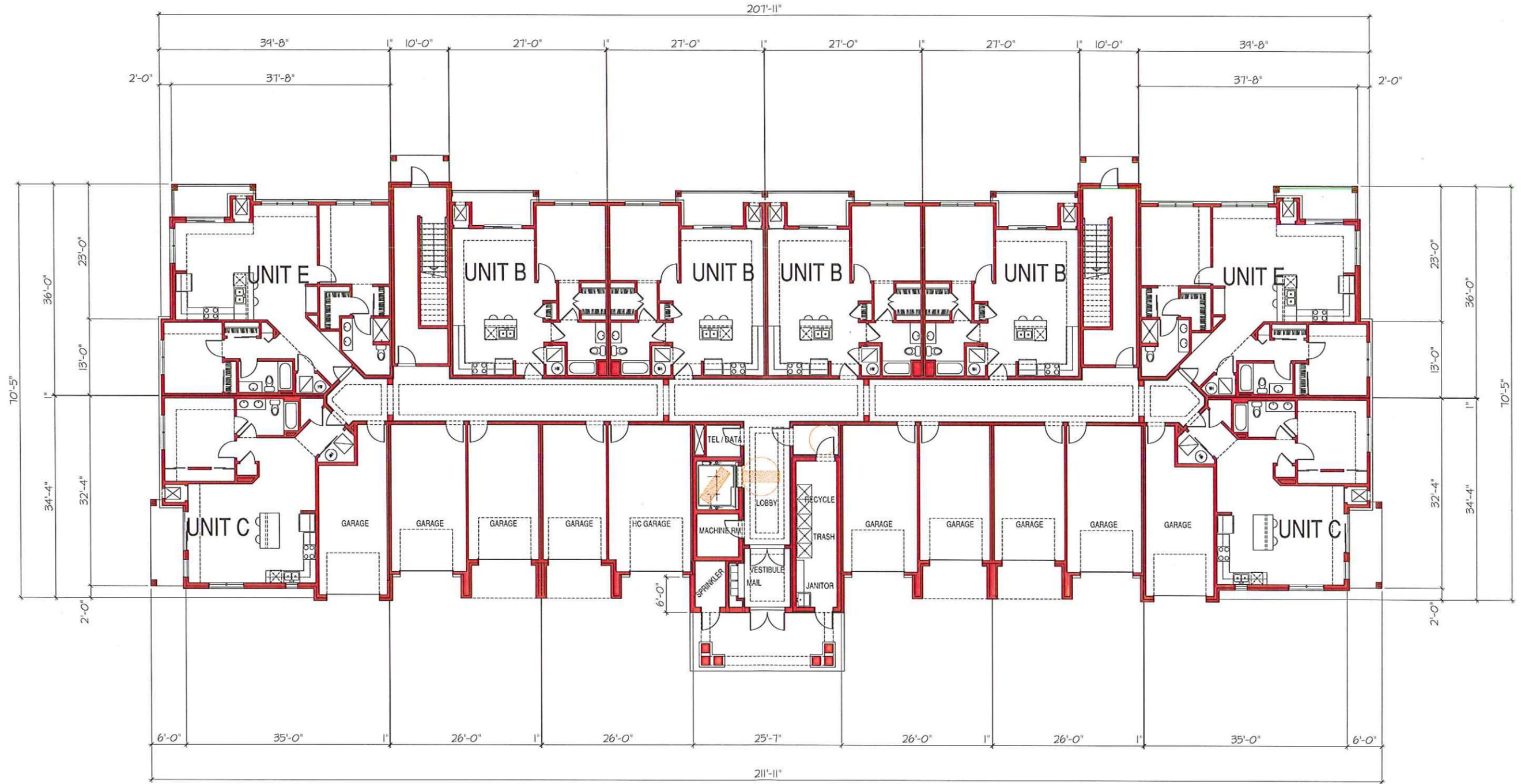
212 West Kinzie Street  
5th Floor  
Chicago, IL 60604  
312-464-8800

bbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

12-19-2012  
© 2012 BSB Design, Inc.





**First Floor Plan**

SCALE: 1/8"=1'-0"

**KINZIE**  
REAL ESTATE GROUP

212 West Kinzie Street  
5th Floor  
Chicago, IL 606054  
312-464-8800

bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

**Oaks of Vernon Hills MF**

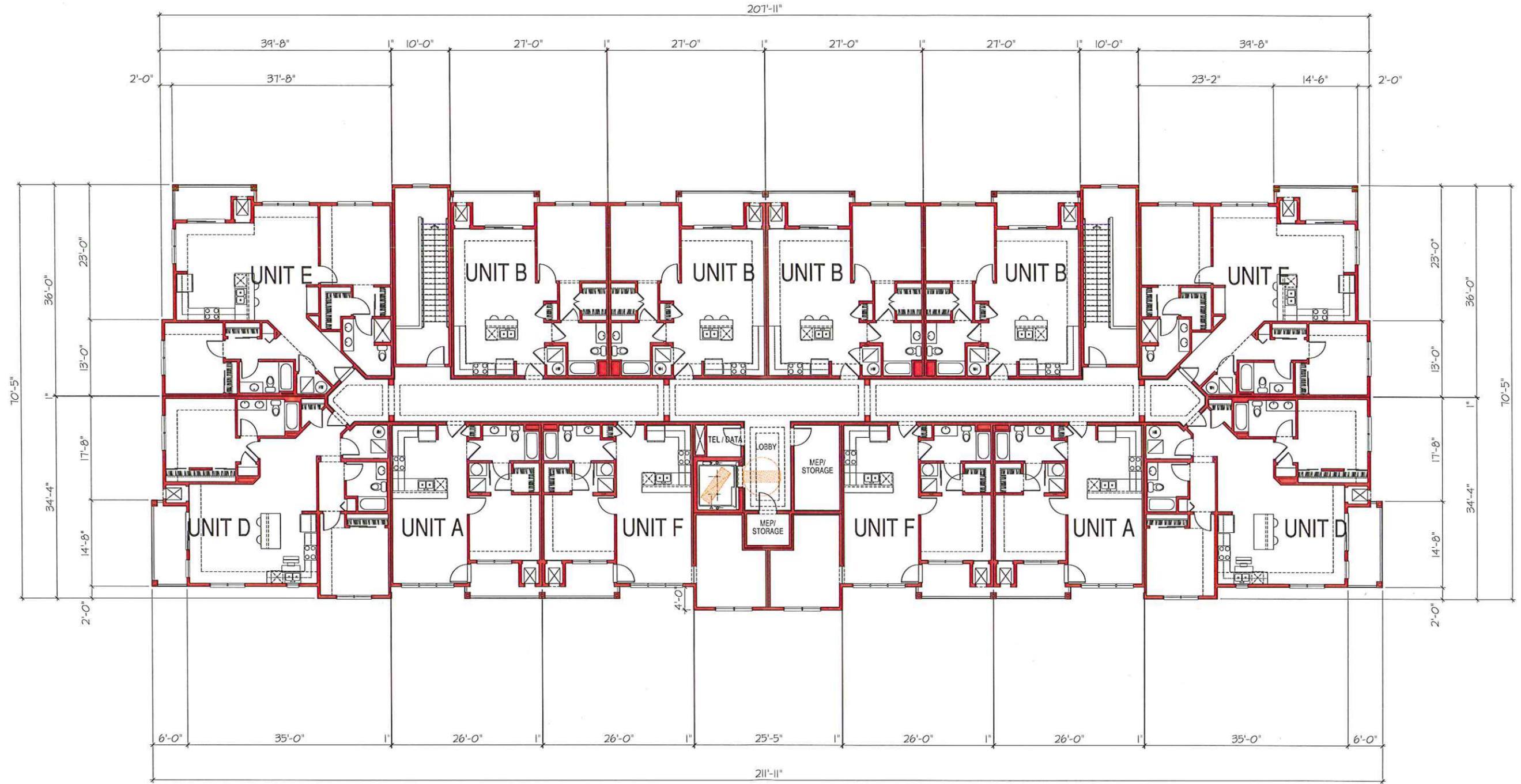
Vernon Hills, IL

11-16-2012

© 2012 BSB Design, Inc.







**Third Floor Plan**

SCALE: 1/8"=1'-0"



212 West Kinzie Street  
5th Floor  
Chicago, IL 606054  
312-464-8800

bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

**Oaks of Vernon Hills MF**

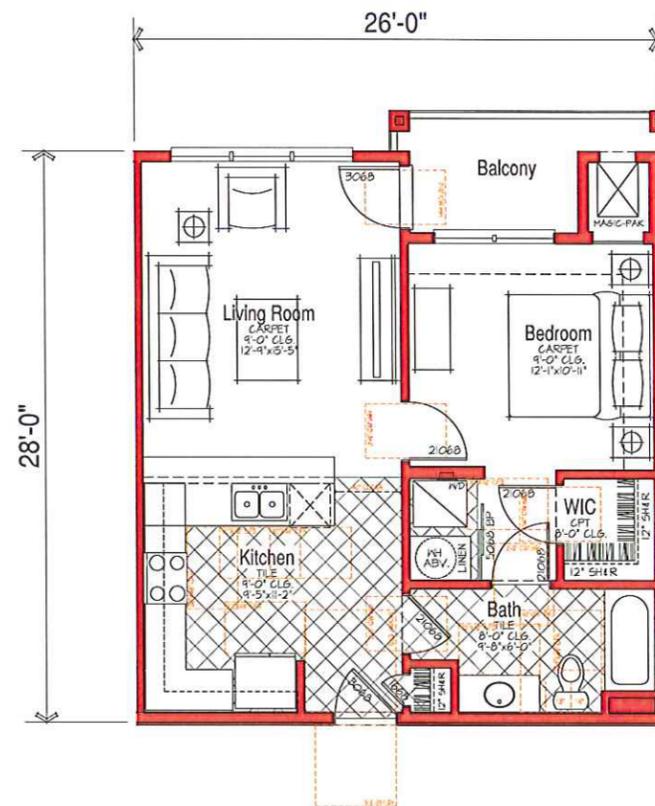
Vernon Hills, IL



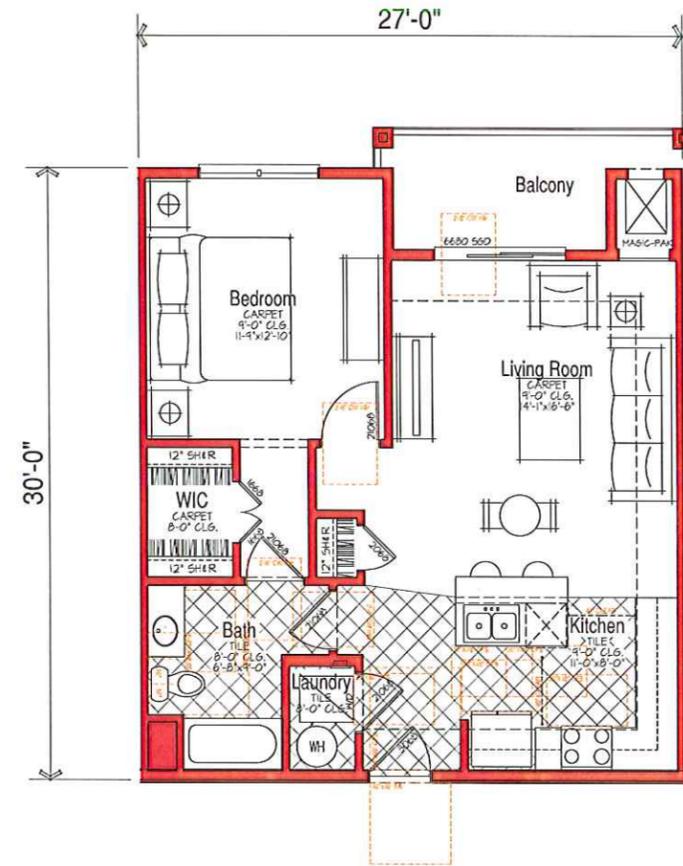
**BSB**  
DESIGN

11-16-2012

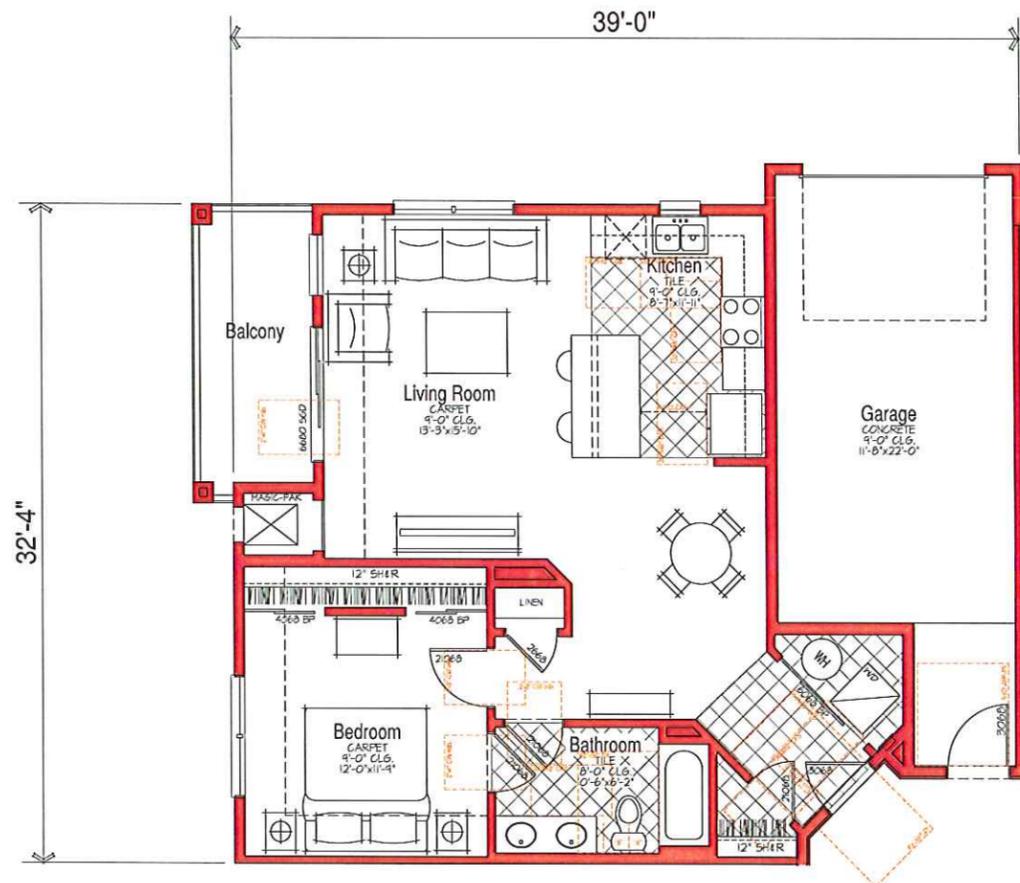
© 2012 BSB Design, Inc.



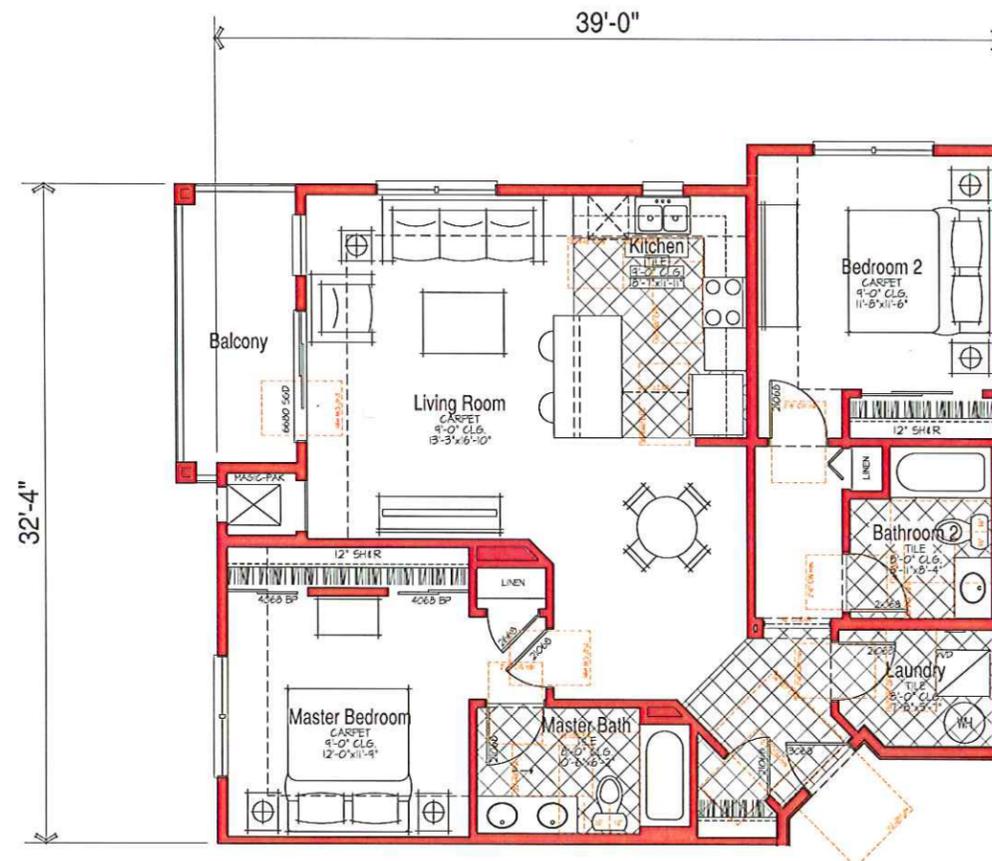
ANSI TYPE B UNIT  
695 SF.  
**1 Unit - A - 1 Bedroom**  
SCALE: 1/4"=1'-0" #A-1



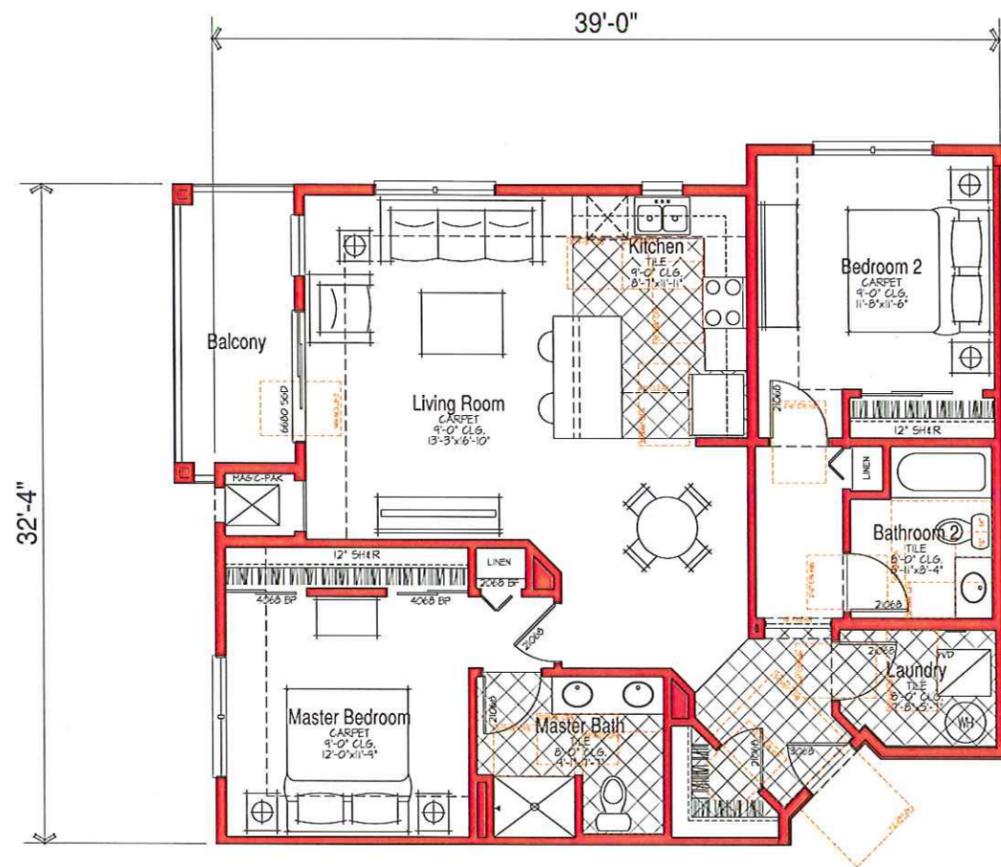
ANSI TYPE B UNIT  
767 SF.  
**2 Unit - B - 1 Bedroom**  
SCALE: 1/4"=1'-0" #B-1



