

VILLAGE OF VERNON HILLS

ORDINANCE 2015-020

AN ORDINANCE AMENDING ORDINANCE 2008-061 TO AMEND THE EXISTING SPECIAL USE PERMIT AND GRANT CERTAIN APPROVALS TO ALLOW CONSTRUCTION OF A PARKING LOT ON A PORTION OF LOT 2 IN THE COOK MEMORIAL SUBDIVISION, LOCATED GENERALLY EAST OF THE INTERSECTION OF ASPEN DRIVE AND ASPEN POINTE ROAD IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

THE 11<sup>th</sup> DAY OF AUGUST 2015

Published in pamphlet form by the Authority of the President and Board of Trustees of the Village of Vernon Hills, Lake County, Illinois, this 13<sup>th</sup> Day of August, 2015

**ORDINANCE NO. 2015-020**

**AN ORDINANCE AMENDING ORDINANCE  
2008-061 TO AMEND THE EXISTING  
SPECIAL USE PERMIT AND GRANT  
CERTAIN APPROVALS TO ALLOW  
CONSTRUCTION OF A PARKING LOT ON A  
PORTION OF LOT 2 IN THE COOK  
MEMORIAL SUBDIVISION, LOCATED  
GENERALLY EAST OF THE  
INTERSECTION OF ASPEN DRIVE AND  
ASPEN POINTE ROAD IN THE VILLAGE OF  
VERNON HILLS, LAKE COUNTY**

**WHEREAS**, Ordinance 2008-061 approved a Planned United Development to allow a three-lot subdivision known as Cook Memorial Subdivision with ownership and approval being granted for the construction of the Aspen Drive Library on Lot 1.

**WHEREAS**, the Village of Vernon Hills is the owner of property known as Lot 2 in the Cook Memorial Subdivision which is located south of and adjacent to Aspen Drive Library, said property is depicted in Exhibit A; and

**WHEREAS**, the Cook Memorial Library District owns Aspen Drive Library; and

**WHEREAS**, Kurt Hezner of Hezner Corporation, representing the Cook Memorial Library District in regards to property commonly known Lot 2 of the Cook Memorial Subdivision, a Planned United Development approved via Ordinance 2008-061, has petitioned the Village of Vernon Hills for the following:

1. To amend the Special Use Permit for a Planned Unit Development to allow development of a parking lot and related improvements on Lot 2 of the Cook Memorial Subdivision; and
2. Preliminary and final site and landscaping plan approvals.

**WHEREAS**, the requested approvals would be in general compliance with the following plans:

- Proposed Landscape Plan prepared by Hezner Corporation with a date of April 6, 2015 and consisting of 2 pages.
- Proposed Site Plan prepared by Hezner Corporation with a date of April 6, 2015 and consisting of 2 pages.
- Proposed Photometric Plans prepared by Hezner Corporation received on April 7, 2015 and consisting of 1 page.

Said Plans are attached hereto as Exhibit B; and

**WHEREAS**, upon due notice and after public hearing held April 15, 2015 by the Planning and Zoning Commission of the Village of Vernon Hills, and pursuant to the

Vernon Hills Zoning Ordinance of 1982, as amended, said Planning and Zoning Commission has filed its report concerning said petition as listed above.

**WHEREAS**, based upon the evidence adduced at said hearings and in their application, the petitioner has entered into the record evidence and findings of fact that address the conditions in Section 18.3 and 21.6 of the Zoning Ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, COUNTY OF LAKE AND STATE OF ILLINOIS:**

**SECTION I.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, amend the Special Use Permit for a Planned Unit Development to allow development of a parking lot and related improvements on a portion Lot 2 of the Cook Memorial Subdivision.

**SECTION II.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, approvals of the preliminary and final site and landscaping plans for Lot 2 as setforth in Exhibit B are hereby granted subject to the conditions listed in Section V.

**SECTION III.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final approvals of the architectural elevations as setforth in Exhibit B are hereby granted subject to the conditions listed in Section V.

**SECTION IV.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final site improvement plans as setforth in Exhibit B are hereby approved subject to the conditions listed below in Section V.

**SECTION V.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, and the recommendations of the Planning and Zoning Commission, the terms and conditions as set forth in Exhibit C are hereby approved and are made a part of the approvals as listed in the Sections above.

**SECTION VI. SEVERABILITY.** In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

**SECTION VII. REPEAL AND SAVINGS CLAUSE.** All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this ordinance.

**SECTION VIII. SUCCESSORS AND ASSIGNS.** All of the provisions of this Ordinance and the attachments hereto are binding on all successors and assigns of the petitioner and property owner.

**SECTION IX. EFFECTIVE DATE.** This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

**SECTION X. ORDINANCE NUMBER.** This ordinance shall be known as Ordinance Number 2015-020.

Adopted by roll call vote as follows:

AYES: 4 – Hebda, Koch, Marquardt, Schwartz

NAYS: 0 - None

ABSENT AND NOT VOTING: 2 – Schultz, Williams

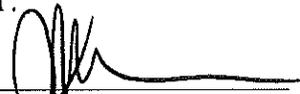
  
Roger L. Byrne, Village President

PASSED: 8/11/2015

APPROVED: 8/11/2015

PUBLISHED IN PAMPHLET FORM: 8/13/2015

ATTEST:

  
\_\_\_\_\_  
John Kalma, Village Clerk

**Exhibit A**  
**Legal Description**

BEING A SUBDIVISION OF PART OF THE NORTH EAST 1/4 OF SECTION 5, TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE 3RD PRINCIPAL MERIDIAN THE WEST 425.60 FEET OF THE EAST 1382.50 FEET OF THE NORTH 815.00 FEET OF THE NORTH EAST 1/4 OF SECTION 5, TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE 3RD PRINCIPAL MERIDIAN, EXCEPT THE NORTH 265.00 FEET OF THAT PART OF SAID NORTH EAST 1/4 OF SECTION 5 LYING SOUTH OF THE SOUTH RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 60 ACCORDING TO THE PLAT OF HIGHWAYS RECORDED AS DOCUMENT no. 330737, ALSO EXCEPT THE WESTERLY 12.00 FEET THEREOF, IN THE VILLAGE OF VERNON HILLS.