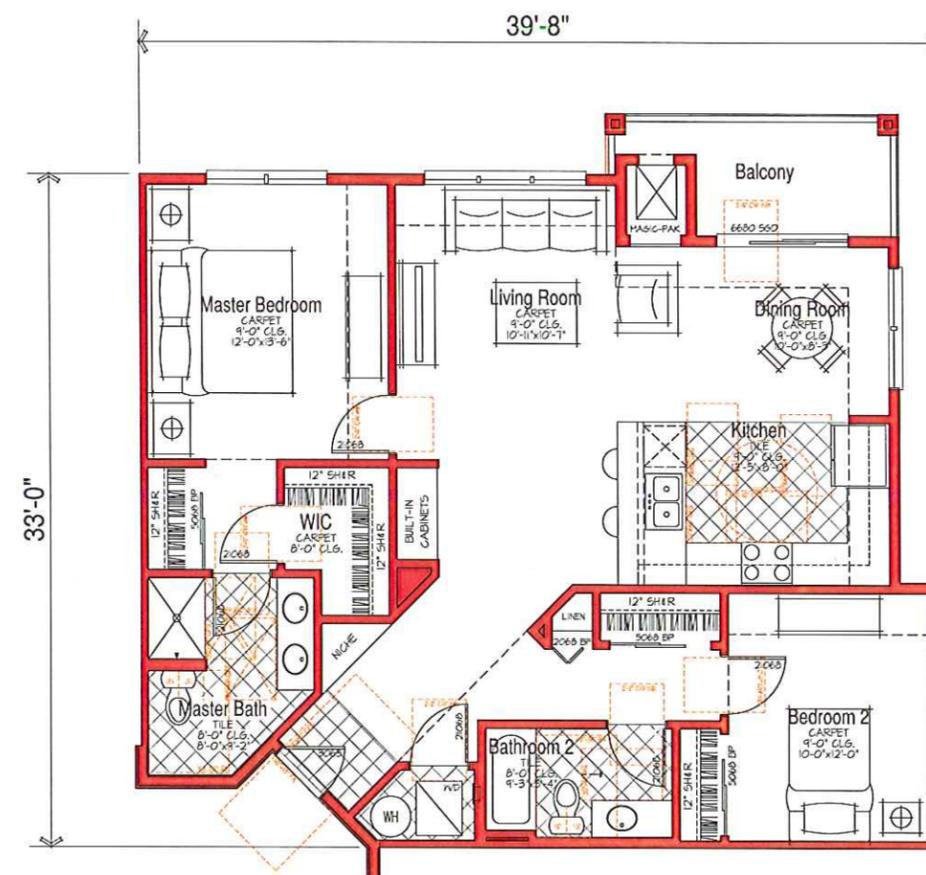
ANSI TYPE B UNIT  
873 SF.  
**Unit - C - 1 Bedroom**  
SCALE: 1/4"=1'-0" v1-c



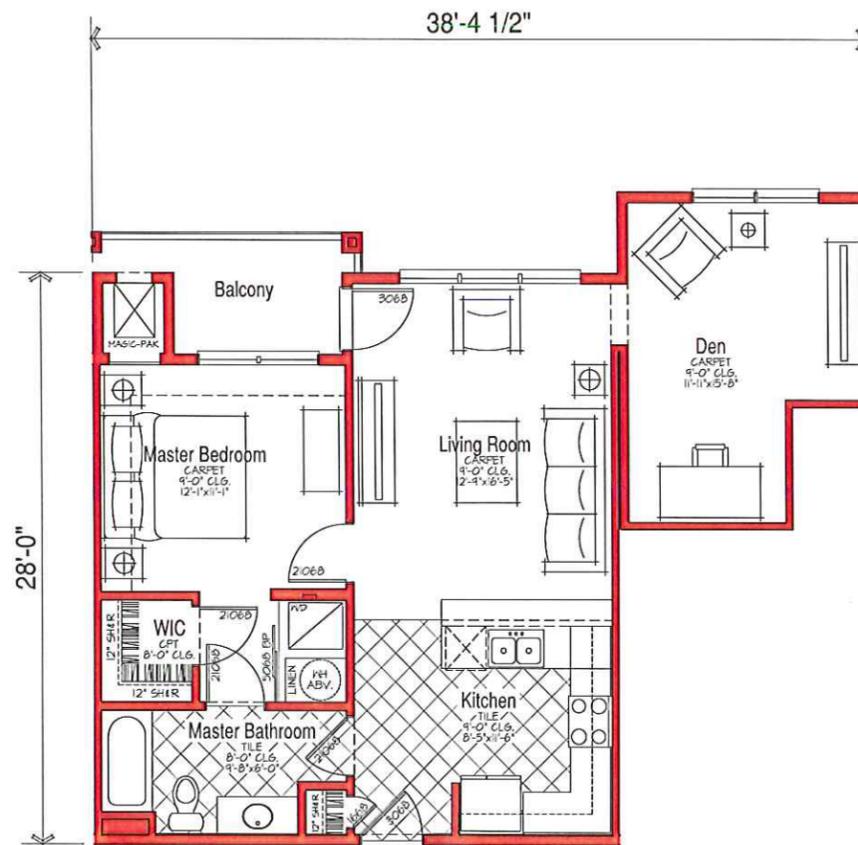
ANSI TYPE B UNIT  
1189 SF.  
**Unit - D - 2 Bedroom**  
SCALE: 1/4"=1'-0" v1-d



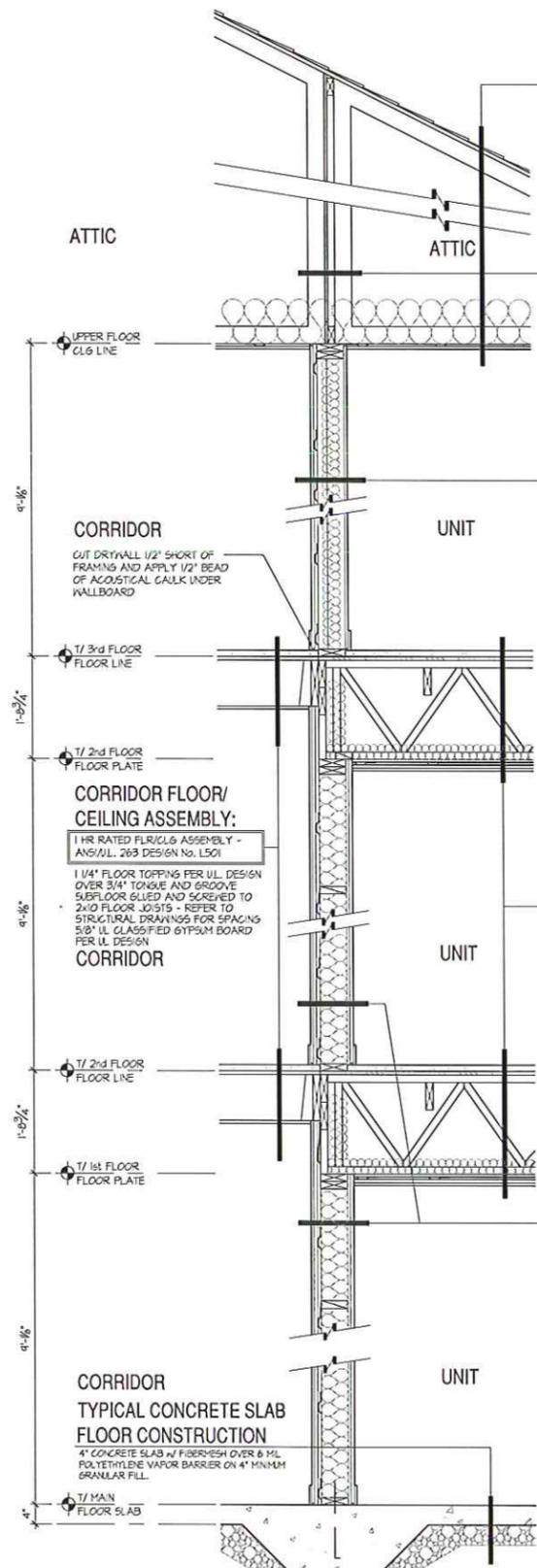
ANSI TYPE B UNIT  
1189 SF.  
**Unit - D - Alternate - 2 Bedroom**  
4 SCALE: 1/4"=1'-0"



ANSI TYPE B UNIT  
1196 SF.  
**Unit - E - 2 Bedroom**  
5 SCALE: 1/4"=1'-0"



ANSI TYPE B UNIT  
 881 SF.  
**6 Unit - F - 1 Bedroom + Den**  
 SCALE: 1/4"=1'-0"



**TYPICAL ROOF/CEILING CONSTRUCTION:**  
 1 HR RATED ROOF / CEILING ASSEMBLY - ANS/UL 263 DESIGN No. P522  
 30-40 YEAR SELF SEALING CLASS - A, ARCHITECTURAL SHINGLES OVER 30# ROOFING FELT PAPER OVER 5/8" PLYWOOD ROOF SHEATHING OVER PRE-ENGINEERED WOOD TRUSSES AT 24" O.C. VERIFY WITH TRUSS MFR PROVIDE UPLIFT RESISTANT CONNECTORS AT EACH TRUSS PROVIDE ICE AND WATER SHIELD (ICE AND WATER SHIELD TO LAP OVER METAL Drip EDGE A MIN. OF 2" AND EXTEND FROM EAVE TO 24 INCHES BEYOND THE INSIDE FACE OF EXTERIOR WALL. SEE ROOF PLANS FOR ALL OTHER LOCATIONS REQUIRED R-30 BLOW-IN INSULATION. SEE ROOF PLAN FOR VENTILATION REQUIREMENTS PROVIDE AIR Baffles AT EACH TRUSS BAY TO MAINTAIN 2" MINIMUM AIRSPACE FOR VENTING RESILIENT CHANNELS 5/8" AND SPACED PER U.L. DESIGN PERPENDICULAR TO TRUSSES. ONE LAYER OF 5/8" U.L. TYPE-C GYPSUM BOARD SECURED TO RESILIENT CHANNELS PER U.L. DESIGN.

**TYPICAL ATTIC DRAFTSTOPPING**  
 1/2 IN. THICK BY 48 IN. WIDE BOARDS U.L. CLASSIFIED GYPSUM BOARD. ATTIC SPACE IS TO BE SUBDIVIDED BY DRAFTSTOPPING INTO AREAS NOT EXCEEDING 3000 SQUARE FEET OR ABOVE EVERY TWO DWELLING UNITS, WHICHEVER IS SMALLER.

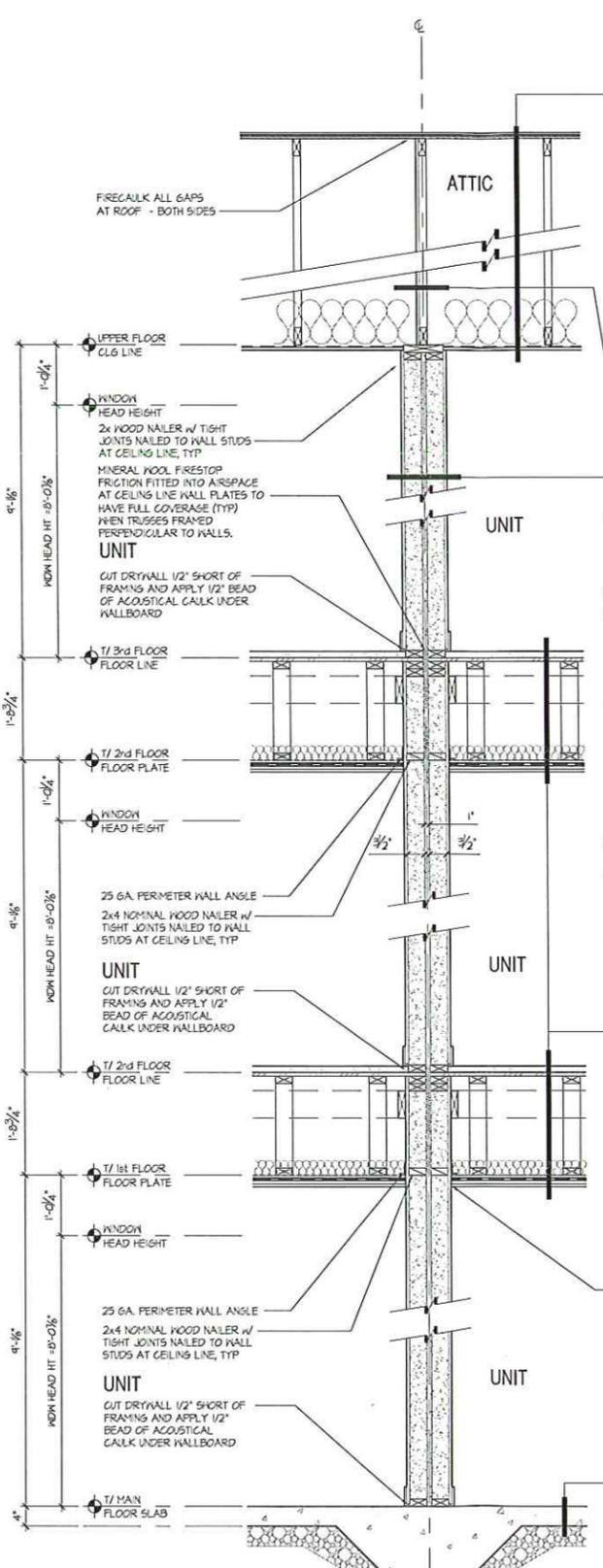
**UPPER FLOOR CORRIDOR / DWELLING UNIT WALL SEPARATION ASSEMBLY**  
 1 HR RATED WALL ASSEMBLY - ANS/UL 263 DESIGN No. U340 STC 55, AT UPPER FLOOR ONLY  
 1. 1 LAYER 5/8 IN. THICK WALLBOARD, PAPER OR VINYL FACED WITH BEVELED, SQUARE, TAPERED OR ROUNDED EDGES WALLBOARD NAILED TO EACH STUD 1 IN. O.C. WITH 6D CEMENT COATED NAILS, 1-7/8 IN. LONG, 0.018 IN. SHANK DIA. AND 1/4 IN. DIA. HEAD. AS AN ALTERNATIVE, NO. 6 BUSH HEAD DRYWALL SCREWS, 1-7/8 IN. LONG, MAY BE SUBSTITUTED FOR THE 6D CEMENT COATED NAILS. WHEN USED IN WIDTHS OTHER THAN 48 IN., WALLBOARD TO BE INSTALLED HORIZONTALLY, ON BOTH SIDES OF WALL.  
 2. RESILIENT CHANNELS (ON CORRIDOR SIDE OF WALL).  
 25 M56 GALV. STEEL, SPACED VERTICALLY 24 IN. O.C., FLANGE PORTION SCREEN ATTACHED TO ONE SIDE OF STUDS WITH 1/4 IN. LONG DIAMETER SHAPED POINT, DOUBLE END PHILLIPS HEAD STEEL SCREWS.  
 3. NOM 2x4 IN. ALTERNATING ON OPPOSITE SIDES OF NOM 2x6 IN. WOOD PLATES, SPACED 24 IN. O.C. MAX ON EACH SIDE OF WOOD PLATES, STAGGERED 12 IN. O.C. ON OPPOSITE SIDE.  
 4. 3 IN. MIN. THICK GLASS FIBER BATTS BEARING THE U.L. CLASSIFICATION MARKING AS TO SURFACE BURNING AND/OR FIRE RESISTANCE. PLACED TO FILL THE INTERIOR OF THE WALL, ATTACHED TO THE NOM. 4 IN. FACE OF THE STUDS WITH STAPLES PLACED 24 IN. O.C. SEE BATTs AND BLANKETS (BKNV OR BZLZ) CATEGORIES FOR NAMES OF CLASSIFIED COMPANIES.

**TYPICAL DWELLING UNIT FLR/CLG SEPARATION ASSEMBLY**  
 2 HR RATED FLR/CLG ASSEMBLY - ANS/UL 263 DESIGN No. L511 CARPET, STC 52 - 54, IIC 65 - 70, VINYL (HARD SURFACES) WITH SRB, STC 52 - 54, IIC 50 - 55.  
 1. 1/4" (3/4" MIN) FLOOR TOPPING PER U.L. DESIGN OVER (PROVIDE 3/8" SRB BY USG UNDER TOPPING AT ALL HARD SURFACES AND REDUCE TOPPING FOR SRB THICKNESS) 3/4" TONGUE AND GROOVE SUBFLOOR GULLED AND SCREWED TO 2x10 FLOOR JOISTS. REFER TO STRUCTURAL DRAWINGS FOR SPACING 5/8" U.L. CLASSIFIED GYPSUM BOARD PER U.L. DESIGN.  
 2. 1/4" (3/4" MIN) FLOOR TOPPING PER U.L. DESIGN OVER (PROVIDE 3/8" SRB BY USG UNDER TOPPING AT ALL HARD SURFACES AND REDUCE TOPPING FOR SRB THICKNESS) 3/4" TONGUE AND GROOVE SUBFLOOR GULLED AND SCREWED TO 2x10 FLOOR JOISTS. REFER TO STRUCTURAL DRAWINGS FOR TRUSS SPACING) 3 1/2" UNFACED GLASS FIBER INSULATION OR LOOSE FILL MATERIAL (INSULATION PER U.L. DESIGN SECURED TO SUBFLOOR OR DRAPE OVER GYPSUM BOARD PER U.L. DESIGN. BASE LAYER 5/8" U.L. CLASSIFIED GYPSUM BOARD CEILING PER U.L. DESIGN. RESILIENT CHANNELS SIZED AND SPACED PER U.L. DESIGN PERPENDICULAR TO TRUSSES. TWO LAYERS 5/8" U.L. CLASSIFIED GYPSUM BOARD CEILING PER U.L. DESIGN-R-21 BATT INSULATION CONTINUOUS AT TRUSS ENDS.

**TYPICAL CORRIDOR / DWELLING UNIT WALL SEPARATION ASSEMBLY**  
 2 HR RATED WALL ASSEMBLY - ANS/UL 263 DESIGN No. U334 STC 56, AT FIRST AND SECOND FLOORS  
 1. 2 LAYERS 5/8 IN. THICK TYPE-C, 4 FT WIDE, ATTACHED TO FURRING CHANNELS. BASE LAYER WITH 1 IN. LONG TYPE 5 STEEL SCREWS SPACED MAX 24 IN. O.C., FACE LAYER WITH 1/2 IN. LONG TYPE 5 STEEL SCREWS SPACED MAX 12 IN. O.C. ATTACHED TO WOOD STUDS. BASE LAYER WITH 1-7/8 IN. LONG 6D COATED NAILS SPACED MAX 14 IN. O.C., FACE LAYER WITH 2-3/8 IN. LONG 6D COATED NAILS SPACED MAX 1 IN. O.C. BASE LAYERS INSTALLED VERTICALLY. FACE LAYERS INSTALLED HORIZONTALLY WITH BUTT JOINTS OFFSET 16 IN. FROM BASE LAYERS, ON BOTH SIDES OF WALL.  
 2. RESILIENT CHANNELS (ON CORRIDOR SIDE OF WALL ONLY). 25 M56 GALV. STEEL, NOM 2-1/2 IN. DEEP. RESILIENT CHANNELS PLACED PERPENDICULAR TO STUDS, SPACED VERTICALLY MAX 24 IN. O.C., FLANGE PORTION ATTACHED TO EACH INTERSECTING STUD WITH 1 IN. LONG TYPE 5 STEEL SCREWS.  
 3. NOM 2 BY 4 IN., SPACED 16 IN. O.C. STUDS CROSS BRACED AT MID-HEIGHT AND EFFECTIVELY FIRE STOPPED AT TOP AND BOTTOM OF WALL.  
 4. FRIGTION FIT WITH R-11 UNFACED FIBERGLASS INSULATION BATTS MEASURING 6-1/4 IN. THICK AND 15-1/4 IN. WIDE. SEE BATTs AND BLANKETS\* (BZLZ) CATEGORY FOR NAMES OF CLASSIFIED COMPANIES.

**TYPICAL CONCRETE SLAB FLOOR CONSTRUCTION**  
 4" CONCRETE SLAB W/ FIBERESH OVER 6 ML POLYETHYLENE VAPOR BARRIER ON 4" MINIMUM GRANULAR FILL.

**3** Roof and or Floor Trusses Perpendicular to Interior Wall Section at Corridor  
 SCALE: 3/4"=1'-0"



**TYPICAL ROOF/CEILING CONSTRUCTION:**  
 1 HR RATED ROOF / CEILING ASSEMBLY - ANS/UL 263 DESIGN No. P522  
 30-40 YEAR SELF SEALING CLASS - A, ARCHITECTURAL SHINGLES OVER 30# ROOFING FELT PAPER OVER 5/8" PLYWOOD ROOF SHEATHING OVER PRE-ENGINEERED WOOD TRUSSES AT 24" O.C. VERIFY WITH TRUSS MFR PROVIDE UPLIFT RESISTANT CONNECTORS AT EACH TRUSS PROVIDE ICE AND WATER SHIELD (ICE AND WATER SHIELD TO LAP OVER METAL Drip EDGE A MIN. OF 2" AND EXTEND FROM EAVE TO 24 INCHES BEYOND THE INSIDE FACE OF EXTERIOR WALL. SEE ROOF PLANS FOR ALL OTHER LOCATIONS REQUIRED R-30 BLOW-IN INSULATION. SEE ROOF PLAN FOR VENTILATION REQUIREMENTS PROVIDE AIR Baffles AT EACH TRUSS BAY TO MAINTAIN 2" MINIMUM AIRSPACE FOR VENTING RESILIENT CHANNELS 5/8" AND SPACED PER U.L. DESIGN PERPENDICULAR TO TRUSSES. ONE LAYER OF 5/8" U.L. TYPE-C GYPSUM BOARD SECURED TO RESILIENT CHANNELS PER U.L. DESIGN.

**TYPICAL ATTIC DRAFTSTOPPING**  
 1/2 IN. THICK BY 48 IN. WIDE BOARDS U.L. CLASSIFIED GYPSUM BOARD. ATTIC SPACE IS TO BE SUBDIVIDED BY DRAFTSTOPPING INTO AREAS NOT EXCEEDING 3000 SQUARE FEET OR ABOVE EVERY TWO DWELLING UNITS, WHICHEVER IS SMALLER.

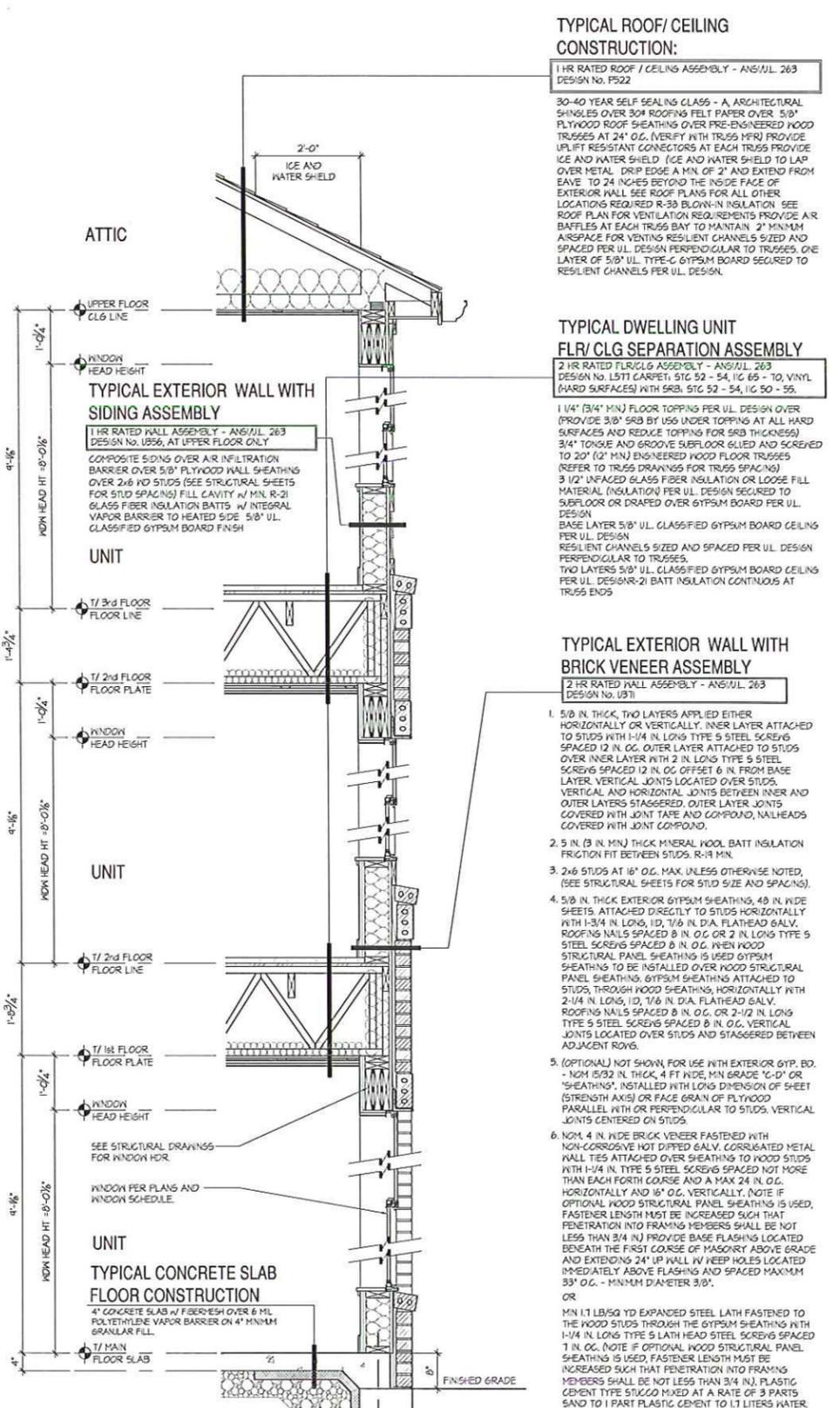
**TYPICAL DWELLING UNIT WALL SEPARATION ASSEMBLY**  
 2 HR RATED WALL ASSEMBLY - ANS/UL 263 DESIGN No. U337 STC 53 (SHOWN) - 58 OR 63 W/ ADDITIONAL LAYER OF GYPSUM BOARD, PER U.L. DESIGN  
 1. WOOD STUDS - 2x4 DIM 12 AT WALLS SUPPORTING TWO STORES (ADV) DOUBLE ROW OF NOMINAL 2x4 IN. AT 16" O.C. CROSS-BRACED AT MID-HEIGHT, OPPOSITE ROWS SPACED 1 IN. APART, STAGGERED 8 IN. O.C., JOINED AT TOP AND BOTTOM WITH BEARING PLATES EFFECTIVELY FIRE STOPPED AT TOP AND BOTTOM OF WALL.  
 2. BEARING PLATES - NOM 2x4 IN. 2 LAYERS ON TOP AND 1 LAYER ON BOTTOM FOR EACH ROW OF STUDS.  
 3. FIBER, SPRAYED\* - SPRAYED APPLIED CELLULOSE INSULATION MATERIAL. THE FIBER IS APPLIED WITH WATER TO FILL THE ENCLOSED BAY IN ACCORDANCE WITH THE APPLICATION INSTRUCTIONS PROVIDED WITH THE PRODUCT. A NOMINAL DENSITY 3-1/2 IN. MAXIMUM DRY DENSITY OF 4.3 POUNDS PER CUBIC FEET, N-KOOL CO. INC. - CELLULOSE INSULATION.  
 4. GYPSUM BOARD\* - U.L. CLASSIFIED 5/8 IN. THICK WALLBOARD PER U.L. DESIGN, 4 FT WIDE, APPLIED HORIZ. OR VERT. PER U.L. DESIGN, NAILED TO STUDS AND BEARING PLATES 1 IN. O.C. WITH 6D 1-7/8 IN. LONG, 0.018 IN. SHANK DIA. 1/4 IN. CEMENT COATED NAILS. WHEN APPLIED VERTICALLY, JOINTS TO BE CENTERED OVER STUDS. WHEN HORIZONTALLY, VERTICAL BUTT JOINTS TO BE CENTERED OVER STUDS. 4 HORIZ. JOINTS TO BE CENTERED OVER STUDS. AS AN ALTERNATIVE, NO. 6 BY 1-7/8 IN. LONG BUSH HEAD DRYWALL SCREWS CAN SUBSTITUTE FOR THE 6D CEMENT COATED NAILS.  
 5. JOINTS AND SCREW HEADS (NOT SHOWN) - WALLBOARD JOINTS TAPERED AND BOTH JOINTS AND NAILHEADS COVERED WITH JOINT COMPOUND.  
 6. MESH NETTING (NOT SHOWN) - ANY THIN, HOVEN OR NON-FIBROUS NETTING MATERIAL ATTACHED WITH STAPLES TO OUTER FACE OF 1 ROW OF STUDS TO FACILITATE THE INSTALLATION OF SPRAYED FIBER FROM THE OPPOSITE ROW.  
 7. APPROVED 2 HR RATED FIRE CAULK AS NECESSARY. \*BEARING THE U.L. CLASSIFICATION MARK.

**TYPICAL DWELLING UNIT FLR/CLG SEPARATION ASSEMBLY**  
 2 HR RATED FLR/CLG ASSEMBLY - ANS/UL 263 DESIGN No. L511 CARPET, STC 52 - 54, IIC 65 - 70, VINYL (HARD SURFACES) WITH SRB, STC 52 - 54, IIC 50 - 55.  
 1. 1/4" (3/4" MIN) FLOOR TOPPING PER U.L. DESIGN OVER (PROVIDE 3/8" SRB BY USG UNDER TOPPING AT ALL HARD SURFACES AND REDUCE TOPPING FOR SRB THICKNESS) 3/4" TONGUE AND GROOVE SUBFLOOR GULLED AND SCREWED TO 2x10 FLOOR JOISTS. REFER TO STRUCTURAL DRAWINGS FOR TRUSS SPACING) 3 1/2" UNFACED GLASS FIBER INSULATION OR LOOSE FILL MATERIAL (INSULATION PER U.L. DESIGN SECURED TO SUBFLOOR OR DRAPE OVER GYPSUM BOARD PER U.L. DESIGN. BASE LAYER 5/8" U.L. CLASSIFIED GYPSUM BOARD CEILING PER U.L. DESIGN. RESILIENT CHANNELS SIZED AND SPACED PER U.L. DESIGN PERPENDICULAR TO TRUSSES. TWO LAYERS 5/8" U.L. CLASSIFIED GYPSUM BOARD CEILING PER U.L. DESIGN-R-21 BATT INSULATION CONTINUOUS AT TRUSS ENDS.

**TYPICAL CONCRETE SLAB FLOOR CONSTRUCTION**  
 4" CONCRETE SLAB W/ FIBERESH OVER 6 ML POLYETHYLENE VAPOR BARRIER ON 4" MINIMUM GRANULAR FILL.

**GYP. BOARD APPLICATION**  
 CEILING GYP. BOARD APPLIED WITH LONG DIMENSION PERPENDICULAR TO TRUSSES. STAGGER END JOINTS ON CENTERLINE OF TRUSS BOTTOM CHORDS.

**2** Roof and or Floor Trusses Parallel to Unit Separation Wall Section  
 SCALE: 3/4"=1'-0"



**TYPICAL ROOF/CEILING CONSTRUCTION:**  
 1 HR RATED ROOF / CEILING ASSEMBLY - ANS/UL 263 DESIGN No. P522  
 30-40 YEAR SELF SEALING CLASS - A, ARCHITECTURAL SHINGLES OVER 30# ROOFING FELT PAPER OVER 5/8" PLYWOOD ROOF SHEATHING OVER PRE-ENGINEERED WOOD TRUSSES AT 24" O.C. VERIFY WITH TRUSS MFR PROVIDE UPLIFT RESISTANT CONNECTORS AT EACH TRUSS PROVIDE ICE AND WATER SHIELD (ICE AND WATER SHIELD TO LAP OVER METAL Drip EDGE A MIN. OF 2" AND EXTEND FROM EAVE TO 24 INCHES BEYOND THE INSIDE FACE OF EXTERIOR WALL. SEE ROOF PLANS FOR ALL OTHER LOCATIONS REQUIRED R-30 BLOW-IN INSULATION. SEE ROOF PLAN FOR VENTILATION REQUIREMENTS PROVIDE AIR Baffles AT EACH TRUSS BAY TO MAINTAIN 2" MINIMUM AIRSPACE FOR VENTING RESILIENT CHANNELS 5/8" AND SPACED PER U.L. DESIGN PERPENDICULAR TO TRUSSES. ONE LAYER OF 5/8" U.L. TYPE-C GYPSUM BOARD SECURED TO RESILIENT CHANNELS PER U.L. DESIGN.

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 1. 1/4" (3/4" MIN) FLOOR TOPPING PER U.L. DESIGN OVER (PROVIDE 3/8" SRB BY USG UNDER TOPPING AT ALL HARD SURFACES AND REDUCE TOPPING FOR SRB THICKNESS) 3/4" TONGUE AND GROOVE SUBFLOOR GULLED AND SCREWED TO 2x10 FLOOR JOISTS. REFER TO STRUCTURAL DRAWINGS FOR TRUSS SPACING) 3 1/2" UNFACED GLASS FIBER INSULATION OR LOOSE FILL MATERIAL (INSULATION PER U.L. DESIGN SECURED TO SUBFLOOR OR DRAPE OVER GYPSUM BOARD PER U.L. DESIGN. BASE LAYER 5/8" U.L. CLASSIFIED GYPSUM BOARD CEILING PER U.L. DESIGN. RESILIENT CHANNELS SIZED AND SPACED PER U.L. DESIGN PERPENDICULAR TO TRUSSES. TWO LAYERS 5/8" U.L. CLASSIFIED GYPSUM BOARD CEILING PER U.L. DESIGN-R-21 BATT INSULATION CONTINUOUS AT TRUSS ENDS.

**TYPICAL EXTERIOR WALL WITH SIDING ASSEMBLY**  
 1 HR RATED WALL ASSEMBLY - ANS/UL 263 DESIGN No. U356, AT UPPER FLOOR ONLY  
 COMPOSITE SIDING OVER AIR INFILTRATION BARRIER OVER 5/8" PLYWOOD WALL SHEATHING OVER 2x6 WOOD STUDS (SEE STRUCTURAL DRAWINGS FOR STUD SPACING) 3 1/2" UNFACED GLASS FIBER INSULATION OR LOOSE FILL MATERIAL (INSULATION PER U.L. DESIGN SECURED TO SUBFLOOR OR DRAPE OVER GYPSUM BOARD PER U.L. DESIGN. BASE LAYER 5/8" U.L. CLASSIFIED GYPSUM BOARD CEILING PER U.L. DESIGN. RESILIENT CHANNELS SIZED AND SPACED PER U.L. DESIGN PERPENDICULAR TO TRUSSES. TWO LAYERS 5/8" U.L. CLASSIFIED GYPSUM BOARD CEILING PER U.L. DESIGN-R-21 BATT INSULATION CONTINUOUS AT TRUSS ENDS.

**TYPICAL EXTERIOR WALL WITH BRICK VENEER ASSEMBLY**  
 2 HR RATED WALL ASSEMBLY - ANS/UL 263 DESIGN No. U371  
 1. 5/8 IN. THICK, TWO LAYERS APPLIED EITHER HORIZONTALLY OR VERTICALLY. INNER LAYER ATTACHED TO STUDS WITH 1/4 IN. LONG TYPE 5 STEEL SCREWS SPACED 12 IN. O.C. OUTER LAYER ATTACHED TO STUDS OVER INNER LAYER WITH 2 IN. LONG TYPE 5 STEEL SCREWS SPACED 12 IN. O.C. OFFSET 6 IN. FROM BASE LAYER. VERTICAL JOINTS LOCATED OVER STUDS. VERTICAL AND HORIZONTAL JOINTS BETWEEN INNER AND OUTER LAYERS STAGGERED. OUTER LAYER JOINTS COVERED WITH JOINT TAPE AND COMPOUND, NAILHEADS COVERED WITH JOINT COMPOUND.  
 2. 5 IN. (3 IN. MIN) THICK MINERAL WOOL BATT INSULATION. FRIGTION FIT BETWEEN STUDS, R-11 MIN.  
 3. 2x6 STUDS AT 16" O.C. MAX. UNLESS OTHERWISE NOTED, (SEE STRUCTURAL SHEETS FOR STUD SIZE AND SPACING).  
 4. 5/8 IN. THICK EXTERIOR GYPSUM SHEATHING, 48 IN. WIDE SHEETS ATTACHED DIRECTLY TO STUDS HORIZONTALLY WITH 1-3/4 IN. LONG, 1/8 IN. DIA. FLATHEAD GALV. ROOFING NAILS SPACED 8 IN. O.C. OR 2 IN. LONG TYPE 5 STEEL SCREWS SPACED 8 IN. O.C. WHEN WOOD STRUCTURAL PANEL SHEATHING IS USED GYPSUM SHEATHING TO BE INSTALLED OVER WOOD STRUCTURAL PANEL SHEATHING. GYPSUM SHEATHING ATTACHED TO STUDS THROUGH WOOD SHEATHING, HORIZONTALLY WITH 2-1/4 IN. LONG, 1/8 IN. DIA. FLATHEAD GALV. ROOFING NAILS SPACED 8 IN. O.C. OR 2-1/2 IN. LONG TYPE 5 STEEL SCREWS SPACED 8 IN. O.C. VERTICAL JOINTS LOCATED OVER STUDS AND STAGGERED BETWEEN ADJACENT ROWS.  
 5. (OPTIONAL) NOT SHOWN, FOR USE WITH EXTERIOR GYP. BD. - NOM 1/2 IN. THICK, 4 FT WIDE, MIN GRADE 1-C-07 OR "SHEATHING" INSTALLED WITH LONG DIMENSION OF SHEET (STRENGTH AXIS) OR FACE GRAIN OF PLYWOOD PARALLEL WITH OR PERPENDICULAR TO STUDS. VERTICAL JOINTS CENTERED ON STUDS.  
 6. NOM. 4 IN. WIDE BRICK VENEER FASTENED WITH NON-CORROSIVE HOT DIPPED GALV. CORRUGATED METAL WALL TIES ATTACHED OVER SHEATHING TO WOOD STUDS WITH 1-1/4 IN. TYPE 5 STEEL SCREWS SPACED NOT MORE THAN EACH FORTH COURSE AND A MAX 24 IN. O.C. HORIZONTALLY AND 16" O.C. VERTICALLY. NOTE IF OPTIONAL WOOD STRUCTURAL PANEL SHEATHING IS USED, FASTENER LENGTH MUST BE INCREASED SUCH THAT PENETRATION INTO FRAMING MEMBERS SHALL BE NOT LESS THAN 3/4 IN. PROVIDE BASE FLASHING LOCATED BENEATH THE FIRST COURSE OF MASONRY ABOVE GRADE AND EXTENDING 24" UP WALL. KEEP HOLES LOCATED IMMEDIATELY ABOVE FLASHING AND SPACED MAXIMUM 33" O.C. - MINIMUM DIAMETER 3/8". OR MN 11 LB50 YD EXPANDED STEEL LATH FASTENED TO THE WOOD STUDS THROUGH THE GYPSUM SHEATHING WITH 1/4 IN. LONG TYPE 5 LATH HEAD STEEL SCREWS SPACED 7 IN. O.C. (NOTE IF OPTIONAL WOOD STRUCTURAL PANEL SHEATHING IS USED, FASTENER LENGTH MUST BE INCREASED SUCH THAT PENETRATION INTO FRAMING MEMBERS SHALL BE NOT LESS THAN 3/4 IN.). PLASTIC CEMENT TYPE STUCCO MIXED AT A RATE OF 3 PARTS SAND TO 1 PART PLASTIC CEMENT TO 1 PART WATER. THICKNESS OF STUCCO TO BE MIN 3/4 IN. AS MEASURED TO FACE OF LATH.

**TYPICAL CONCRETE SLAB FLOOR CONSTRUCTION**  
 4" CONCRETE SLAB W/ FIBERESH OVER 6 ML POLYETHYLENE VAPOR BARRIER ON 4" MINIMUM GRANULAR FILL.

**1** Roof and or Floor Trusses Perpendicular to Exterior Wall Section  
 SCALE: 3/4"=1'-0"

**R-2 Common Corridor**

**KINZIE**  
 REAL ESTATE GROUP  
 212 West Kinzie Street  
 5th Floor  
 Chicago, IL 606054  
 312-464-8800

bsbdesign.com  
 The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

**Oaks of Vernon Hills**  
 Vernon Hills, IL  
 11-16-2012  
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DEVELOPER:  
 KINZIE REAL ESTATE GROUP  
 212 W KINZIE ST  
 CHICAGO, IL 60604  
 312-555-5555

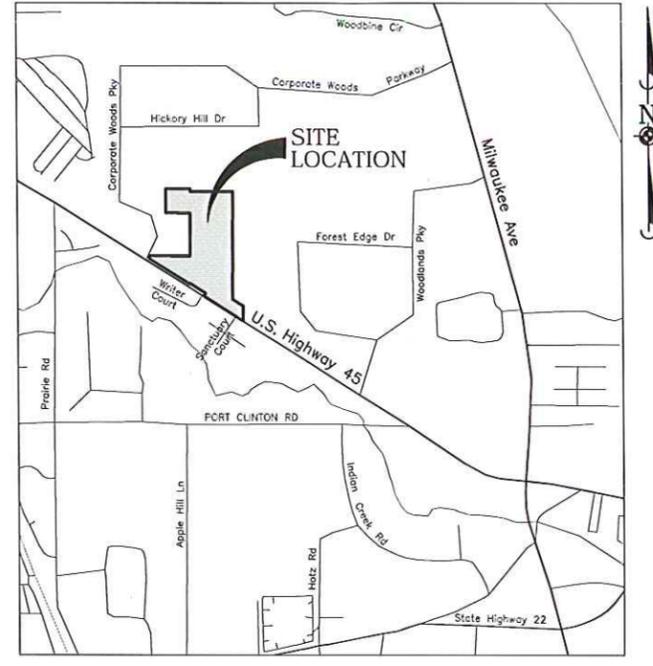
# Final Plan Improvements for

# THE OAKS OF VERNON HILLS

Village of Vernon Hills, Illinois

## STANDARD SYMBOLS

EXISTING	PROPOSED



LOCATION MAP  
 N.T.S.