**Exhibit B**

**Plans**

General Compliance with the following plans:

- Proposed Landscape Plan prepared by Hezner Corporation with a date of April 6, 2015 and consisting of 2 pages.
- Proposed Site Plan prepared by Hezner Corporation with a date of April 6, 2015 and consisting of 2 pages.
- Proposed Photometric Plans prepared by Hezner Corporation received on April 7, 2015 and consisting of 1 page.

**Exhibit C**  
**Terms and Conditions of Approval**

Conditions of Approval for the entire Site:

1. Final approval of plans by the Village Engineer and Landscape Architect prior to issuance of a building permit.
2. Approval of a License Agreement for parking lot construction and maintenance between the Village of Vernon Hills, Vernon Hills Park District, and the Cook Memorial Library District.
3. Compliance with all ordinances and standards of the Village except as otherwise noted.

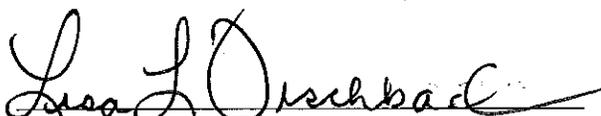
AFFIDAVIT OF SERVICE

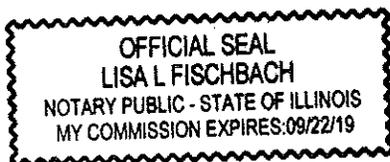
STATE OF ILLINOIS        )  
  )  
COUNTY OF LAKE        )

I, JOHN M. KALMAR, BEING FIRST DULY APPOINTED, DEPOSES AND SAYS ON OATH THAT AS VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, HE DID CAUSE THE FOREGOING CERTIFICATE FOR ORDINANCE 2015-020 AN ORDINANCE AMENDING ORDINANCE 2008-061 TO AMEND THE EXISTING SPECIAL USE PERMIT AND GRANT CERTAIN APPROVALS TO ALLOW CONSTRUCTION OF A PARKING LOT ON A PORTION OF LOT 2 IN THE COOK MEMORIAL SUBDIVISION, LOCATED GENERALLY EAST OF THE INTERSECTION OF ASPEN DRIVE AND ASPEN POINTE ROAD IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY TO BE POSTED IN THE VILLAGE HALL AS REQUIRED BY LAW FROM AUGUST 13, 2015 TO AUGUST 23, 2015