UTILITY CONTACTS	
<b>ELECTRIC:</b> COMED 1500 FRANKLIN BLVD. LIBERTYVILLE, IL 60048 CONTACT: BRIAN HAUCK (847) 816-5496	<b>SEWER AND WATER:</b> LAKE COUNTY DEPT. OF PUBLIC WORKS 650 WINCHESTER ROAD LIBERTYVILLE, IL 60048 CONTACT: DAVE HUMBERT (847) 377-7500
<b>GAS:</b> NORTH SHORE GAS COMPANY 3001 GRAND AVE. WAUKEGAN, IL 60085 CONTACT: JOE CHINICK (847) 263-4643	<b>TELEPHONE:</b> AT&T/SBC 445 EAST TOWLINE ROAD, VERNON HILLS, IL 60061 CONTACT: JIM EVERETT (770) 750-6181
<b>ENGINEERING:</b> VILLAGE OF VERNON HILLS 490 GREENLEAF DRIVE VERNON HILLS, IL 60061 CONTACT: DAVID BROWN (847) 918-3544	<b>CABLE:</b>

**BENCHMARK:**

SOURCE BENCHMARK 1: VERNON HILLS BENCHMARK #27  
 BRASS CAP MONUMENT IN CONCRETE AT GRASS AREA BETWEEN  
 PARKING LOT OF 700-740 CORPORATE WOODS PARKWAY AND  
 CORPORATE WOODS PARKWAY. ELEVATION=678.224

DATUM: VERTICAL=NAVD 88

SOURCE BENCHMARK 2: VERNON HILLS BENCHMARK #0220  
 #5 REBAR AND RED GPS CAP FLUSH WITH GROUND IN "THE  
 CORPORATE WOODS" OF VERNON HILLS OFF THE STATE HIGHWAY  
 45 ON WOODLANDS PARKWAY, THEN LEFT ON FOREST EDGE  
 DRIVE TO #888 (THE PASLODE COMPANY) THE STATION IS AT  
 THE NORTH END OF THE PARKING LOT LOCATED BEHIND THE  
 CURB IN THE EAST ISLAND. ELEVATION=678.224

DATUM: VERTICAL=NAVD 88

SOURCE BENCHMARK 3: VERNON HILLS BENCHMARK #0212  
 SET 5/8" REBAR WITH RED CAP STAMPED "AYRES ASSOCIATES  
 G.P.S. STATION", AT THE FRONT CORNER OF SIDEWALKS ALONG  
 ROUTE 45 NORTHWEST QUADRANT ROUTE 45 AND STONE FENCE  
 ROAD. ELEVATION=693.037

DATUM: VERTICAL=NAVD 88

SOURCE BENCHMARK 4: VERNON HILLS BENCHMARK #0235  
 #5 REBAR WITH RED CAP STAMPED "AYRES ASSOCIATES G.P.S.  
 STATION" SET FLUSH AT CORNER OF SIDEWALKS AT THE  
 INTERSECTION OF PORT CLINTON ROAD AND BUFFALO GROVE  
 ROAD AT THE GRASS ISLAND. ELEVATION=689.910

DATUM: VERTICAL=NAVD 88

## ABBREVIATIONS

A	ADJUST	F/L	FLOW LINE	PVC	POINT OF VERTICAL CURVATURE
ADD.	AGGREGATE GRAVEL	FM	FORCE MAIN	PVT	POINT OF VERTICAL INTERSECTION
B-B	BIT. AGG. MIXTURE	FO	FIBER OPTIC	R	RADIUS
BB	BACK TO BACK	G	GRADE	RC	RECONSTRUCT
BIT.	BITUMINOUS CONCRETE	G/F	GRADE AT FOUNDATION	RCP	REINFORCED CONCRETE PIPE
BM	BENCHMARK	H/W	HEADWALL	R/O.W.	RIGHT-OF-WAY
B.O.	BACK OF BOX	HH	HANDHOLE	R/R	RAILROAD
B/P	BACK OF PIPE	HWL	HIGH WATER LEVEL	RT	RIGHT
B/W	BACK OF WALK	HYD.	HYDRANT	SAW.	SANITARY SEWER
CB	CATCH BASIN	IN	INLET	SEW.	SEWER
CE	COMMERCIAL ENTRANCE	INV.	INVERT	SF.	SQUARE FOOT
C.L.	CENTERLINE	IP	IRON PIPE	SHLD.	SHOULDER
C.LID	CORRUGATED METAL PIPE	LT	LEFT	SL	STREET LIGHT
CMP	CONTROL	MAX.	MAXIMUM	SMH	SANITARY MANHOLE
CONC.	CONCRETE	MALBX	MAIL BOX	ST	STORM
CY	CUBIC YARD	MIL	MINIMUM	STIA	SQUARE YARDS
D	DIAMETER	NWL	NORMAL WATER LEVEL	STD	STANDARD
DIP	DUCTILE IRON PIPE	O. LID	OPEN LID	SY	STORM
DIM	DUCTILE IRON WATER MAIN	P	PROPOSED	T	TO BE REMOVED
DT	DRAIN TILE	PC	POINT OF CURVATURE	T/A	TYPE A
E	ELECTRIC	PCO	POINT OF COMPOUND CURVATURE	T/C	TOP OF CURB
E-E	EDGE TO EDGE	PE	PRIVATE ENTRANCE	T/F	TOP OF FOUNDATION
ELEV.	ELEVATION	PGL	PROFILE GRADE LINE	T/P	TOP OF PIPE
E/P	EDGE OF PAVEMENT	PI	POINT OF INTERSECTION	T/W	TOP OF WALK
F	FRAME	PL	PROPERTY LINE	T/WALL	TOP OF WALL
FE	FIELD ENTRANCE	PP	PROPOSED	TRANS	TRANSFORMER
F-F	FACE TO FACE	PRC	POINT OF REVERSE CURVATURE	UP	UTILITY POLE
F&G	FRAME AND GRATE	PROP.	PROPOSED	VB	VALVE BOX
FTS	FLARED END SECTION	PT	POINT OF TANGENCY	VV	VALVE VAULT
F/F	FINISHED FLOOR	PVC	POLYVINYL CHLORIDE PIPE	WL	WATER LEVEL
				WM	WATER MAIN

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 Civil Engineers • Surveyors • Water Resources Engineers • Water & Wastewater Engineers  
 Construction Managers • Environmental Scientists • Landscape Architects • Planners

Sheet Number	She.
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2	INDEX OF SHEETS
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4	DEMOLITION PLAN - SOUTH
4A	DEMOLITION PLAN - WEST
5	SITE DIMENSIONAL & PAVING PLAN - OVERALL
6	SITE DIMENSIONAL & PAVING PLAN - SOUTHWEST
6A	SITE DIMENSIONAL AND PAVING PLAN - WEST
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49C	CONSTRUCTION DETAILS
50	CONSTRUCTION SPECIFICATIONS

**NOTES:**

1. THE TOPOGRAPHY SURVEY FOR THIS PROJECT IS BASED ON A FIELD SURVEY PREPARED BY MANHARD CONSULTING, LTD. AND WAS PERFORMED ON JUNE 17, 1998 AND APRIL 18, 2005. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY MANHARD CONSULTING AND THE CLIENT IN WRITING OF ANY DIFFERING CONDITIONS.

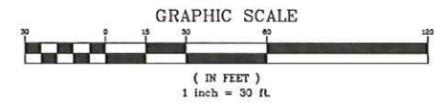
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THE OAKS OF VERNON HILLS  
 VILLAGE OF VERNON HILLS, ILLINOIS  
 TITLE SHEET

PENDING APPROVAL - NOT FOR CONSTRUCTION

1 OF 50  
 KNZYH 110660



N 00°01'29" E  
43.18'

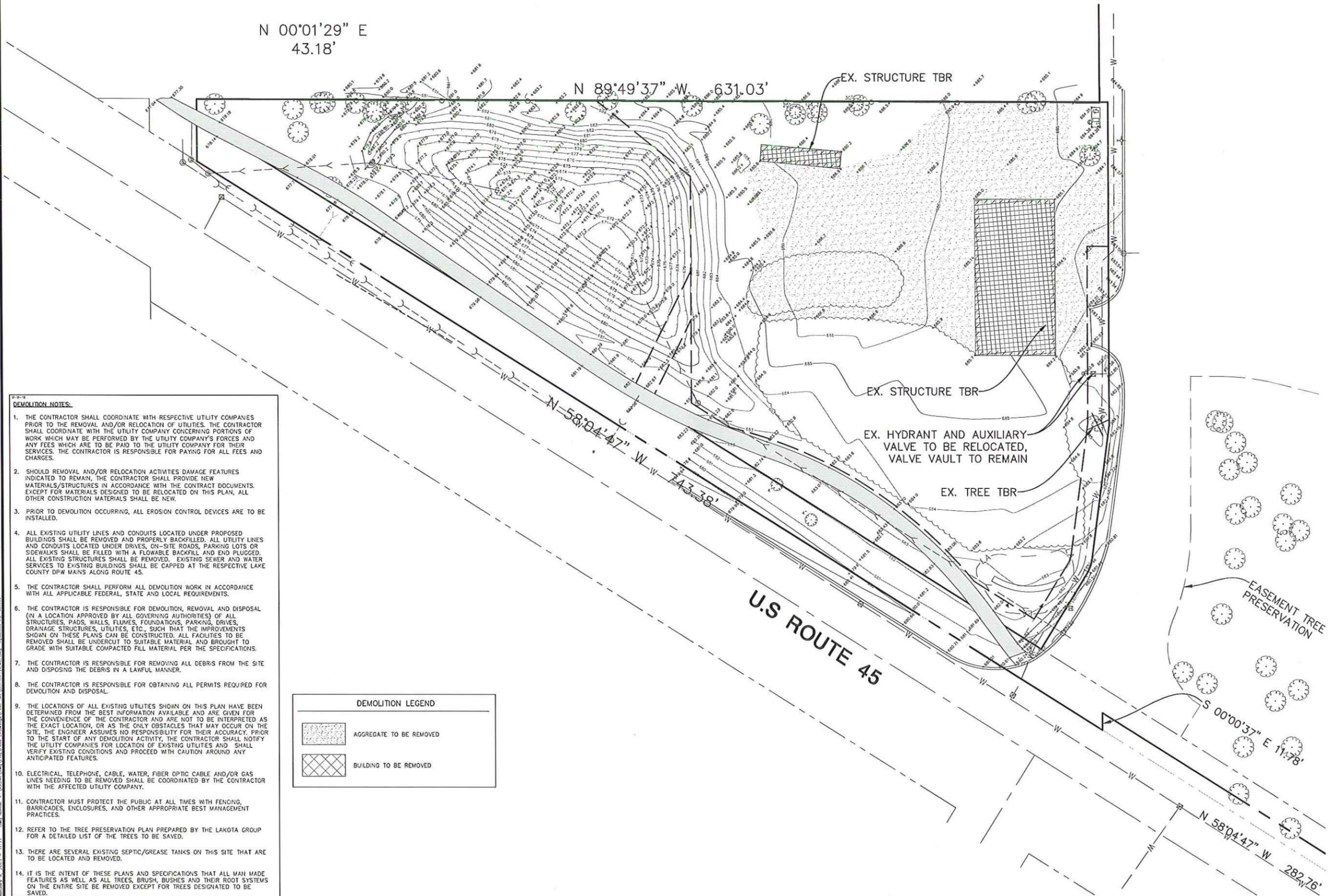
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N 58°04'47" W 743.38'

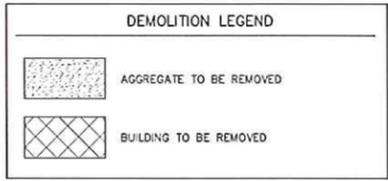
U.S. ROUTE 45

S 00°00'37" E 114.78'

N 58°04'47" W 282.76'



- DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING FOR ALL FEES AND CHARGES.
  2. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FEATURES INDICATED TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNATED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
  3. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
  4. ALL EXISTING UTILITY LINES AND CONDUITS LOCATED UNDER PROPOSED BUILDINGS SHALL BE REMOVED AND PROPERLY BACKFILLED. ALL UTILITY LINES AND CONDUITS LOCATED UNDER DRIVES, ON-SITE ROADS, PARKING LOTS OR SIDEWALKS SHALL BE FILLED WITH A FLOWABLE BACKFILL AND END PLUGGED. ALL EXISTING STRUCTURES SHALL BE REMOVED. EXISTING SEWER AND WATER SERVICES TO EXISTING BUILDINGS SHALL BE CAPPED AT THE RESPECTIVE LAKE COUNTY DPW MAINS ALONG ROUTE 45.
  5. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS.
  6. THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THESE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
  7. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER.
  8. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
  9. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR AND ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATION OF EXISTING UTILITIES AND SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES.
  10. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED SHALL BE COORDINATED BY THE CONTRACTOR WITH THE AFFECTED UTILITY COMPANY.
  11. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES.
  12. REFER TO THE TREE PRESERVATION PLAN PREPARED BY THE LAKOTA GROUP FOR A DETAILED LIST OF THE TREES TO BE SAVED.
  13. THERE ARE SEVERAL EXISTING SEPTIC/GREASE TANKS ON THIS SITE THAT ARE TO BE LOCATED AND REMOVED.
  14. IT IS THE INTENT OF THESE PLANS AND SPECIFICATIONS THAT ALL MAN MADE FEATURES AS WELL AS ALL TREES, BRUSH, BUSHES AND THEIR ROOT SYSTEMS ON THE ENTIRE SITE BE REMOVED EXCEPT FOR TREES DESIGNATED TO BE SAVED.



EX. STRUCTURE TBR

EX. STRUCTURE TBR

EX. HYDRANT AND AUXILIARY VALVE TO BE RELOCATED, VALVE VAULT TO REMAIN

EX. TREE TBR

EASEMENT TREE PRESERVATION

DATE	REVISIONS	BY	CHK
02-09-15	REVISED PER VILLAGE REVIEW		SK
01-17-15	REVISED PER VILLAGE REVIEW		SK

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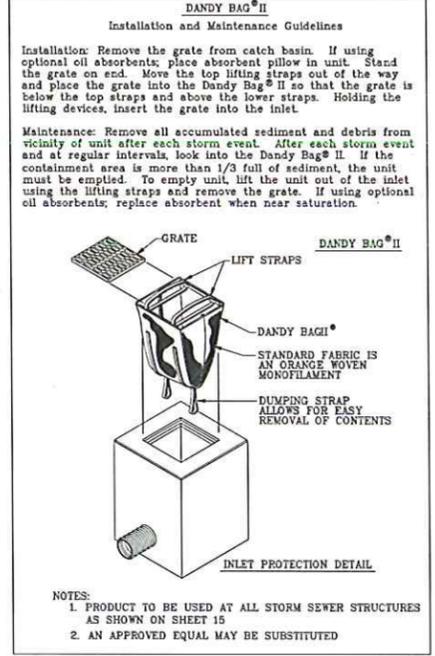
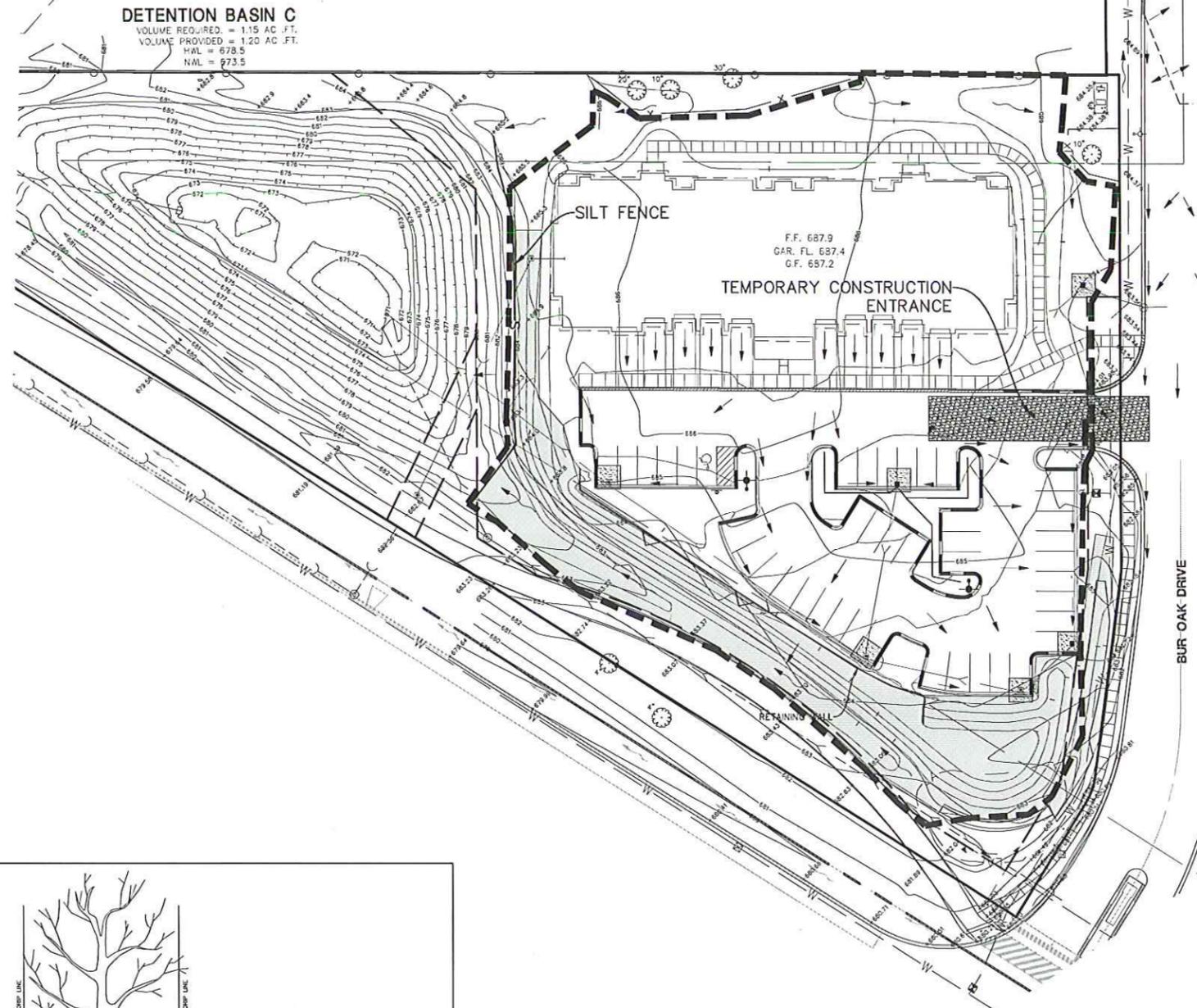
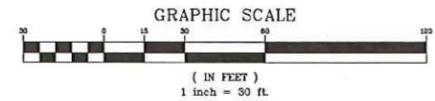
THE OAKS OF VERNON HILLS  
 VILLAGE OF VERNON HILLS, ILLINOIS  
 DEMOLITION PLAN - WEST

PROJ. NO.: 110660  
 PROJ. ASSOC.: CM  
 DATE: 11-26-14  
 SCALE: 1"=30'  
 SHEET  
**4A** OF **50**  
 KNZVH 110660

PENDING APPROVAL - NOT FOR CONSTRUCTION

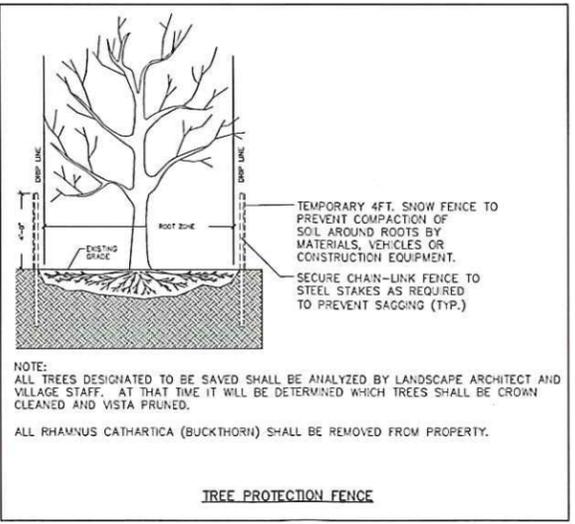






- LAKE COUNTY SMC SEDIMENTATION AND EROSION CONTROL NOTES
- SOL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES.
  - SOL EROSION AND SEDIMENT CONTROL FEATURES SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.
  - DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS OF THE END OF ACTIVE HYDROLOGIC DISTURBANCE OR REDISTURBANCE.
  - AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 3:1V, AND APPROVED BY THE ENFORCEMENT OFFICER, SHALL BE STABILIZED WITH SOIL MAT OR BLANKET IN COMBINATION WITH SEEDING.
  - EROSION CONTROL BLANKET SHALL BE REQUIRED ON ALL INTERIOR DETENTION BASIN SIDE SLOPES BETWEEN NORMAL WATER LEVEL AND HIGH WATER LEVEL.
  - ALL STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE.
  - ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
  - ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE PROPERTY OWNER SHALL BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE AND REPAIR.
  - A STABILIZED MAT OF AGGREGATE UNDERLAIN WITH FILTER CLOTH (OR OTHER APPROPRIATE MEASURE) SHALL BE LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY, OR PARKING AREA. ANY SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
  - SOIL STOCKPILES SHALL NOT BE LOCATED IN A FLOOD PRONE AREA OR A DESIGNATED BUFFER PROTECTING WATERS OF THE UNITED STATES OR ISOLATED WATERS OF LAKE COUNTY.
  - IF DERATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. DISCHARGES SHALL BE ROUTED THROUGH AN EFFECTIVE SEDIMENT CONTROL MEASURE (E.G. SEDIMENT TRAP, SEDIMENT BASIN, POLYACRYLAMIDE TREATMENT SYSTEM OR OTHER APPROPRIATE MEASURE).
  - THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER OR GOVERNING AGENCY.
- ADDITIONAL SEDIMENTATION AND EROSION CONTROL NOTES
- ALL VEGETATIVE AND STRUCTURAL EROSION CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE "ILLINOIS PROCEDURE AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL" AND THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY.
  - MAINTENANCE AND REPLACEMENT OF EROSION CONTROL ITEMS, WHEN DIRECTED BY THE OWNER, SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.
  - THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OR EQUIVALENT SNOWFALL. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF SAID MEASURES SHALL BE MADE IMMEDIATELY.
  - INSTALL ALL PERIMETER SILT FENCING PRIOR TO ANY CLEARING OR GRADING. ON-SITE SEDIMENT CONTROL MEASURES AS SHOWN AND SPECIFIED BY THIS EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE CONSTRUCTED AND FUNCTIONAL PRIOR TO INITIATING CLEARING, GRADING, STRIPPING, EXCAVATION OR FILLING ACTIVITIES ON THE SITE.
  - STORM WATERS FALLING ON THE ENTIRE SITE SHALL BE DIVERTED INTO THE DETENTION BASIN. PRIOR TO BEGINNING MASS EXCAVATION, THE CONTRACTOR SHALL CONSTRUCT DITCHES, SEDIMENTATION TRAPS AND SILTATION CONTROL MEASURES AS REQUIRED TO INTERCEPT SURFACE WATERS BEFORE THEY FLOW ONTO ADJACENT PROPERTY AND CONVEY THEM TO THE DETENTION BASIN.
  - TEMPORARY SEED MIXTURE SHALL BE APPLIED AT 64 LBS / ACRE.
  - FILTER FABRIC OR AN INLET PROTECTION DEVICE SHALL BE INSTALLED UNDER THE GRATING OF EACH DRAINAGE STRUCTURE. FABRIC SHALL BE CUT LARGE ENOUGH SUCH THAT THE ENTIRE GRATE IS COVERED WITH 24" MIN. OVERHANG TO COLLECT SEDIMENT.
  - TOPSOIL STOCKPILES SHALL BE SEED WITHIN SEVEN (7) CALENDAR DAYS OF COMPLETION FOR EROSION CONTROL UNLESS THEY WILL BE DISTURBED WITHIN FOURTEEN (14) CALENDAR DAYS. ALL SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION WITH SILT FENCE ON THE DOWN SLOPE OF THE FILES.
  - WATER PUMPED DURING CONSTRUCTION OPERATION SHALL BE FILTERED.
  - DUST CONTROL SHALL BE PERFORMED ON A DAILY BASIS USING WATER DISPENSED FROM A TRUCK MOUNTED TANK WITH STANDARD DISCHARGE HEADER TO PROVIDE A UNIFORM RATE OF APPLICATION WHERE REQUIRED.
  - OVERLAND FLOW SHALL BE DIRECTED TO THE DETENTION BASIN PRIOR TO LEAVING THE SITE.
  - ALL EROSION AND SEDIMENTATION CONTROL SHALL BE IN ACCORDANCE WITH THE MUNICIPALITIES EROSION AND SEDIMENTATION CONTROL ORDINANCES AND THE ILLINOIS URBAN MANUAL.