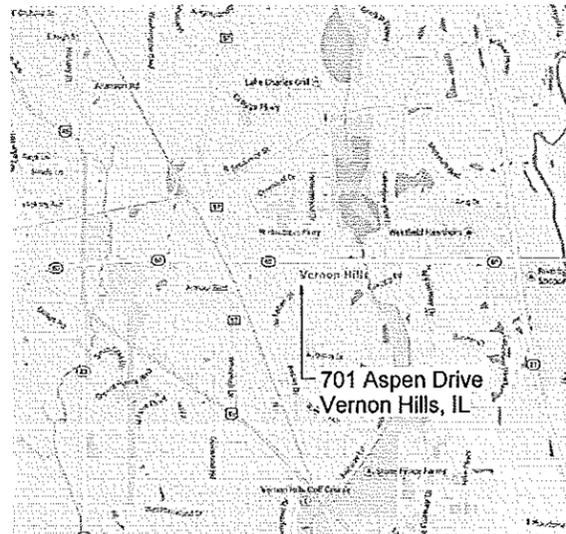
  
\_\_\_\_\_  
JOHN M. KALMAR, VILLAGE CLERK

SUBSCRIBED AND SWORN TO BEFORE  
THIS 13<sup>th</sup> DAY OF AUGUST, 2015

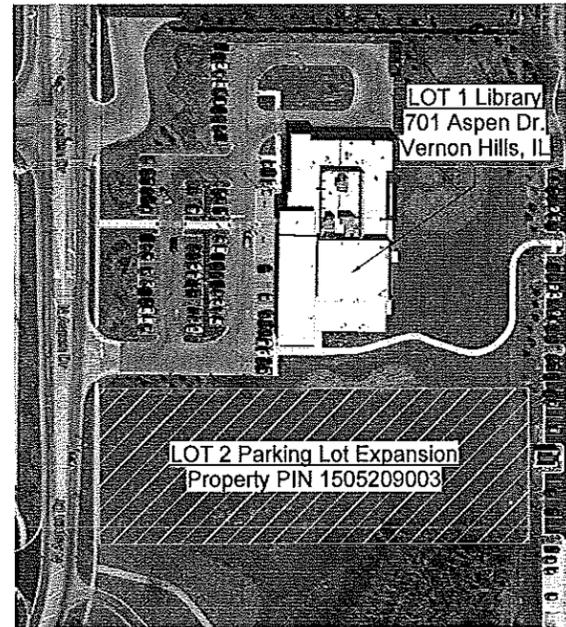
  
Notary Public







LOCATION MAP  
SCALE: NTS



SITE AERIAL  
SCALE: NTS

**GENERAL NOTES**

1. Thoroughly familiarize yourself with the plans and visit the job site to verify existing conditions prior to advertising a bid. Under no circumstances shall anything be built or installed without proper drawings or written approval. If any clarification on extent of work is needed, contact the Architect prior to submitting bids. If questions are not raised during bidding, it shall be concluded that each bidder understands and knows exactly what shall be required of him and shall perform these requirements without recourse to the full and uncondemned satisfaction of the Architect. Failure to recognize all work required shall be at the expense of the Contractor. No additional compensation shall be considered after the letting of the bid.
2. The Owner has the right to select or reject any or all bids and let selected subcontractors bids separately.
3. No substitutions of materials or equipment will be permitted.
4. Secure and properly display all licenses and permits required by AIA. Complete all required permit reviews with the AIA.
5. Guarantee all labor and materials for a period of one year minimum from date of substantial completion. Provide all materials on any parts or labor in writing at the time the work is completed.
6. Do not scale the drawings. Verify all vertical dimensions to the field. Confirm all dimensions by layout prior to construction. In the event of any discrepancy, contact the Architect before proceeding with work.
7. This work is being completed on an existing site with existing buildings. Field verify existing conditions before beginning work. Notify the Architect of any discrepancy before proceeding.
8. Do not damage or weaken the structural integrity of the building for any reason.
9. Perform all work in a first-class workmanlike manner. Comply with the provisions of the "Occupational Safety and Health Act" - latest edition. Comply with all municipal, State and Federal laws.
10. Provide temporary construction barriers and scaffolding as required to protect the safety of all people in the area, and to maintain security of the site at all times. Provide construction barriers to restrict access to the area under construction to authorized construction personnel only. Contractor is fully responsible for safety on the job site at all times. All precautionary measures shall be taken to ensure the health and safety of individuals and property. All tools, materials and equipment shall be secured at the end of each workday in lock boxes (gang boxes) and OSHA approved storage cabinets.
11. The Library will remain in operation and fully occupied throughout the construction period. No interruption of normal services (power, heat, light, water, etc.) will be allowed during business hours. Obtain written approval for any outages from all affected parties a minimum of 48 hours in advance. Coordinate all work affecting other floors with building manager.
12. Properly store and secure all materials and equipment to be used on the job. All overhead Safety Data Sheets (SDS) will be maintained according to all Occupational Health Safety Administration (OSHA) regulations.
13. All workers on site shall always first check-in with the site superintendent upon arrival, and check-out when leaving. All deliveries to the site shall be made to the construction office address and directed from that point by the site superintendent as to where to set the product.
14. The premises shall be kept clean during all phases of demolition and construction. Clean up trash and debris daily. Clean roads, drives, parking lot, and sidewalks daily or often as required by weather and/or construction activity. Contractor is responsible for proper removal of trash and debris out of the remainder of the site and out of the building. Demolition debris and construction trash shall not be stored in the building.
15. Properly dispose of / recycle all demolished or scrap materials and items. The building dumpster is not to be used for disposal of demolition / construction materials. Comply with jurisdiction ordinances pertaining to recycling / disposal of demolition / construction materials.
16. All work shall be coordinated with other trades in order to avoid interferences and collisions. Include all interferences / items required to complete the work, i.e., hangers, supports, anchors, ties, conduit, wire, fittings, sleeves, etc., including routing and placement of materials and equipment.
17. Do not damage any building infrastructure or fire stopping. Install new fire proofing and new fire stopping to replace any damaged or missing components. Bring assembly to required fire rating.
18. All new fixtures and equipment shall bear UL labels where required and meet appropriate NEC standards.
19. All existing conditions, fixtures, furniture, and equipment to remain shall be protected and treated with extreme care to avoid damage during new construction. Any damage to existing construction or equipment caused by new construction shall be repaired or replaced at contractor's expense.
20. Provide new and accurate direction for electrical panels and lighting control panels affected by this work. One such directory shall be required for each panel, a copy of which should be given to Building Management to be kept on file. Such directories shall be required before final payment is made.
21. Certificates of Insurance from every contractor and subcontractor shall have been reviewed and approved by the Architect and must be on file with both the Owner and the Architect a minimum of 24 hours prior to beginning work on the site.

**CONSTRUCTION RESTRICTIONS**

- A. The Library will remain in full operation during the entire construction period. Library staff, library patrons, and the general public will be on site and in the building during all normal library hours of operation.
- B. Provide construction safety barriers to restrict non-construction persons from entering the site construction area at any time.
- C. Traffic entering and exiting the site construction area may not impede non-construction traffic into, out of and through the existing library parking lot.
- D. Existing parking lot, driveways, sidewalks, and roads must be kept clean at all times. At a minimum, clean roads, driveways, parking lots, and sidewalks daily. Be prepared to clean more often when weather and/or construction activity requires. Construction activity within the existing library building must occur outside of normal library hours of operation. No construction personnel, equipment, or materials will be allowed in public facing library spaces when the library is open.

**LOCAL CODES**

- ZONING:**  
VILLAGE OF VERNON HILLS ZONING ORDINANCE  
CITY OF CHICAGO, RESEARCH AND DEVELOPMENT
- BUILDING:**  
2012 INTERNATIONAL BUILDING CODE - LOCAL AMENDMENTS  
2012 INTERNATIONAL EXISTING BUILDING CODE  
2004 ILLINOIS STATE PLUMBING CODE - LOCAL AMENDMENTS  
2011 NATIONAL ELECTRICAL CODE - LOCAL AMENDMENTS  
GENERAL CODE OF ORDINANCES  
2012 INTERNATIONAL FIRE PREVENTION CODE  
2012 INTERNATIONAL MECHANICAL CODE  
2012 INTERNATIONAL ENERGY CONSERVATION CODE - STATE OF ILLINOIS AMENDMENTS  
2012 INTERNATIONAL PROPERTY MAINTENANCE CODE  
2012 INTERNATIONAL FUEL GAS CODE - LOCAL AMENDMENTS
- ADA:**  
2010 ADA CHAPTER 1 - AS REFERENCED IN THE 2006 IBC, SECTION 110.2  
1997 ILLINOIS ACCESSIBILITY CODE  
FEDERAL ADA GUIDELINES  
\*ALL REFERENCED STANDARDS IN ABOVE CODES