- CONSTRUCTION SEQUENCE:
- INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL SE/CS MEASURES
    - SELECTIVE VEGETATION REMOVED FOR SILT FENCE INSTALLATION
    - SILT FENCE INSTALLATION
    - INSTALL CONSTRUCTION FENCE AROUND AREA NOT TO BE DISTURBED.
    - INSTALL TEMPORARY DRAINAGE DITCH (SEE DETAIL) FOR DRAINING OF EXISTING PONDS. ONCE PUMPING IS COMPLETE, REMOVE EROSION CONTROL MEASURES.
  - STRIP TOPSOIL AND STOCKPILE TOPSOIL
  - TEMPORARY STABILIZATION OF TOPSOIL STOCKPILE (SEED & SILT FENCE AROUND TOE OF SLOPE)
  - CUT AND FILL SITE TO PLAN SUB-GRADE. START WITH CONSTRUCTION OF DETENTION BASINS.
  - INSTALL STORM SEWER, SANITARY SEWER, WATER MAIN AND ALLOCATED INLET AND OUTLET PROTECTION.
  - CONSTRUCT PAVEMENT IMPROVEMENTS PER PLAN.
  - PERMANENTLY STABILIZE THE SITE.
  - REMOVE ALL TEMPORARY SE/SC MEASURES AFTER SITE IS STABILIZED WITH VEGETATION.
- \* SOIL EROSION AND SEDIMENT CONTROL MAINTENANCE SHALL OCCUR AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND AFTER EVERY 1/2" OR GREATER RAINFALL OR EQUIVALENT SNOW FALL EVENT.



**SEEDING INFORMATION**

ALL LAWN AREAS SHALL BE TREATED AS SPECIFIED BELOW:

- TOPSOIL SHALL BE SPREAD OVER ALL AREAS TO BE SEED TO A MINIMUM DEPTH OF 6" WHEN COMPACTED (TO BE PERFORMED BY THOSE OTHER THAN LANDSCAPE CONTRACTOR).
- SEEDING TO BE APPLIED AS SHOWN IN SOIL PROTECTION CHART.
- FERTILIZATION APPLY FERTILIZERS AND CONDITIONERS AT THE RATE SPECIFIED PER SOIL TEST FINDINGS. IN LIEU OF SOIL TEST RESULTS, APPLY TWO TONS GROUND AGRICULTURAL LIMESTONE AND 1,000 LBS. 10-10-10 OR EQUIVALENT ANALYSIS FERTILIZER PER ACRE. AT LEAST 40% OF THE FERTILIZER NITROGEN SHALL BE OF AN ORGANIC ORIGIN.
- WATERING SEEDED AREAS SHALL BE WATERED TO INSURE PROPER GERMINATION. ONCE SEEDS HAVE GERMINATED, WATERING MAY BE DECREASED BUT THE SEEDLINGS MUST NEVER BE ALLOWED TO DRY OUT COMPLETELY. FREQUENT WATERING SHOULD BE CONTINUED FOR APPROXIMATELY FOUR (4) WEEKS AFTER GERMINATION OR UNTIL GRASS HAS BECOME SUFFICIENTLY ESTABLISHED TO WARRANT WATERING ON AN "AS NEEDED" BASIS.
- ESTABLISHMENT TURF IS BEING ESTABLISHED ON A VARIETY OF SLOPE CONDITIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND IMPLEMENT WHATEVER PROCEDURES HE DEEMS NECESSARY TO ESTABLISH THE TURF AS PART OF HIS WORK. SEEDED AREAS WILL BE ACCEPTED WHEN ALL AREAS SHOW A UNIFORM STAND OF THE SPECIFIED GRASS IN HEALTHY CONDITION AND AT LEAST 60 DAYS HAVE ELAPSED SINCE THE COMPLETION OF THIS WORK. THE CONTRACTOR SHALL SUBMIT WITH HIS BID A DESCRIPTION OF THE METHODS AND PROCEDURES HE INTENDS TO USE.

**SOIL PROTECTION CHART**

STABILIZATION CHART	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PERMANENT SEEDINGS												
DORMANT SEEDINGS												
TEMPORARY SEEDINGS												
SOODING												
MULCHING												

A - KENTUCKY BLUEGRASS TO 100 LBS./AC. WITH PERENNIAL B REGRESS TO 100 LBS./AC.  
 B - KENTUCKY BLUEGRASS TO 100 LBS./AC. WITH PERENNIAL B REGRESS TO 100 LBS./AC. STRAW MULCH PER ACRE  
 C - SPRING OATS 100 LBS./AC.  
 D - WHEAT OR CEREAL RYE TO 100 LBS./AC.  
 E - SOO (UNSEED) SOOIN KENTUCKY BLUEGRASS TO 100 LBS./AC. WITH PERENNIAL B REGRESS TO 100 LBS./AC. STRAW MULCH PER ACRE  
 F - STRAW MULCH PER ACRE  
 \* IRRIGATION NEEDED DURING APRIL, MAY AND SEPTEMBER  
 \*\* IRRIGATION NEEDED FOR 3 WEEKS AFTER SOODING

NOTE: THIS CHART IS A GUIDE TO ASSIST THE CONTRACTOR IN UNDERSTANDING OPTIONS FOR SOIL STABILIZATION. THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THIS CHART. ANY CONFLICT SHALL BE DISCUSSED WITH THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.

\*THESE EROSION CONTROL PLANS ARE A PORTION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) TOTAL REQUIREMENTS FOR A COMPLETE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AS REQUIRED BY THE GENERAL NPDES PERMIT NO. ILR10. CLIENT AND/OR CONTRACTOR WILL BE RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL NPDES PERMIT AND COMPILATION OF THE COMPLETE SWPPP.\*

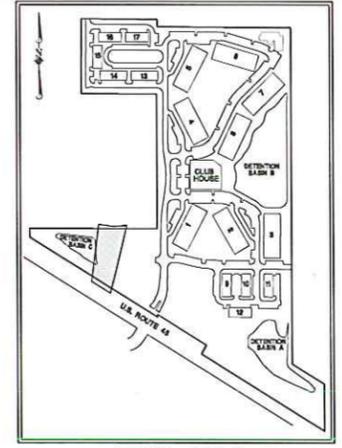
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THE OAKS OF VERNON HILLS, ILLINOIS  
 VILLAGE OF VERNON HILLS, ILLINOIS  
 SOIL EROSION AND SEDIMENT CONTROL PLAN - WEST

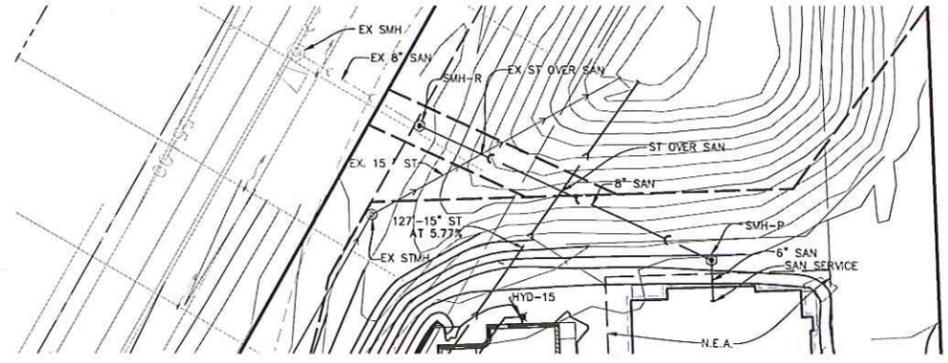
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 SHEET: 22A OF 50  
 KNZVH 110660

PENDING APPROVAL - NOT FOR CONSTRUCTION



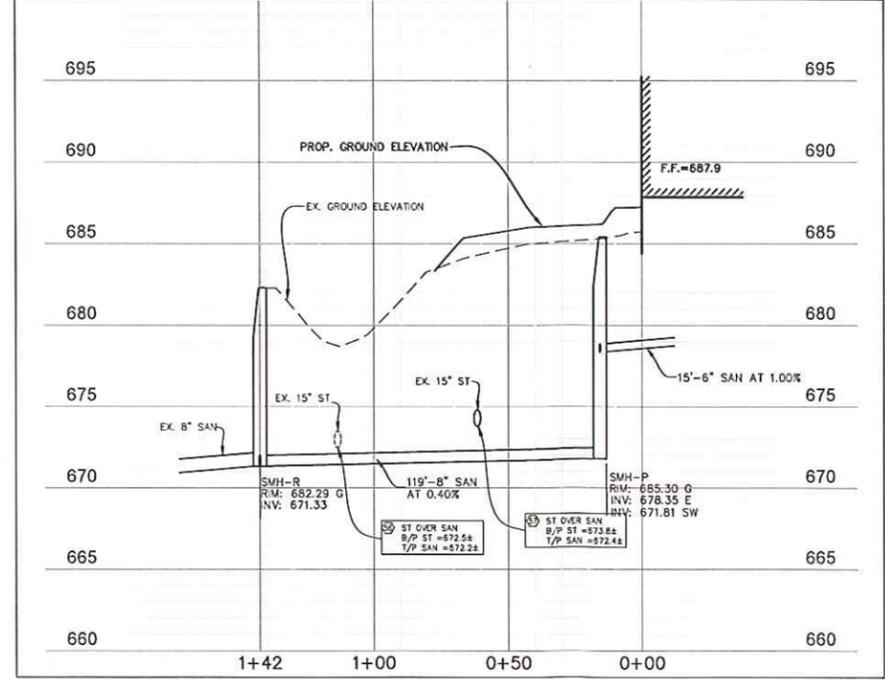


KEY MAP



N.E.A. = NON-EASEMENT AREA

SAN SERV. TO SMH-R



February 9, 2015, 11:39 Don Horne in Vernon\Man\Draw\Drawings\Plan\_San\_Serv.dwg 11/20/15 11:39 AM

DATE	BY	REVISIONS
01-26-14	SK	REVISED PER VILLAGE REVIEW
1-27-15	SK	REVISED PER VILLAGE REVIEW

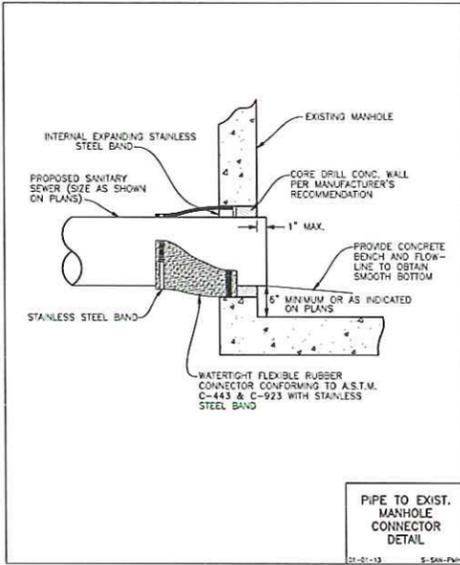
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THE OAKS OF VERNON HILLS  
 VILLAGE OF VERNON HILLS, ILLINOIS  
 PLAN & PROFILE - SAN SERV. TO SMH-R

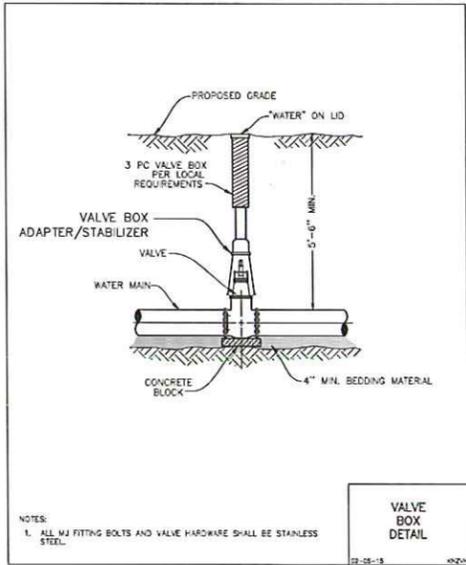
PROJ. WGR: JDF  
 PROJ. ASSOC: CM  
 DRAWN BY: SK  
 DATE: 1-26-14  
 SCALE: H: 1"=30', V: 1"=5'

SHEET  
**35A** OF 50  
 KNZVH 110660

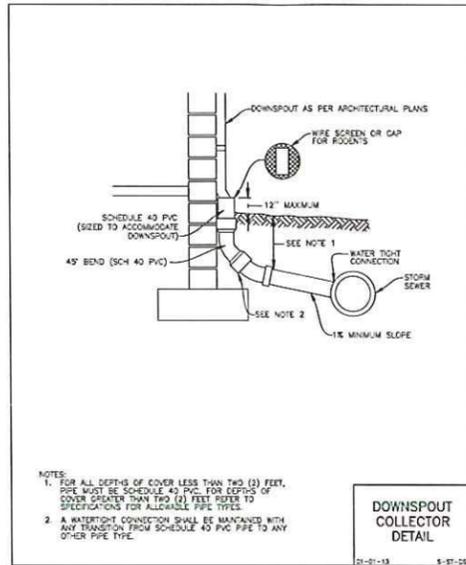
PENDING APPROVAL - NOT FOR CONSTRUCTION



PIPE TO EXIST. MANHOLE CONNECTOR DETAIL  
21-01-13 5-98-250



VALVE BOX DETAIL  
21-01-13 5-98-250



DOWNSPOUT COLLECTOR DETAIL  
21-01-13 5-98-250

**STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, LATEST EDITION.**

**41-2.01 PROTECTION OF WATER MAIN AND WATER SERVICE LINES**  
**41-2.01A GENERAL**  
 Water mains and water service lines shall be protected from sanitary sewers, storm sewers, combined sewers, sanitary sewers, combined sewer or storm service connection and drains as follows:

**41-2.01B HORIZONTAL SEPARATION - WATER MAINS AND SEWERS**

(1) Water mains shall be located at least ten (10) feet (3.1 m) horizontally from any existing or proposed drain, storm sewer, sanitary sewer, combined sewer or sewer service connection.

(2) Water mains may be located closer than ten (10) feet (3.1 m) to a sewer line when:

(a) local conditions prevent a lateral separation of ten (10) feet (3.1 m); and

(b) the water main invert is at least eighteen (18) inches (460 mm) above the crown of the sewer; and

(c) the water main is either in a separate trench or in the same trench on an undisturbed earth shelf located to one side of the sewer.

(3) When it is impossible to meet (1) or (2) above, both the water main and drain or sewer shall be constructed of slip-on or mechanical joint cast or ductile iron pipe, prestressed concrete pipe, or PVC pipe equivalent to water main standards of construction. The drain or sewer shall be pressure tested to the maximum expected surcharge head before backfilling. See Standard Drawing No. 18.

WATER AND SEWER SEPARATION REQUIREMENTS (HORIZONTAL SEPARATION)  
21-01-13 5-98-250

**STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, LATEST EDITION.**

**41-2.01C VERTICAL SEPARATION - WATER MAINS AND SEWERS**

(1) A water main shall be separated from a sewer so that its invert is a minimum of eighteen (18) inches (460mm) above the crown of the drain or sewer whenever water mains cross storm sewers, sanitary sewers or sewer service connections. The vertical separation shall be maintained for that portion of the water main located within ten (10) feet (3.1m) horizontally of any sewer or drain crossed. A length of water main pipe shall be centered over the sewer to be crossed with joints equidistant from the sewer or drain.

(2) Both the water main and sewer shall be constructed of slip-on or mechanical joint cast or ductile iron pipe, prestressed concrete pipe, or PVC pipe equivalent to water main standards of construction when:

(a) it is impossible to obtain the proper vertical separation as described in (1) above; or

(b) the water main passes under a sewer or drain.

NOTES:

(1) CASING OF EITHER THE WATER MAIN OR SEWER PIPE IS ACCEPTABLE IN LIEU OF PLACING THE SEWER IN WATER MAIN EQUIVALENT PIPE.

(2) THE STORM SEWER CAN BE CONSTRUCTED WITH REINFORCED CONCRETE PIPE USING FLEXIBLE BASKETS JOINTS, (ASTM C351 C443) INSTEAD OF CONSTRUCTING THE STORM SEWER WITH WATER MAIN EQUIVALENT PIPE OR CASING PIPE.

(3) A vertical separation of eighteen (18) inches (460 mm) between the invert of the sewer or drain and the crown of the water main shall be maintained where a water main crosses under a sewer. Support the sewer or drain lines to prevent settling and breaking the main, as shown on the Plans or as approved by the ENGINEER.

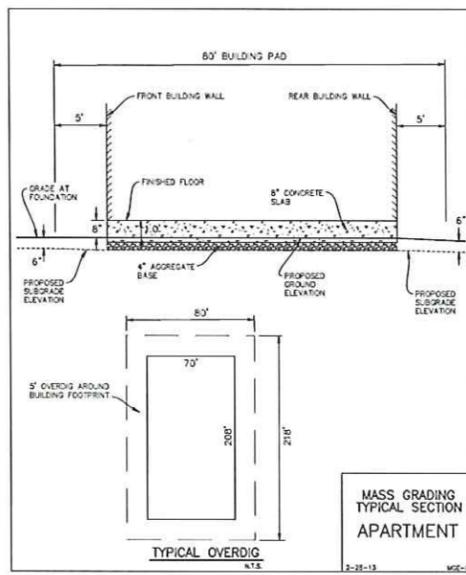
(4) Construction shall extend on each side of the crossing until the perpendicular distance from the water main to the sewer or drain line is at least ten (10) feet (3.1 m) See Standard Drawings No. 19-23.

WATER AND SEWER SEPARATION REQUIREMENTS (VERTICAL SEPARATION)  
21-01-13 5-98-250

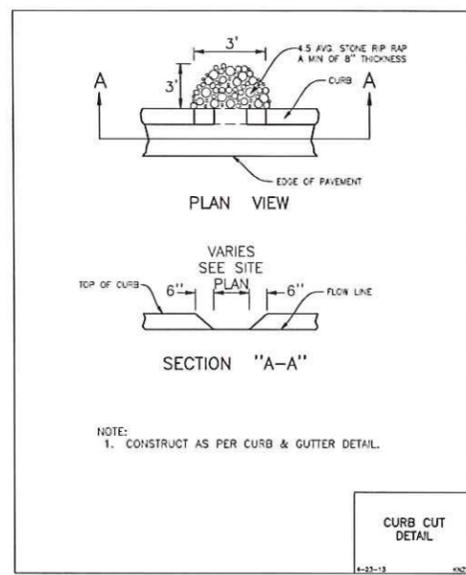
MATERIAL STANDARDS		
ITEM	BRAND	PRODUCT
FIRE HYDRANTS (TRAFIC MODEL)	MUELLER SUPER CENTURION WATEROUS FACER	A-423 WB-67
GATE VALVES (SPECIFY SIZE NON-RISING STEM, 2" NUT, M.I., OPEN LEFT)	MUELLER (SIZE) AMERICAN FLOW CONTROL	A-2160-20L SERIES 2500
VALVE BOXES (3 PIECE)	EAST JORDAN TYLER/LANON	SCREW ADJUSTING EXTENSION TYPE
CURB STOPS (SPECIFY SIZE)	MUELLER FORD	300 BALL VALVE BALL VALVE
COMPOSITION VALVE (SPECIFY SIZE)	MUELLER FORD	H-15000 FES20 (AWWA/COC THREAD)
MANHOLES/CATCHBASINS/ALLEYS (SELF-SEALING LID WITH PROPER UTILITY MARKINGS)	NEENAH CLOSED LID OPEN LID SMILES AND DITCHES	R-1772 R-2502 C R-4340 B
CURB FRAME & GRATES (BICYCLE SAFE)	NEENAH ROLL MOUNTABLE CURB B6.12 CURB	R-3501-D2A R-3281A *-3281-AL
WATER SERVICE SADDLES (ALL SERVICE SADDLES SHALL BE DOUBLE STRAP, BRONZE, NYLON COATED OR STAINLESS STEEL)	MUELLER FORD SMITH-BLAIR 3/4" & 1"	DR25 FS 303 # 317
B-BOX (AT LEAST 1 1/4" TOP SECTION) ARCH PATTERN PLUG STYLE LID	FORD MUELLER	EA2 CURB BOX

\*1. WHEREVER STORMWATER COULD POSSIBLY ENTER STORM STRUCTURE

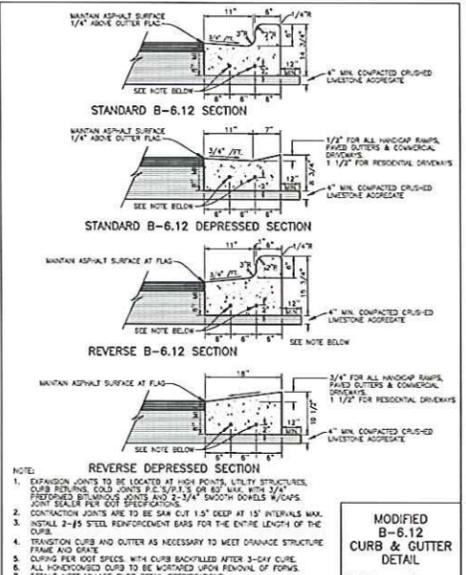
MATERIAL STANDARDS  
21-01-13 5-98-250



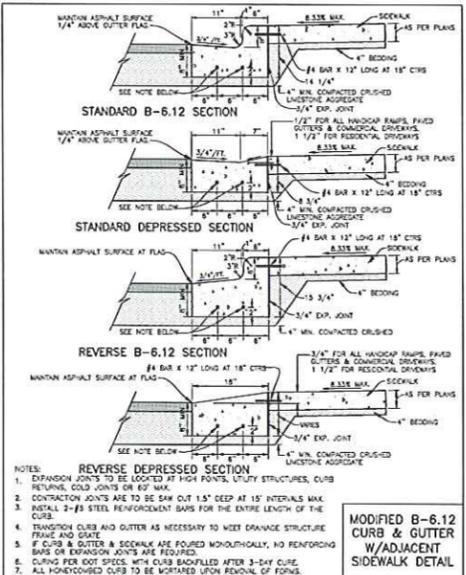
MASS GRADING TYPICAL SECTION APARTMENT  
21-01-13 5-98-250



CURB CUT DETAIL  
21-01-13 5-98-250



MODIFIED B-6.12 CURB & GUTTER DETAIL  
21-01-13 5-98-250



MODIFIED B-6.12 CURB & GUTTER W/ADJACENT SIDEWALK DETAIL  
21-01-13 5-98-250

NO.	DATE	DESCRIPTION	BY	CHK
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THE OAKS OF VERNON HILLS  
 VILLAGE OF VERNON HILLS, ILLINOIS  
 CONSTRUCTION DETAILS

PROJ. NO.: 06  
 DATE: 1-26-14  
 SCALE: 1"=30'  
 SHEET  
**49A OF 50**  
 KNZVH 110660

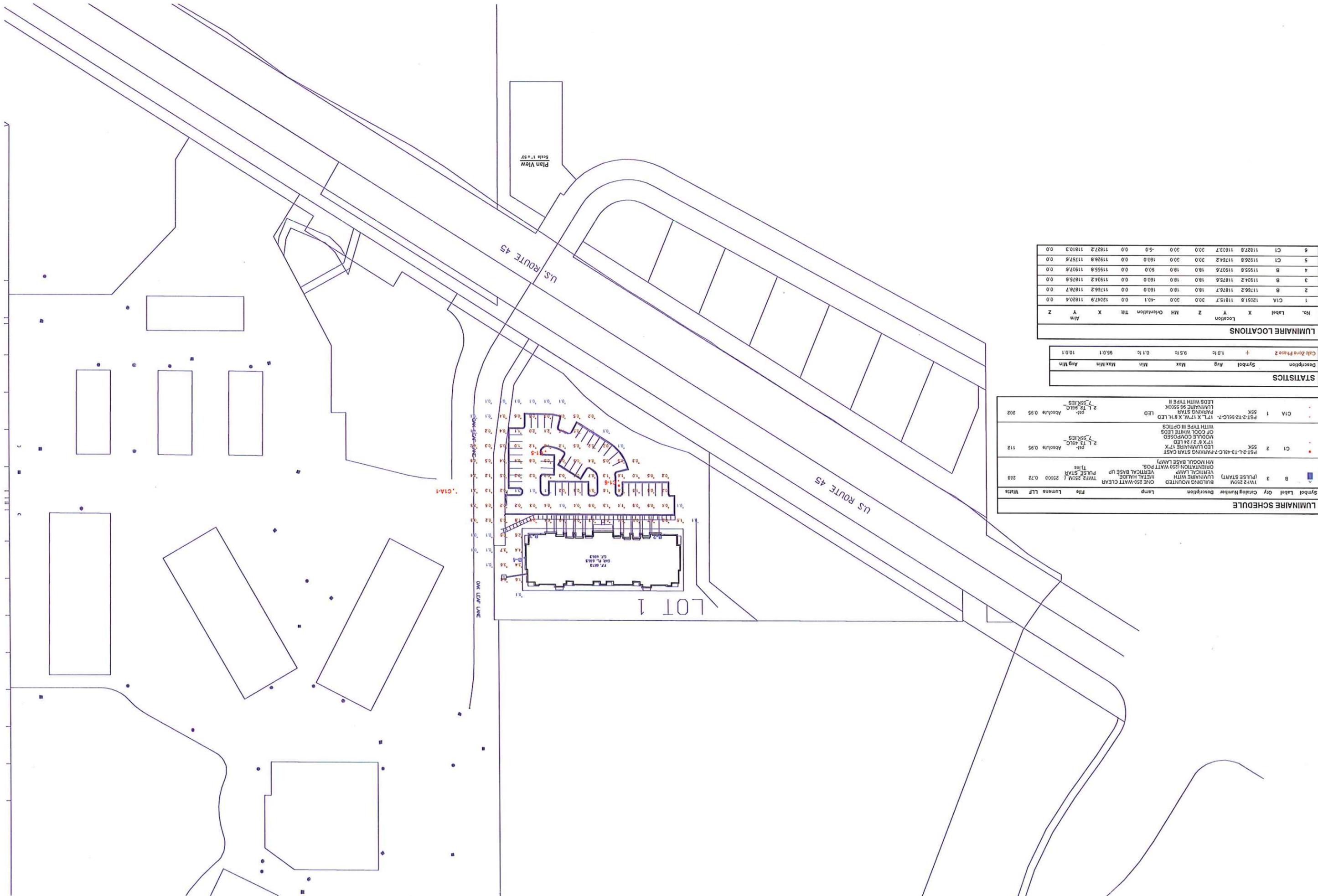
NOTE: THE DETAILS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL CONSTRUCT TO THE VILLAGE OF VERNON HILLS ENGINEERING STANDARDS.

PENDING APPROVAL - NOT FOR CONSTRUCTION









**LUMINAIRE LOCATIONS**

No.	Label	X	Y	Z	Height	Orientation	TH	X	Y	Z
1	CIA	12051.8	11815.7	30.0	-40.1	0.0	12047.9	11820.4	0.0	0.0
2	B	11766.2	11876.7	18.0	18.0	0.0	11766.2	11876.7	0.0	0.0
3	B	11934.2	11875.6	18.0	18.0	0.0	11934.2	11875.6	0.0	0.0
4	B	11555.8	11927.6	18.0	50.0	0.0	11555.8	11927.6	0.0	0.0
5	CI	11926.8	11764.2	30.0	180.0	0.0	11926.8	11757.6	0.0	0.0
6	CI	11827.8	11633.7	30.0	30.0	-5.0	11827.2	11610.3	0.0	0.0

**STATISTICS**

Calc Zone	Symbol	Avg	Max	Min	Max Min	Avg Min
Phase 2	+	1.0 fc	9.5 fc	0.1 fc	95.0 fc	10.0 fc

**LUMINAIRE SCHEDULE**

Symbol	Label	Qty	Catalog Number	Description	File	Lumens	LLF	Watts
B	3	(PULSE STAR)	THF2.250M	BUILDING MOUNTED LUMINAIRE WITH METAL HAULDE VERTICAL BASE UP VERTICAL LAMP ORIENTATION (550 WATT POS. NH MOUNT BASE LAMP)		2500	0.72	288
CI	2	55K	PST-2-LT3-48LC-7	LED LUMINAIRE 17 X 17 X 8 2/24 LED MODULE COMPOSED OF COOL WHITE LEDS WITH TYPE III OPTICS		7348	0.95	112
CI	1	55K	PST-2-T2-96LC-7	17 L X 17 W X 8 H LED PARKING STAR LED LUMINAIRE 96 5500K LEDS WITH TYPE II		7348	0.95	202

Plan View  
Scale 1" = 50'

U.S. ROUTE 45

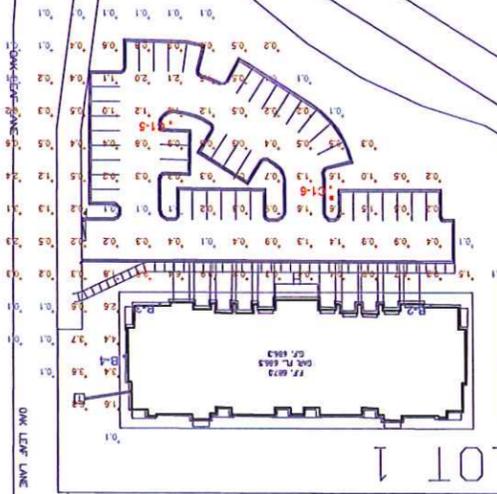
U.S. ROUTE 45

LOT 1

DOW LEAF LINE

1.01A-1

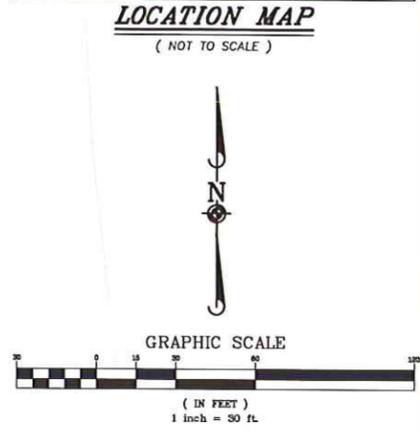
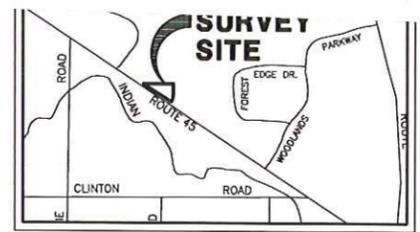
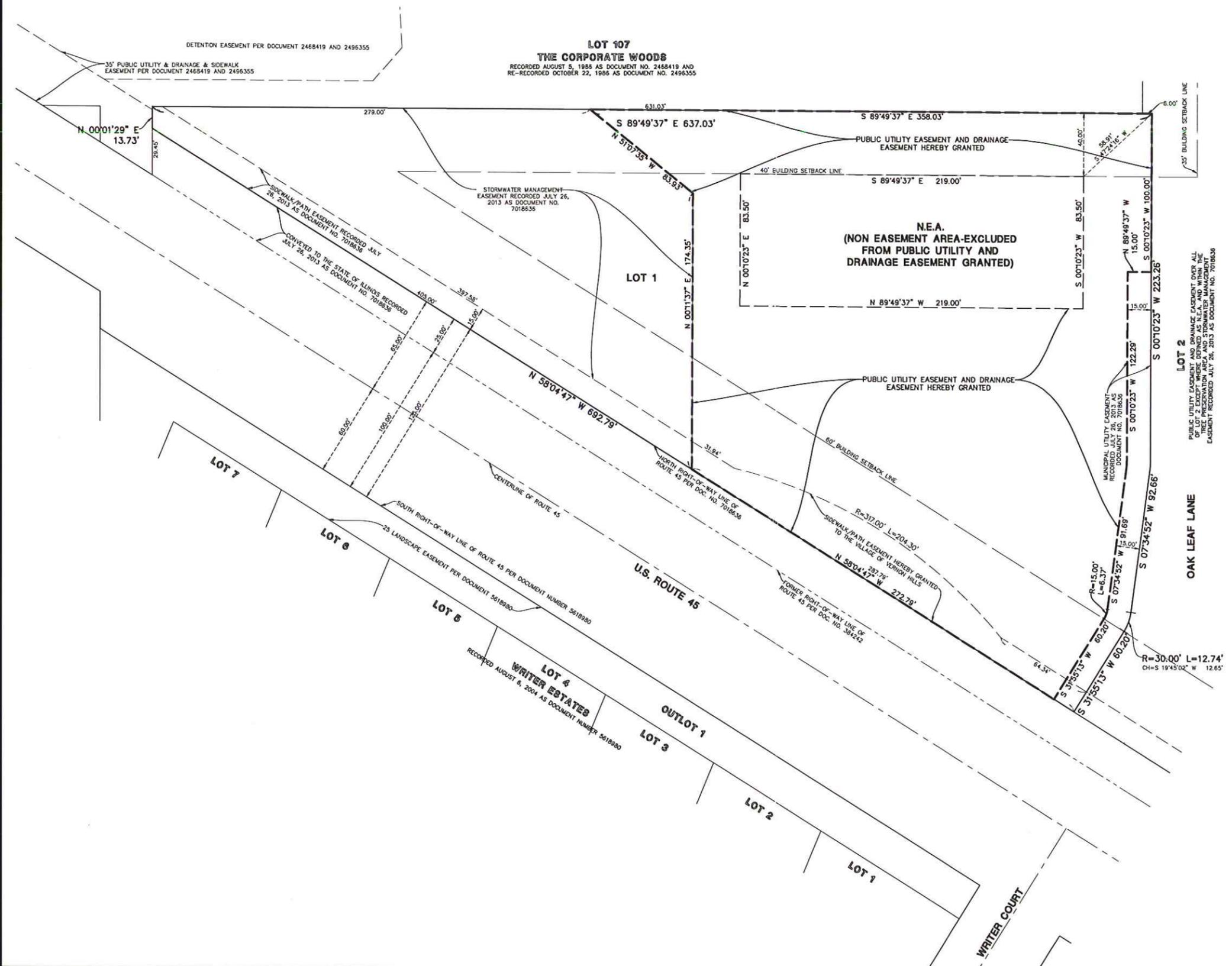
673 SQ. FT.



# PLAT OF EASEMENT GRANT

## LEGAL DESCRIPTION

LOT 1 IN THE OAKS OF VERNON HILLS BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 9, TOGETHER WITH PART OF THE NORTHWEST QUARTER OF SECTION 15, AND PART OF THE NORTHEAST QUARTER OF SECTION 18, ALL IN TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 26, 2013 AS DOCUMENT NUMBER 7018636, IN LAKE COUNTY, ILLINOIS.



**PROPERTY AREA**  
 TOTAL AREA = 62,565 SQUARE FEET (1.436 ACRES)

### SURVEYORS NOTES

1. DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON. DISTANCES AND/OR BEARINGS SHOWN IN PARENTHESES (456.67) ARE RECORD OR DEED VALUES, NOT FIELD MEASUREMENTS.
2. BEARINGS ARE BASED ON THE FINAL PLAT OF THE OAKS OF VERNON HILLS SUBDIVISION RECORDED JULY 26, 2013 AS DOCUMENT NO. 7018636.
3. MANHARD CONSULTING, LTD. IS A PROFESSIONAL DESIGN FIRM, REGISTRATION NUMBER 184003350, EXPIRES APRIL 30, 2015.

DATE	07/26/13	REVISED	PDF SITE PLAN CHANGES
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**Manhard CONSULTING LTD.**  
 800 Westchester Parkway, Suite 100, Vernon Hills, IL 60061  
 Civil Engineers • Surveyors • Water Resource Engineers • Valuers • Wetland Engineers  
 Construction Managers • Environmental Scientists • Landscape Architects • Planners

LOT 1 IN THE OAKS OF VERNON HILLS  
 VILLAGE OF VERNON HILLS, ILLINOIS  
 PLAT OF EASEMENT GRANT

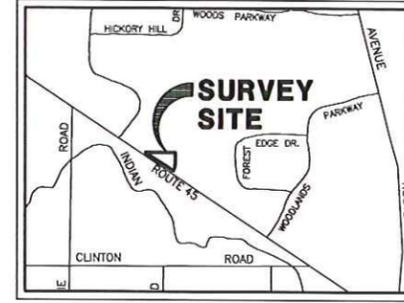
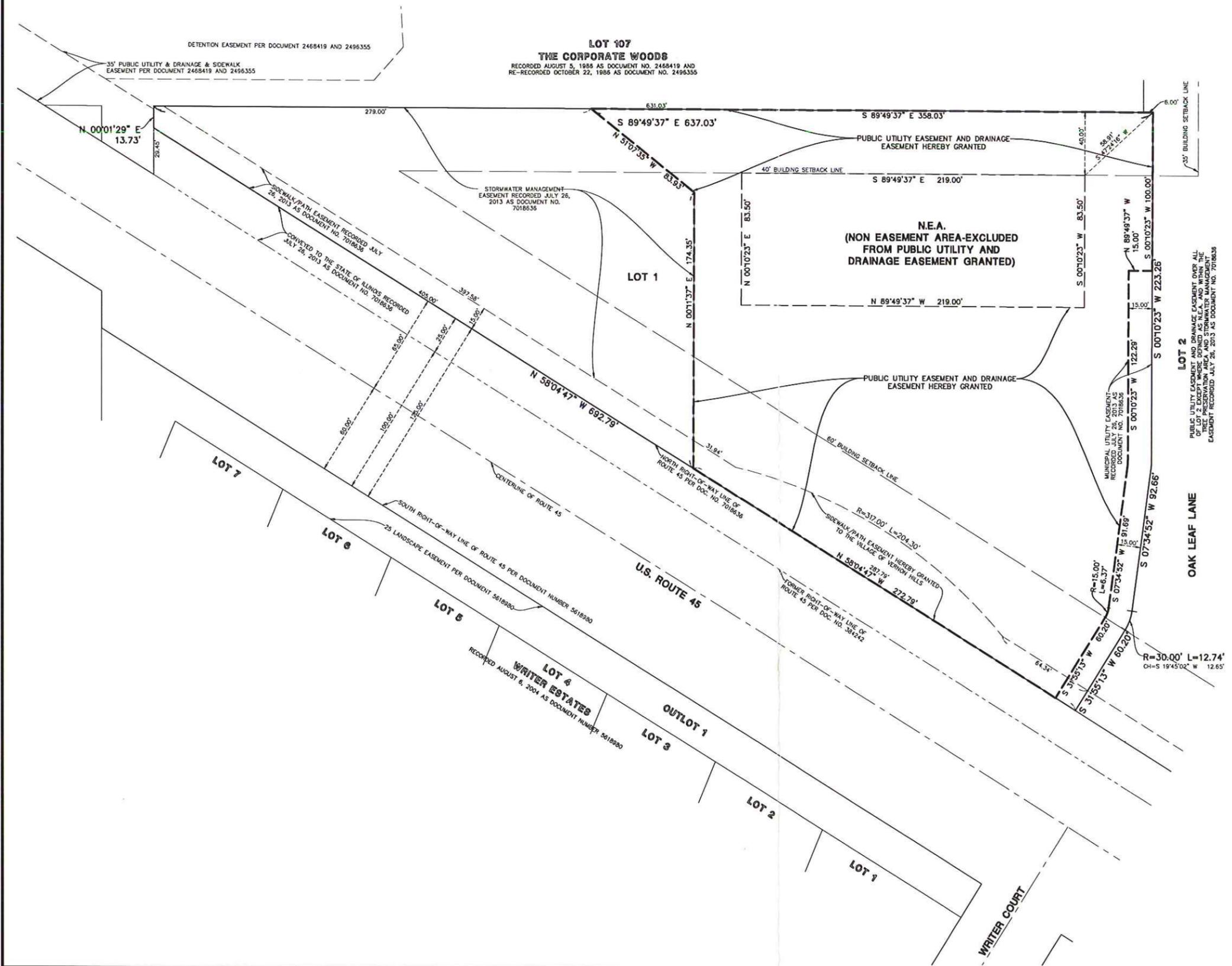
PREP. MGR.	JCF
PREP. ASSOC.	ERY
DRAWN BY	LSM
DATE	12/01/14
SCALE	1" = 30'
SHEET	
1 OF 2	
KNZYH	110650



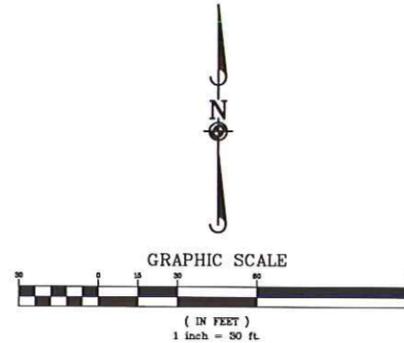
# PLAT OF EASEMENT GRANT

## LEGAL DESCRIPTION

LOT 1 IN THE OAKS OF VERNON HILLS BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 9, TOGETHER WITH PART OF THE NORTHWEST QUARTER OF SECTION 15, AND PART OF THE NORTHEAST QUARTER OF SECTION 18, ALL IN TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 26, 2013 AS DOCUMENT NUMBER 7018635, IN LAKE COUNTY, ILLINOIS.