**LAND USE SUMMARY**

- LOT AREAS:**  
LOT 1 = 154,807 s.f. (RUPD ZONING ORDINANCE)  
LOT 2 = 64,553 s.f. (RUPD ZONING ORDINANCE)  
COVERED TOTAL AREA (LOT 1 + LOT 2) = 219,360 s.f.
- LOT AREA AVAILABLE FOR USE:** (allowing coverage not to exceed 30% of total lot area)  
DISTRICT LIBRARY FOOTPRINT = 20,333 s.f.  
(20,333 s.f. LIBRARY) / (154,807 s.f. LOT 1) = 13% BUILDING COVERAGE  
(20,333 s.f. LIBRARY) / (64,553 s.f. COVERED LOT AREA) = 31% BUILDING COVERAGE
- OFF-STREET PARKING (REQUIRED):**  
1 PARKING SPACE PER 200 s.f. OF GROSS FLOOR AREA  
(20,333 s.f. LIBRARY) / (200 s.f.) = 102 PARKING STALLS REQUIRED
- OFF-STREET PARKING PROVIDED:**  
EXISTING PARKING STALLS = 58 (11 ACCESSIBLE STALLS INCLUDED)  
NEW PARKING STALLS = 50 (11 ACCESSIBLE STALLS INCLUDED)  
TOTAL PARKING STALLS = 108 (22 ACCESSIBLE STALLS INCLUDED)  
Viable parking spaces required for 115 stalls = 5
- PERMISSIBILITY:**  
LOT 1 CURRENT IMPERVIOUS SURFACES  
PARKING AND SIDEWALKS = 46,137 s.f.  
BUILDING = 3,203 s.f.  
TOTAL = 49,340 s.f.  
66,400 s.f. / 154,807 s.f. (TOTAL LOT 1 AREA) = 43% OF SITE
- LOT 2 CURRENT IMPERVIOUS SURFACES  
PARKING AND SIDEWALKS = 15,075 s.f.  
BUILDING = 1,815 s.f.  
TOTAL = 16,890 s.f.  
16,815 s.f. / 64,553 s.f. (TOTAL LOT 2 AREA) = 26% OF SITE

**SITE LIGHTING SUMMARY**

- REQUIREMENTS:**  
PARKING SURFACES IN RETAIL AND BUSINESS CATEGORY:  
GENERAL ILLINOIS AVERAGE (EL. AVE) = 3  
FORMULA = (EL. AVE. / EL. V) \* 4  
(3 / 2) = 6  
ILLUMINATION MINIMUM = 2

COVER SHEET  
CS001 COVER SHEET  
LANDSCAPE  
L101 LANDSCAPE DEVELOPMENT  
ARCHITECTURAL - SITE  
AS100 EXISTING SITE PLAN & P&I  
AS102 NEW SITE PLAN  
PHOTO METRICS  
L1 NEW PHOTO METRIC PLAN OPTION 1

PH: (847)-818-3800  
FAX: (847)-549-7933  
Email: hezner@hezner.biz

This is to certify that these drawings were prepared under my supervision and to the best of my knowledge conform to the Illinois Accessibility code and ADA guidelines.

Res. Architect

This is to certify that these drawings were prepared under my supervision and to the best of my knowledge conform to all applicable state and Local Jurisdiction Codes.

Res. Architect

Architect's Seal & Signature

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

Drawn By: RAJ

Checked By: SKH

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Libertyville, Illinois 60048-2325

Date Issued For:  
02/06/2015 Planning & Zoning  
03/02/2015 Tech. Review Response  
04/05/2015 Tech. Review Response

REVISION SCHEDULE		
Rev.	Date	Issued For

Project Title  
**COOK MEMORIAL  
PUBLIC LIBRARY  
DISTRICT**  
Aspen Drive Library Parking Lot  
Expansion

701 Aspen Drive  
Vernon Hills, Illinois 60061

Sheet Title

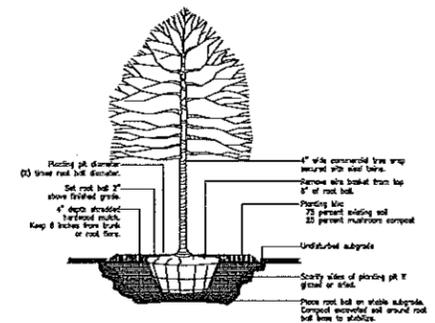
COVER SHEET

Architect's Project Number  
**C-870**  
**CS001**

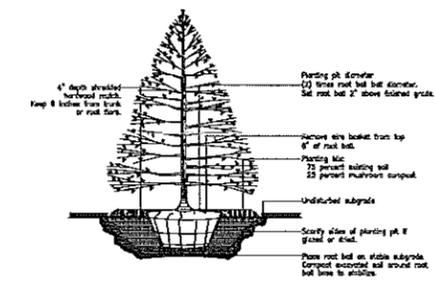


**Cook Memorial Public Library District**  
Aspen Drive Library Parking Lot Expansion

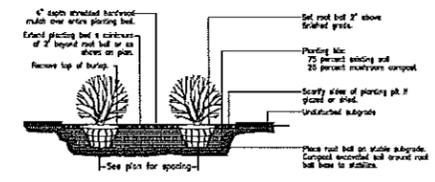
701 Aspen Drive  
Vernon Hills, Illinois 60061