**LOCATION MAP**  
( NOT TO SCALE )



**PROPERTY AREA**  
TOTAL AREA = 62,565 SQUARE FEET (1.436 ACRES)

### SURVEYORS NOTES

- DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON. DISTANCES AND/OR BEARINGS SHOWN IN PARENTHESES (458.67) ARE RECORD OR DEED VALUES, NOT FIELD MEASURED.
- BEARINGS ARE BASED ON THE FINAL PLAT OF THE OAKS OF VERNON HILLS SUBDIVISION RECORDED JULY 26, 2013 AS DOCUMENT NO. 7018635.
- MANHARD CONSULTING, LTD. IS A PROFESSIONAL DESIGN FIRM, REGISTRATION NUMBER 184003350, EXPIRES APRIL 30, 2015.

DATE	12/05/15	REVISION	REVISED PER SITE PLAN CHANGES
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DATE			
BY			

**Manhard CONSULTING LTD**  
 185 West Lake Street, Suite 1000, Oak Brook, IL 60151  
 Tel: 630.581.1000 Fax: 630.581.1001  
 Email: info@manhardconsulting.com  
 Civil Engineers • Surveyors • Water Resources Engineers • Wetland & Wetlands Delimitation • Environmental Scientists • Environmental Scientists • Landscape Architects • Planners

LOT 1 IN THE OAKS OF VERNON HILLS  
 VILLAGE OF VERNON HILLS, ILLINOIS  
 PLAT OF EASEMENT GRANT

PROJ. MGR.	JEF
PROJ. ASSOC.	ERV
DRAWN BY	LSM
DATE	12/01/14
SCALE	1" = 30'

SHEET  
**1 OF 2**  
 KNZVH 110660

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# PLAT OF EASEMENT GRANT

## GRANTOR'S LEGAL DESCRIPTION

LOT 1 IN THE OAKS OF VERNON HILLS BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 9, TOGETHER WITH PART OF THE NORTHWEST QUARTER OF SECTION 15, AND PART OF THE NORTHEAST QUARTER OF SECTION 16, ALL IN TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 26, 2013 AS DOCUMENT NUMBER 7018636, IN LAKE COUNTY, ILLINOIS.

### OWNER'S CONSENT

THE UNDERSIGNED, THE OAKS OF VERNON HILLS, LLC, A DELAWARE LIMITED LIABILITY COMPANY HEREBY CERTIFIES THAT IT IS THE HOLDER OF THE LEGAL TITLE OF ALL OF THE PROPERTY DESCRIBED HEREON AND THAT IT HAS CAUSED SAID PROPERTY TO BE SURVEYED AND PLATTED FOR THE PURPOSE OF GRANTING CERTAIN EASEMENTS AS SHOWN HEREON.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.

THE OAKS OF VERNON HILLS, LLC, A DELAWARE LIMITED LIABILITY COMPANY,

BY: HP KELLY'S CAMP LLC, ITS MANAGER

BY: MICHAEL J. ROLFS

**OWNER'S NAME AND ADDRESS**  
THE OAKS OF VERNON HILLS, LLC  
1130 LAKE COOK ROAD, SUITE 100  
BUFFALO GROVE, IL 60089-1974

ITS: \_\_\_\_\_

### NOTARY PUBLIC

STATE OF ILLINOIS )  
COUNTY OF LAKE )

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT

OF THE OAKS OF VERNON HILLS, LLC WHO IS PERSONALLY KNOWN TO ME TO BE THE SAME WHOSE NAME IS SUBSCRIBED TO THE FOREGOING CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE DID SIGN AND DELIVER THIS INSTRUMENT AS A FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES HEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.

NOTARY PUBLIC

### MORTGAGEE CONSENT

\_\_\_\_\_ (THE "MORTGAGEE"), AS HOLDER OF A MORTGAGE OR DEED OF TRUST IN THE PROPERTY TO BE ENCUMBERED BY THE SUBDIVISION TO WHICH THIS CONSENT IS ATTACHED, HEREBY CONSENTS TO THE EXECUTION AND RECORDING OF SAID INSTRUMENT, AND AGREES THAT MORTGAGEE SHALL BE SUBJECT TO AND BOUND BY THIS INSTRUMENT IN THE EVENT OF A FORECLOSURE OR OTHER TAKING OF TITLE TO THE PROPERTY.

IN WITNESS WHEREOF, MORTGAGEE HAS CAUSED THIS INSTRUMENT TO BE SIGNED BY ITS DULY

AUTHORIZED \_\_\_\_\_ ON ITS BEHALF,

ALL DONE IN \_\_\_\_\_

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.

BY: \_\_\_\_\_ **MORTGAGEE NAME AND ADDRESS**

PRINTED NAME: \_\_\_\_\_

TITLE: \_\_\_\_\_

### MORTGAGEE NOTARY PUBLIC

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ )

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT

\_\_\_\_\_ WHO SUBSCRIBED TO THE FOREGOING

INSTRUMENT AS A(N) \_\_\_\_\_ OF \_\_\_\_\_ APPEARED BEFORE ME THIS DAY, IN PERSON, AND ACKNOWLEDGED THAT HE SIGNED AND DELIVERED THE SAID INSTRUMENT AS HIS OWN FREE AND VOLUNTARY ACT AND AS THE FREE,

VOLUNTARY AND DULY AUTHORIZED ACT OF SAID \_\_\_\_\_ FOR THE USES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.

NOTARY PUBLIC

### VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF LAKE )

THIS IS TO CERTIFY THAT I, \_\_\_\_\_, VILLAGE ENGINEER FOR THE VILLAGE OF VERNON HILLS, ILLINOIS, HAVE REVIEWED AND APPROVED THIS PLAT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.

VILLAGE ENGINEER

### VILLAGE BOARD OF TRUSTEES CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF LAKE )

THIS IS TO CERTIFY THAT THE VILLAGE BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, ILLINOIS, HAVE REVIEWED AND APPROVED THIS PLAT.

DATED AT VERNON HILLS, LAKE COUNTY, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.

VILLAGE PRESIDENT

PRINTED NAME

VILLAGE CLERK

PRINTED NAME

### COMED AND AT&T (F.K.A. SBC ILLINOIS) EASEMENT PROVISIONS

COMED COMPANY,  
AT&T CORPORATION (F.K.A. SBC ILLINOIS)

AN EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC AND COMMUNICATION SERVICE IS HEREBY RESERVED FOR AND GRANTED TO:

THEIR RESPECTIVE LICENSEES, SUCCESSORS, AND ASSIGNS, JOINTLY AND SEVERALLY, TO CONSTRUCT, OPERATE, MAINTAIN, MODIFY, RECONSTRUCT, REPLACE, SUPPLEMENT, RELOCATE AND REMOVE, FROM TIME TO TIME, POLES, GUYS, ANCHORS, WIRES, CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS, EQUIPMENT CABINETS OR OTHER FACILITIES USED IN CONNECTION WITH UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY COMMUNICATIONS, SOUNDS AND SIGNALS IN, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY SHOWN WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) ON THE PLAT AND MARKED "EASEMENT," "UTILITY EASEMENT," "PUBLIC UTILITY EASEMENT," "P.U.E." (OR SIMILAR DESIGNATION), THE PROPERTY DESIGNATED IN THE DECLARATION OF CONDOMINIUM AND/OR ON THIS PLAT AS "COMMON ELEMENTS," AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS OVER OR UNDER THE SURFACE OF EACH LOT AND COMMON AREA OR AREAS TO SERVE IMPROVEMENTS THEREON, OR ON ADJACENT LOTS, AND COMMON AREA OR AREAS, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES, ROOTS AND SAPLINGS AND TO CLEAR OBSTRUCTIONS FROM THE SURFACE AND SUBSURFACE AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTEE'S FACILITIES OR IN OR UPON THE PROPERTY WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) MARKED "EASEMENT," "UTILITY EASEMENT," "PUBLIC UTILITY EASEMENT," "P.U.E." (OR SIMILAR DESIGNATION), WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEE. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF. THE TERM "COMMON ELEMENTS" SHALL HAVE THE MEANING SET FORTH IN SUCH TERM IN THE "CONDOMINIUM PROPERTY ACT," CHAPTER 765 ILCS 605/2, AS AMENDED FROM TIME TO TIME. THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY, THE BENEFICIAL USE AND ENJOYMENT OF WHICH IS RESERVED IN WHOLE AS AN APPURTENANCE TO THE SEPARATELY OWNED LOTS, PARCEL OR AREAS WITHIN THE PLANNED DEVELOPMENT, EVEN THOUGH SUCH BE OTHERWISE DESIGNATED ON THE PLAT BY TERMS SUCH AS "OUTLOTS," "COMMON ELEMENTS," "OPEN SPACE," "OPEN AREA," "COMMON GROUND," "PARKING" AND "COMMON AREA." THE TERM "COMMON AREA OR AREAS" AND "COMMON ELEMENTS" INCLUDES REAL PROPERTY SURFACED WITH INTERIOR DRIVEWAYS AND WALKWAYS, BUT EXCLUDES REAL PROPERTY PHYSICALLY OCCUPIED BY A BUILDING, SERVICE BUSINESS DISTRICT OR STRUCTURES SUCH AS A POOL OR RETENTION POND OR MECHANICAL EQUIPMENT. RELOCATION OF FACILITIES WILL BE DONE BY GRANTEE AT COST OF GRANTEE/LOT OWNER, UPON WRITTEN REQUEST. (NO OVERHEAD UTILITIES ARE PERMITTED)

### NORTH SHORE GAS EASEMENT PROVISIONS

AN EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH NATURAL GAS SERVICE IS HEREBY RESERVED FOR AND GRANTED TO NORTH SHORE GAS COMPANY THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, JOINTLY AND SEVERALLY, TO INSTALL, OPERATE, MAINTAIN AND REMOVE FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH THE TRANSMISSION AND DISTRIBUTION OF NATURAL GAS IN, OVER, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY SHOWN WITHIN THE DOTTED LINES ON THE PLAT AND MARKED "PUBLIC UTILITY EASEMENT," THE PROPERTY DESIGNATED IN THE DECLARATION OF CONDOMINIUM AND/OR ON THIS PLAT AS "COMMON ELEMENTS," AND THE PROPERTY DESIGNATED ON THE PLAT AS A "COMMON AREA OR AREAS," AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS OVER OR UNDER THE SURFACE OF EACH LOT AND COMMON AREA OR AREAS TO SERVE IMPROVEMENTS THEREON, OR ON ADJACENT LOTS, AND COMMON AREA OR AREAS TO SERVE IMPROVEMENTS THEREON, OR ON ADJACENT LOTS, AND COMMON AREA OR AREAS, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTEE'S FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE DOTTED LINES MARKED "PUBLIC UTILITY EASEMENT" WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEE. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF. THE TERM "COMMON ELEMENTS" SHALL HAVE THE MEANING SET FORTH IN SUCH TERM IN THE "CONDOMINIUM PROPERTY ACT," CHAPTER 765 ILCS 605/2(E), AS AMENDED FROM TIME TO TIME. THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY, THE BENEFICIAL USE AND ENJOYMENT OF WHICH IS RESERVED IN WHOLE AS AN APPURTENANCE TO THE SEPARATELY OWNED LOTS, PARCEL OR AREAS WITHIN THE PLANNED DEVELOPMENT, EVEN THOUGH SUCH BE OTHERWISE DESIGNATED ON THE PLAT BY TERMS SUCH AS "OUTLOTS," "COMMON ELEMENTS," "OPEN SPACE," "OPEN AREA," "COMMON GROUND," "PARKING AND COMMON AREA." THE TERMS "COMMON AREA OR AREAS" AND "COMMON ELEMENTS" INCLUDES REAL PROPERTY SURFACED WITH INTERIOR DRIVEWAYS AND WALKWAYS, BUT EXCLUDES REAL PROPERTY PHYSICALLY OCCUPIED BY A BUILDING, SERVICE BUSINESS DISTRICT OR STRUCTURES SUCH AS A POOL OR RETENTION POND, OR MECHANICAL EQUIPMENT. RELOCATION OF FACILITIES WILL BE DONE BY GRANTEE AT COST OF GRANTEE/LOT OWNER, UPON WRITTEN REQUEST.

### PUBLIC UTILITY EASEMENT PROVISIONS

AN EASEMENT IS HEREBY RESERVED AND GRANTED OVER AND UNDER THE PLATTED AREAS HEREON NOTED AS "PUBLIC UTILITY EASEMENT" (EXCEPT WITHIN NON EASEMENT AREA (N.E.A.)) AND THE PROPERTY DESIGNATED IN THE PLAT FOR STREETS TO THE VILLAGE OF VERNON HILLS, COMMONWEALTH EDISON COMPANY, NORTH SHORE GAS COMPANY, AT&T CORPORATION (F.K.A. SBC ILLINOIS), THE CABLE COMPANY FRANCHISED BY THE VILLAGE, AND TO LAKE COUNTY PUBLIC WORKS DEPARTMENT ("LCPWD") TO THE ABOVE SPECIFIED EASEMENTS, TOGETHER WITH THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO INSTALL, LAY, CONSTRUCT, RENEW, OPERATE AND MAINTAIN, CONDUITS, CABLES, WIRES, SEWERS, PIPES, SURFACE AND SUBSURFACE DRAINAGE, AND WATER MAINS, UNDERGROUND, WITH ALL NECESSARY MANHOLES, WATER VALVES AND OTHER EQUIPMENT FOR THE PURPOSE OF SERVING THE SAID REAL ESTATE WITH CABLE TELEVISION TRANSMISSIONS, SANITARY AND STORM SEWER, WATER SERVICE, DRAINAGE, AND OTHER MUNICIPAL SERVICES, ALSO THERE IS HEREBY GRANTED THE RIGHT TO ENTER UPON THE SAID REAL ESTATE AT ALL TIMES TO INSTALL, LAY, CONSTRUCT, RENEW, OPERATE AND MAINTAIN WITHIN THE SAID REAL ESTATE SAID CONDUITS, CABLES, WIRES, MANHOLES, WATER VALVES, PIPES, SURFACE AND SUBSURFACE DRAINAGE, AND OTHER EQUIPMENT, THE RIGHT OF INGRESS AND EGRESS IS HEREBY GRANTED OVER, UPON AND THROUGH THE SAID REAL ESTATE OF EMERGENCY VEHICLES OF ANY AND ALL TYPES, FOR ANY PURPOSE WHATSOEVER, NO PERMANENT BUILDING SHALL HEREAFTER BE PLACED ON THE SAID EASEMENT BUT THE SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND SUCH OTHER PURPOSES THAT THEN AND LATER DO NOT UNREASONABLY INTERFERE WITH THE USES OR THE RIGHTS HEREIN GRANTED, HOWEVER NO PERSON SHALL CONSTRUCT OR MAINTAIN ANY LANDSCAPING MATERIALS, ON ANY EASEMENT THAT WOULD INTERFERE WITH SURFACE DRAINAGE OR WITH ANY STORMWATER FACILITY OF THE VILLAGE OF VERNON HILLS OR ANY OTHER RIGHT HEREIN GRANTED TO THE VILLAGE OF VERNON HILLS. (NO OVERHEAD UTILITIES ARE PERMITTED)

### DRAINAGE EASEMENT PROVISIONS

A NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE VILLAGE OF VERNON HILLS AND TO THEIR SUCCESSORS AND ASSIGNS, TO HAVE THE RIGHT, BUT NOT THE DUTY TO INSTALL AND MAINTAIN SURFACE DRAINAGE, SUB-SURFACE DRAINAGE AND/OR STORM SEWERS, WITH ALL NECESSARY MANHOLES, CONNECTIONS, AND OTHER APPURTENANCES IN, UPON, OVER OR ALONG THE STRIPS OF LAND DESIGNATED ON THE PLAT AND MARKED "DRAINAGE EASEMENT" FOR THE PURPOSE OF PROVIDING, INSTALLING AND MAINTAINING SURFACE DRAINAGE, SUB-SURFACE DRAINAGE AND STORM SEWER SERVICE TO THE PUBLIC IN GENERAL, TOGETHER WITH THE RIGHT TO, BUT NOT THE DUTY ENTER UPON THE SAID EASEMENT AT ALL TIMES FOR ANY AND FOR ALL OF THE PURPOSES AFORESAID AND TO TRIM AND KEEP TRIMMED ANY TREES, SHRUBS, OR SAPLINGS THAT INTERFERE WITH ANY SUCH STORM SEWERS AND/OR DRAINAGE, NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE USE OF SAID EASEMENT FOR DRAINAGE AND STORM SEWER PURPOSES INCLUDING ANY PURPOSES APPROVED BY THE VILLAGE OF VERNON HILLS WITH THIS DEVELOPMENT PLAN. THE VILLAGE OF VERNON HILLS SHALL HAVE AND BE ENTITLED TO A LEGALLY ENFORCEABLE LIEN FOR THE COST OF SUCH MAINTENANCE AND REPAIRS UPON EACH LOT WITHIN THE SUBDIVISION. THE PROPERTY OWNER'S ASSOCIATION, AND/OR OWNER OF EACH LOT ON A PRO-RATED BASIS, SHALL BE LIABLE FOR ANY AND ALL COSTS INCURRED IN ANY SUCH WORK AND/OR REPAIR. THE VILLAGE OF VERNON HILLS MAY RECOVER THE COST OF SUCH WORK AND/OR REPAIRS, BY THE FORECLOSURE OF ITS LIEN, AND SHALL ALSO BE ENTITLED TO RECOVER ITS COSTS AND ATTORNEY'S FEES. THE PERFORMANCE OF ANY WORK BY THE VILLAGE OF VERNON HILLS ON ANY SUBDIVISION PARCEL FOR WHICH AN EASEMENT IS GRANTED TO THE VILLAGE FOR "DRAINAGE EASEMENT PROVISIONS" OR OTHER PUBLIC PURPOSES SHALL NOT CONSTITUTE ACCEPTANCE OF SUCH AREAS AS PUBLIC PROPERTY NOR BE DEEMED TO BE A TACIT DEDICATION THEREOF."

### PERMISSION TO RECORD

STATE OF ILLINOIS )  
COUNTY OF LAKE )

I, ERIC R. VESELY, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3855, HEREBY GRANT PERMISSION TO ANY REPRESENTATIVE OF THE VILLAGE OF VERNON HILLS, TO RECORD THIS PLAT ON OR BEFORE DECEMBER 31ST, A.D. 2015. THE REPRESENTATIVE SHALL SHOW PROPER IDENTIFICATION AND PROVIDE THIS SURVEYOR WITH A RECORDED COPY OF SAID PLAT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.

### FOR REVIEW ONLY

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3855  
LICENSE EXPIRES NOVEMBER 30, 2016

### SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF LAKE )

THIS IS TO CERTIFY THAT WE, MANHARD CONSULTING LTD., HAVE SURVEYED AND PLATTED THE ABOVE DESCRIBED PROPERTY FOR THE PURPOSE OF GRANTING CERTAIN EASEMENTS AS SHOWN HEREON, AND THAT THE PLAT DRAWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF SAID PROPERTY.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.