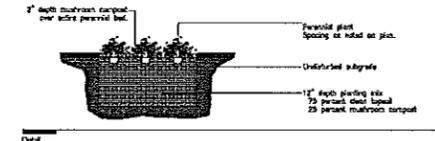
Detail  
Deciduous Tree Planting



Detail  
Evergreen Tree Planting



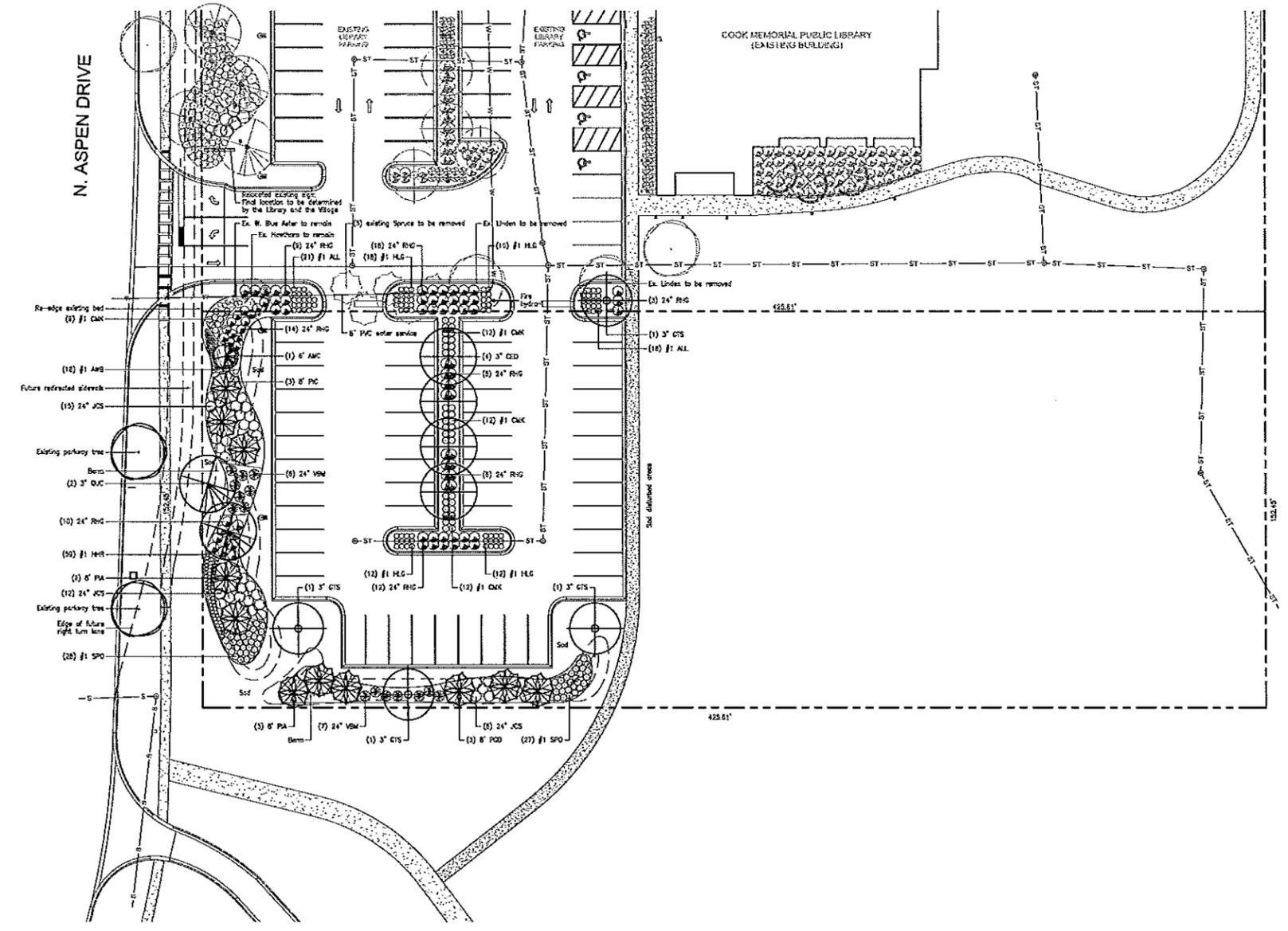
Detail  
Shrub Planting



Detail  
Perennial Planting

**Plant List**

Key	Qty.	Size	Botanical Name	Common Name	Remarks
CEJ	4	3"	<i>Celastrus occidentalis</i> 'People's Pride'	People's Pride Common Honeysuckle	BB
GTS	4	3"	<i>Quercus macrocarpa</i> var. <i>laevis</i> 'Skyline'	Skyline Thicket Hicory/Oak	BB
QUC	2	3"	<i>Quercus macrocarpa</i>	Oakleaf Oak	BB
Ornamental Trees					
Key	Qty.	Size	Botanical Name	Common Name	Remarks
ANC	1	6"	<i>Anemone canadensis</i>	Shadblow	BB/Dump
Evergreen Trees					
Key	Qty.	Size	Botanical Name	Common Name	Remarks
PPO	3	6"	<i>Picea glauca</i> 'Densata'	Stock 1/2" Spruce	BB
PA	3	6"	<i>Picea abies</i>	Norway Spruce	BB
PC	3	6"	<i>Picea pungens</i>	Colorado Blue Spruce	BB
Shrubs					
Key	Qty.	Size	Botanical Name	Common Name	Remarks
JCS	35	24"	<i>Juniperus chinensis</i> var. <i>sargentii</i>	Sargent Juniper	BB
RG	66	24"	<i>Rhus glabra</i> 'Cryslum'	Co-Low Fragrant Sumac	BB
VSM	15	24"	<i>Yucca filamentosa</i> 'Variegata'	Blue Muffin Arrowweed Yucca	BB
Perennials and Ornamental Grasses					
Key	Qty.	Size	Botanical Name	Common Name	Remarks
ALL	30	1"	<i>Allium 'Summer Beauty'</i>	Summer Beauty Allium	Container
AMB	18	1"	<i>Asarum canadense</i> 'Wood's Blue'	Wood's Blue Asar	Container
OAK	45	1"	<i>Odontoglossum occidentale</i> 'Karl Foerster'	Feather Reed Grass	Container
HAM	50	1"	<i>Hemerocallis 'Happy Returns'</i>	Happy Returns Daylily	Container
HLC	50	1"	<i>Hemerocallis 'Lily Gracilis'</i>	Lily Gracilis Daylily	Container
SPD	50	1"	<i>Sporobolus heterophyllus</i>	Prinkie Dropseed	Container



Architect's Seal & Signature

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CONSTRUCTION**

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Checked By: DRM  
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Libertyville, Illinois 60048-2325

Date: Issued For:  
02/05 Planning & Zoning  
02/05 Park Review Request  
02/05 Park Review Request

**REVISION SCHEDULE**

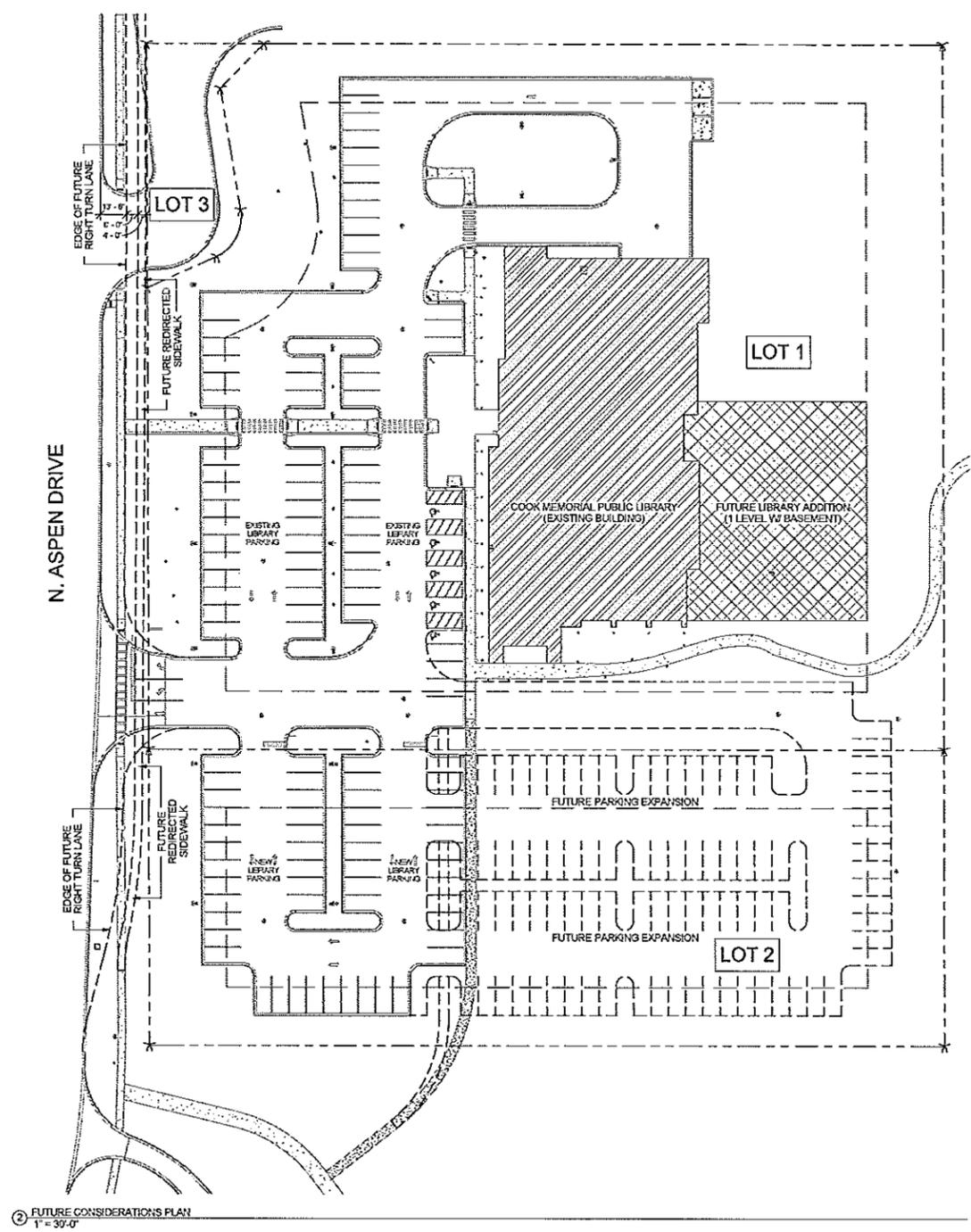
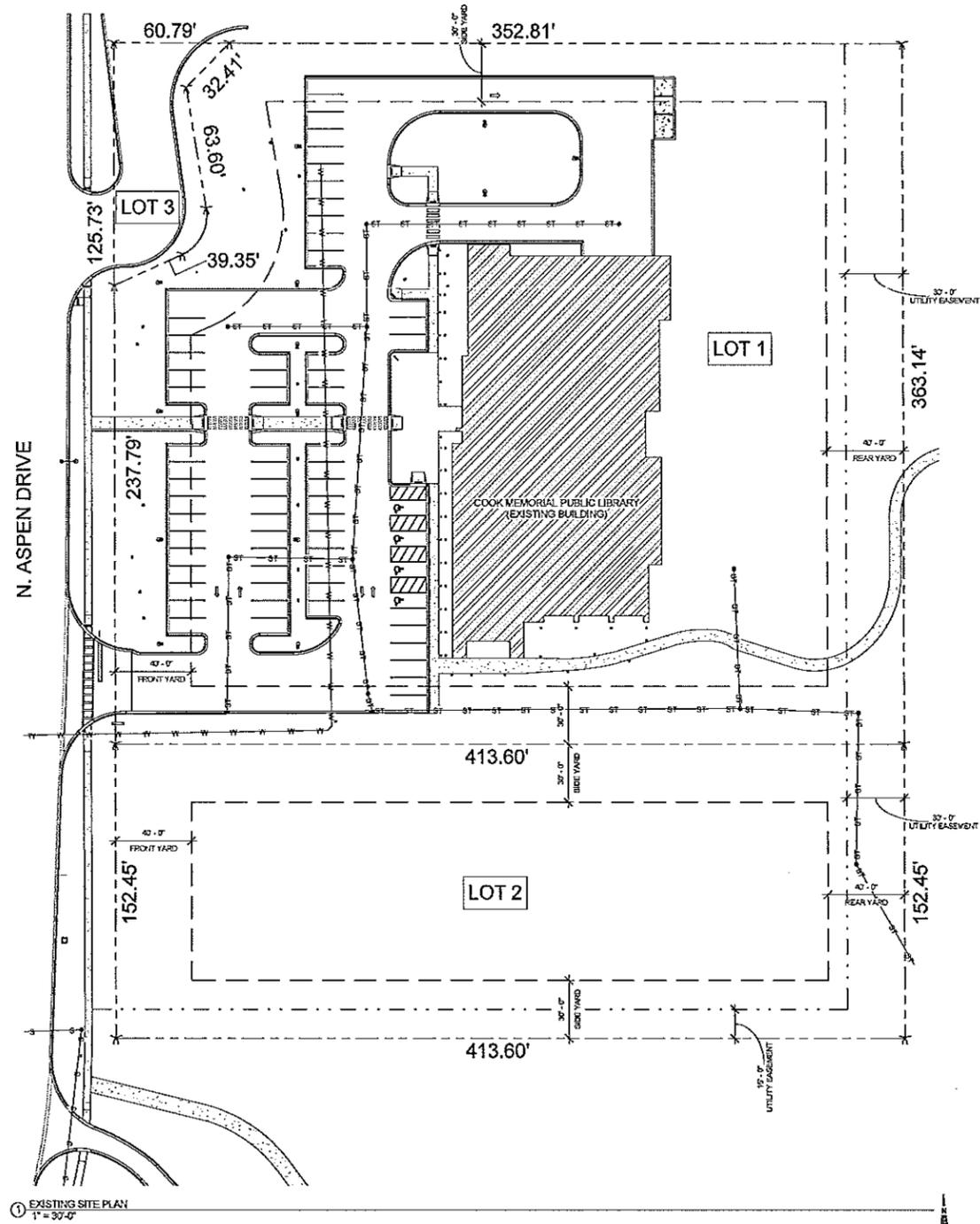
Rev.	Date	Issued For