### FOR REVIEW ONLY

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3855  
LICENSE EXPIRES NOVEMBER 30, 2016

DATE	07/29/15
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NO.	DESCRIPTION
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**Manhard CONSULTING LTD.**  
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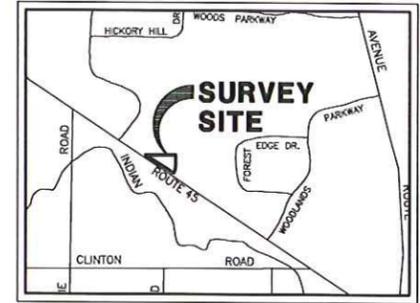
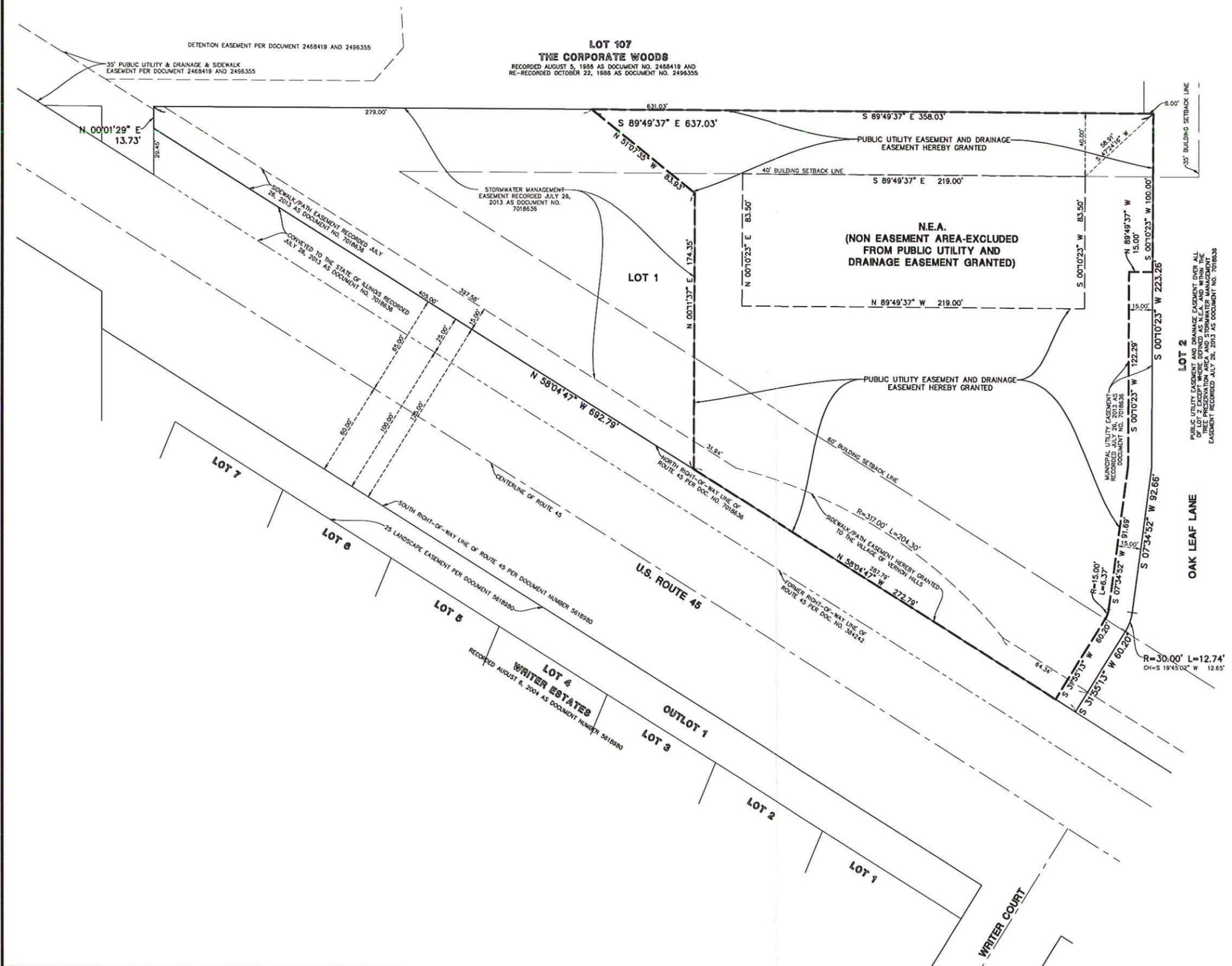
LOT 1 IN THE OAKS OF VERNON HILLS  
VILLAGE OF VERNON HILLS, ILLINOIS  
PLAT OF EASEMENT GRANT

PREP MCR: JRF  
PRICE ASSOC: ERY  
DRAWN BY: LSM  
DATE: 12/29/14  
SCALE: AS SHOWN  
SHEET  
2 OF 2  
KNZYH 110660

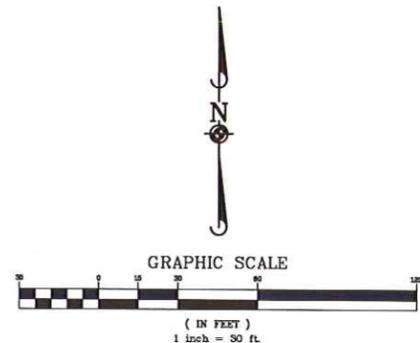
# PLAT OF EASEMENT GRANT

## LEGAL DESCRIPTION

LOT 1 IN THE OAKS OF VERNON HILLS BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 9, TOGETHER WITH PART OF THE NORTHWEST QUARTER OF SECTION 15, AND PART OF THE NORTHEAST QUARTER OF SECTION 18, ALL IN TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 26, 2013 AS DOCUMENT NUMBER 7018636, IN LAKE COUNTY, ILLINOIS.



**LOCATION MAP**  
( NOT TO SCALE )



**PROPERTY AREA**  
TOTAL AREA = 62,565 SQUARE FEET (1.436 ACRES)

### SURVEYORS NOTES

1. DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON. DISTANCES AND/OR BEARINGS SHOWN IN PARENTHESES (456.67) ARE RECORD OR DEED VALUES, NOT FIELD MEASUREMENT.
2. BEARINGS ARE BASED ON THE FINAL PLAT OF THE OAKS OF VERNON HILLS SUBDIVISION RECORDED JULY 26, 2013 AS DOCUMENT NO. 7018636.
3. MANHARD CONSULTING, LTD. IS A PROFESSIONAL DESIGN FIRM, REGISTRATION NUMBER 184003350, EXPIRES APRIL 30, 2015.

DATE	07/26/13	REVISION	POP. SITE PLAN CHANGES
BY			
DATE		REVISION	
BY			

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LOT 1 IN THE OAKS OF VERNON HILLS  
 VILLAGE OF VERNON HILLS, ILLINOIS  
 PLAT OF EASEMENT GRANT

PROJ MGR	OF
PROJ ASSOC	EVY
DRAWN BY	LSM
DATE	12/01/14
SCALE	1" = 30'

SHEET  
**1** OF **2**  
 KNZVH 110660

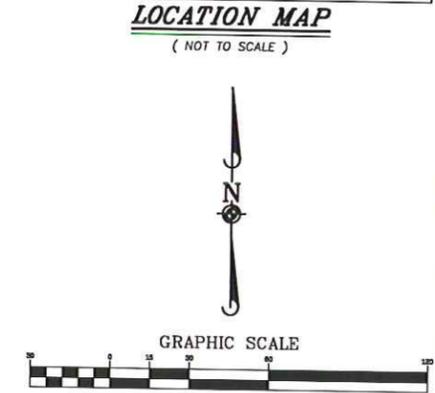
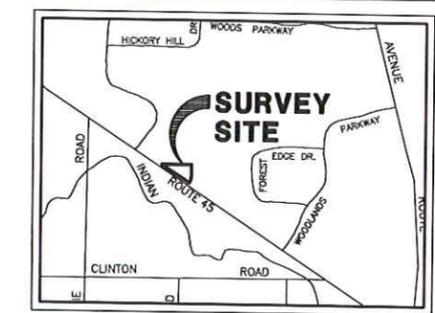
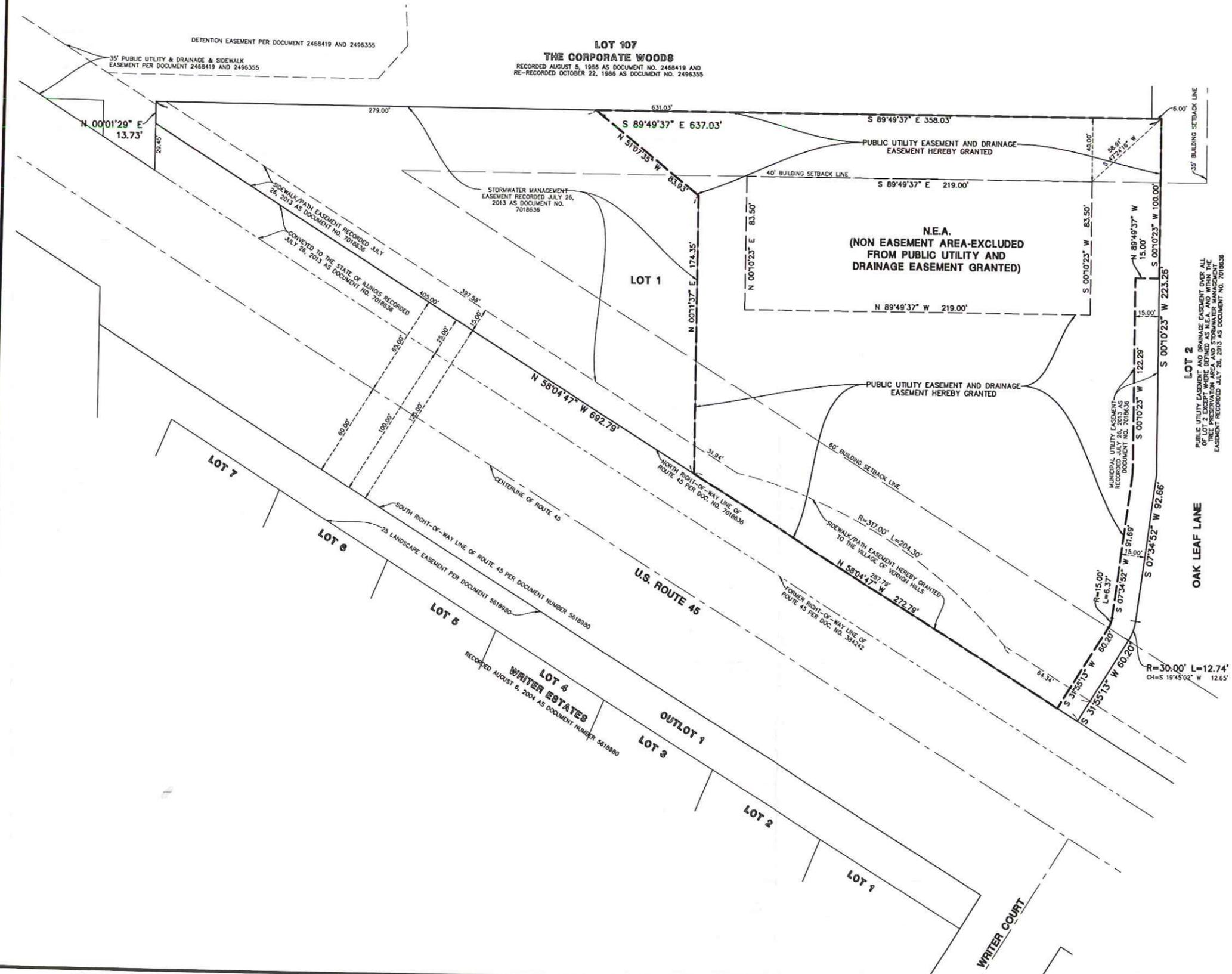


# PLAT OF EASEMENT GRANT

## LEGAL DESCRIPTION

LOT 1 IN THE OAKS OF VERNON HILLS BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 9, TOGETHER WITH PART OF THE NORTHWEST QUARTER OF SECTION 15, AND PART OF THE NORTHEAST QUARTER OF SECTION 16, ALL IN TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 26, 2013 AS DOCUMENT NUMBER 7018636, IN LAKE COUNTY, ILLINOIS.

**LOT 107**  
**THE CORPORATE WOODS**  
 RECORDED AUGUST 5, 1986 AS DOCUMENT NO. 2468419 AND  
 RE-RECORDED OCTOBER 22, 1986 AS DOCUMENT NO. 2496355



**PROPERTY AREA**  
 TOTAL AREA = 62,565 SQUARE FEET (1.436 ACRES)

- SURVEYORS NOTES**
1. DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON. DISTANCES AND/OR BEARINGS SHOWN IN PARENTHESES (458.67) ARE RECORD OR DEED VALUES, NOT FIELD MEASURED.
  2. BEARINGS ARE BASED ON THE FINAL PLAT OF THE OAK OF VERNON HILLS SUBDIVISION RECORDED JULY 26, 2013 AS DOCUMENT NO. 7018636.
  3. MANHARD CONSULTING, LTD. IS A PROFESSIONAL DESIGN FIRM, REGISTRATION NUMBER 184003350, EXPIRES APRIL 30, 2015.

DATE	07/26/13	REVISION	REVISED PER SITE PLAT CHANGES
BY	LSM	DATE	
CHECKED BY		DATE	
APPROVED BY		DATE	

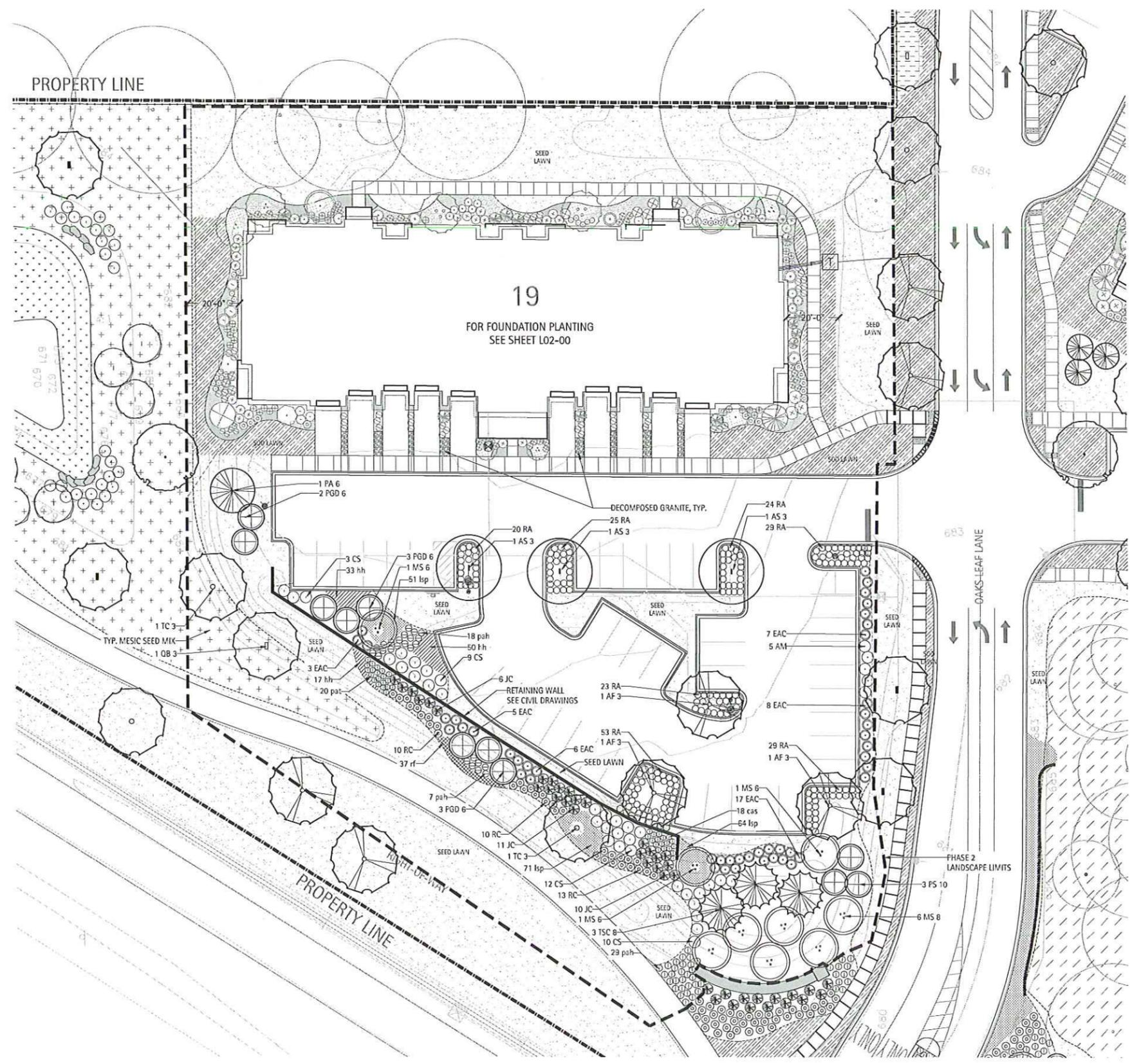
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LOT 1 IN THE OAKS OF VERNON HILLS  
 VILLAGE OF VERNON HILLS, ILLINOIS  
 PLAT OF EASEMENT GRANT

PROJ MGR	JRF
PROJ ASSOC	ERY
DRAWN BY	LSM
DATE	12/01/14
SCALE	1" = 30'

SHEET  
**1** OF **2**  
 KNZVH 110660

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**OVER ALL LANDSCAPE NO FOUNDATIONS**

Symbol	Phase 2	Botanic Name	Common Name	Size	Remarks
<b>DECIDUOUS SHADE TREES</b>					
AS 3	3	Acer saccharum	Legacy Sugar Maple	3" caliper	B&B
AF 3	3	Acer x freemanii 'Autumn Blaze'	Freemanii Maple	3" caliper	B&B
OB 3	1	Quercus bicolor	Swamp White Oak	3" caliper	B&B
TC 3	2	Tilia cordata 'Greenspire'	Littleleaf Linden	3" caliper	B&B
<b>ORNAMENTAL TREES</b>					
MS 6	3	Malus 'Snowdrift'	White Crabapple	6' ht.	B&B, Clump
MS 8	6	Malus 'Snowdrift'	White Crabapple	8' ht.	B&B, Clump
<b>EVERGREEN TREES</b>					
PA 6	1	Picea abies	Norway Spruce	6' ht.	B&B
PG 6	8	Picea glauca 'Densata'	Black Hills Spruce	6' ht.	B&B
PS 10	3	Pinus sylvestris	Scotch Pine	10' ht.	B&B
TSC 8	3	Tsuga canadensis	Hemlock	8' ht.	B&B
<b>DECIDUOUS SHRUBS</b>					
AM	5	Aronia melanocarpa	Glossy Black Chokeberry	24-30" ht.	B&B or CG or BR
CS	34	Cornus sericea 'Kelsey'	Redtwig Dogwood	24-30" ht.	B&B or CG or BR
EAC	46	Euonymus alata 'Compactus'	Dwarf Winged Euonymus	30-36" ht.	B&B or CG
RA	203	Rhus aromatica 'Gro-Low'	Fragrant Sumac	5 gal.	B&B or CG
RC	33	Rosa 'Flower Carpet Pink'	Flower Carpet Pink Shrub Rose	5 gal.	CG
<b>EVERGREEN SHRUBS</b>					
JC	27	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 gal.	B&B or CG
<b>PERENNIALS, ORNAMENTAL GRASSES</b>					
cas	18	Calamagrostis scutiflora 'Karl Foerster'	Feather Reed Grass	1 gal.	CG
hh	100	Hemerocallis 'Happy Returns'	Happy Returns Daylily	1 gal.	CG
lsp	186	Liriope spicata	Lilyturf	1 gal.	CG
pah	54	Penisetum spelocunoides 'Hameln'	Dwarf Fountain Grass	1 gal.	CG
pat	20	Perovskia atriplicifolia 'Longin'	Russian Sage	1 gal.	CG
rf	37	Rudbeckia fulgida 'Goldstrum'	Black-eyed Susan	1 gal.	CG

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212 West Kinzie Street, 3rd Floor

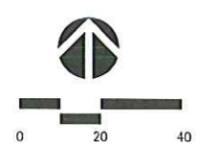
**The Oaks of Vernon Hills -  
 Phase 2  
 Rt. 45 / Vernon Hills, IL**

**APARTMENT 19  
 PARKING LOT  
 AND RTE 45  
 BERM LANDSCAPE**

Revisions  
 Village Review 02/09/2015

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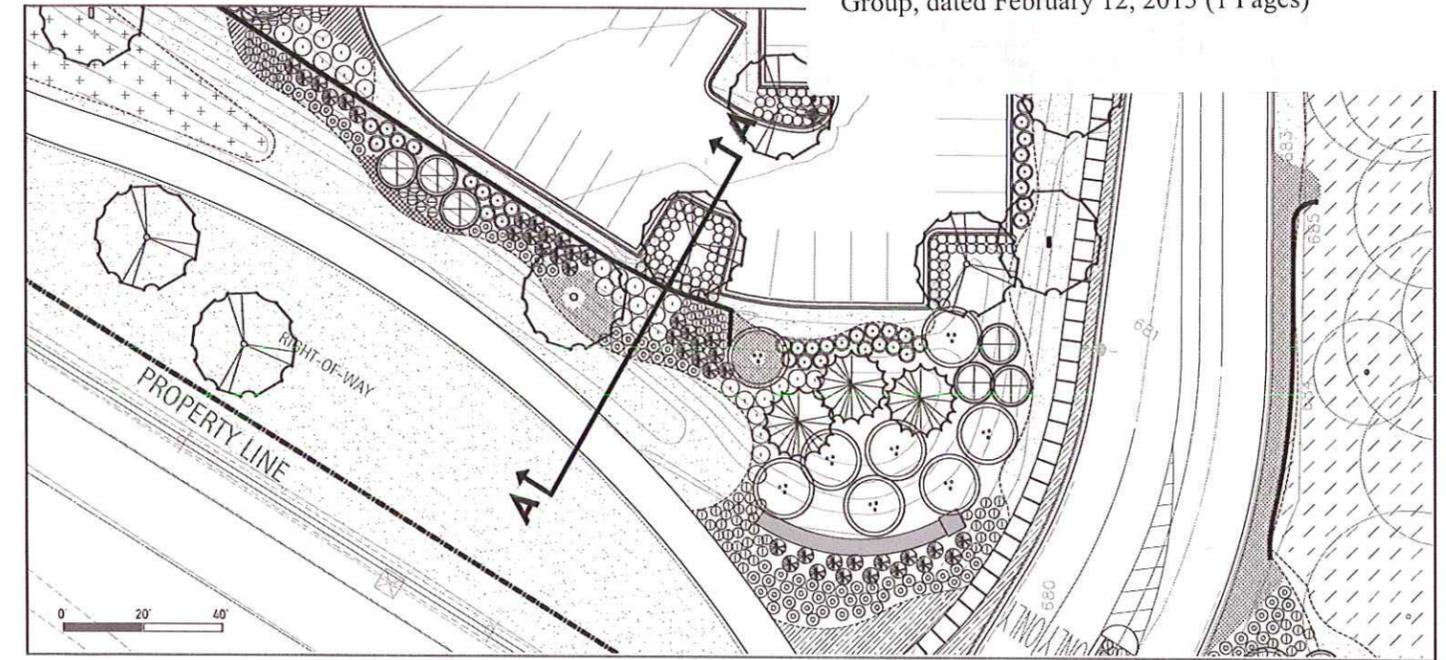
Date: 02/09/2015  
 Drawn By: JA  
 Checked By: ZM



**L1-00**



**KEY MAP**



**SECTION A - A**