Project Title  
**COOK MEMORIAL  
PUBLIC LIBRARY  
DISTRICT**  
Aspen Drive Library Parking Lot  
Expansion  
771 Aspen Drive  
Vernon Hills, Illinois 60061

Sheet No.  
**LANDSCAPE  
DEVELOPMENT PLAN**

Architect's Project Number  
**C-870  
L101**

Ph: (847) 618-3300  
 Fax: (847) 543-7533  
 Email: hezner@hezner.biz



Architect's Seal & Signature

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

Drawn By: RAJ

Checked By: SKH

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 Libertyville, Illinois 60048-2325

Date	Issued For:
02/05/2015	Planning & Zoning
03/09/2015	Tech. Review Response
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REVISION SCHEDULE		
Rev.	Date	Issued For:

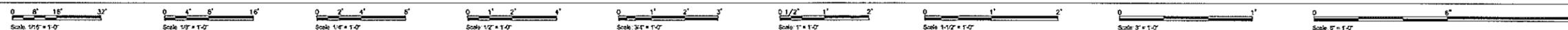
Project Title  
**COOK MEMORIAL  
 PUBLIC LIBRARY  
 DISTRICT**  
 Aspen Drive Library Parking Lot  
 Expansion  
 701 Aspen Drive  
 Vernon Hills, Illinois 60061  
 Sheet Title

EXISTING SITE PLAN &  
 FUTURE  
 CONSIDERATIONS PLAN  
 (FOR REFERENCE)

Architect's Project Number

**C-870**

**AS100**

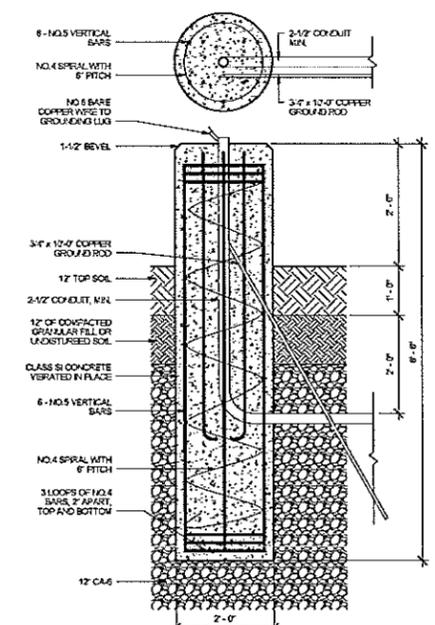
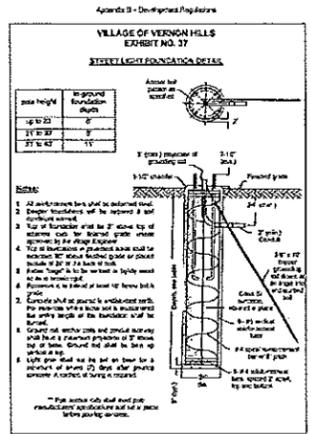


**KEYNOTES**

- 1 New concrete curb and gutter.
- 2 Transition between new and modified construction. Contractor shall repair any damage to existing conditions caused by construction activities to a like new condition.
- 3 New 4" wide pavement markings per Village of Vernon Hills standards.
- 4 New directional pavement markings.
- 5 New site lighting standard.
- 6 New handicap parking signs.
- 7 New stop sign.
- 8 New 24" wide white stop bar.
- 9 New location for relocated fire hydrant.
- 10 New location for relocated library monument sign. Extend power from nearest underground site lighting pole through new underground conduit to new monument sign.
- 11 New sidewalk.
- 12 New tactile warning surface.
- 13 New crosswalk pavement markings per Village of Vernon Hills standards.
- 14 Extended stop bar pavement markings per Village of Vernon Hills standards.
- 15 New lane designation markings per Village of Vernon Hills standards.
- 16 New handicap parking space.

5 Monument Sign Foundation  
3/4" = 1'-0"

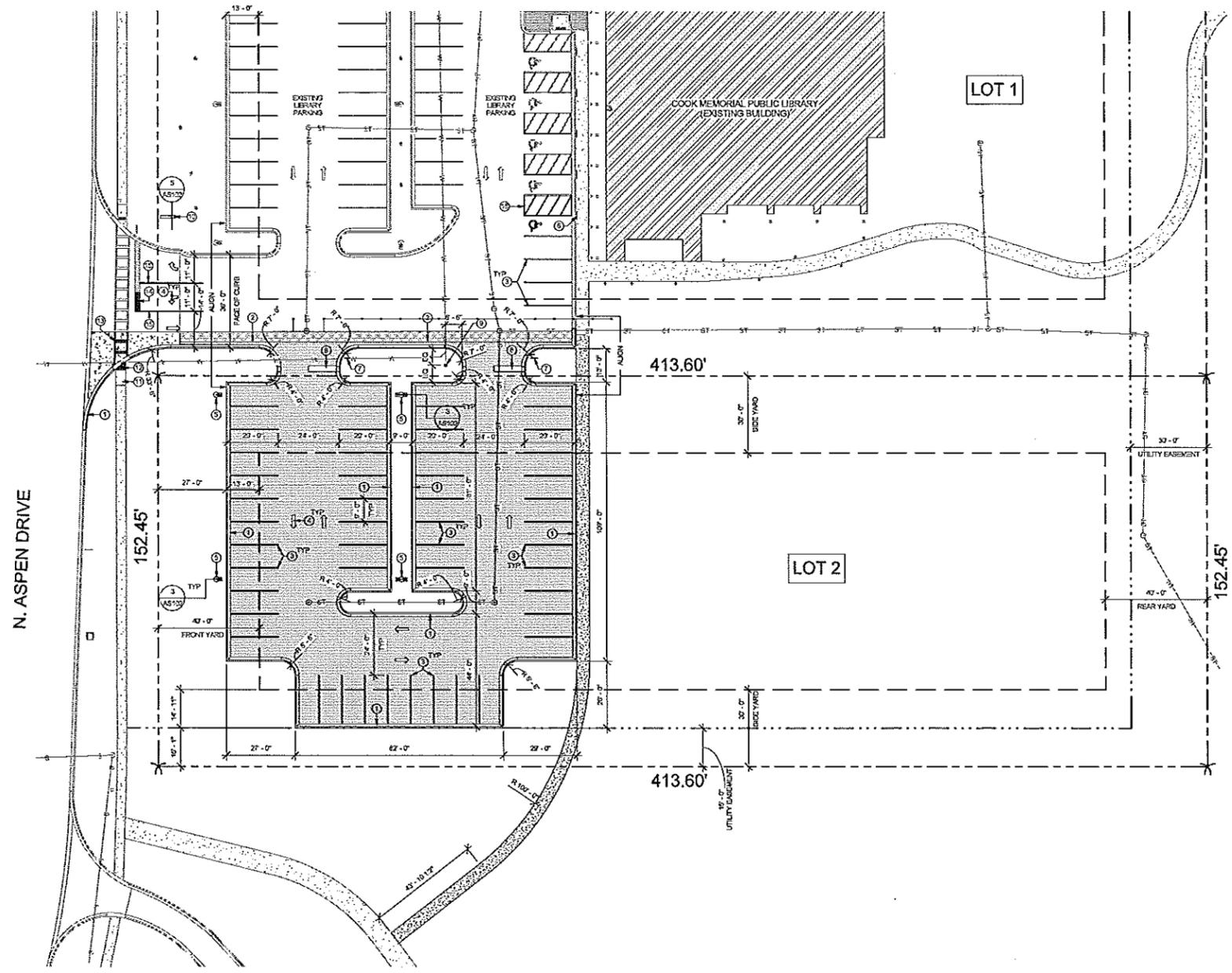
4 DETAIL - SITE LIGHTING STANDARD (FOR REFERENCE)  
NOT TO SCALE



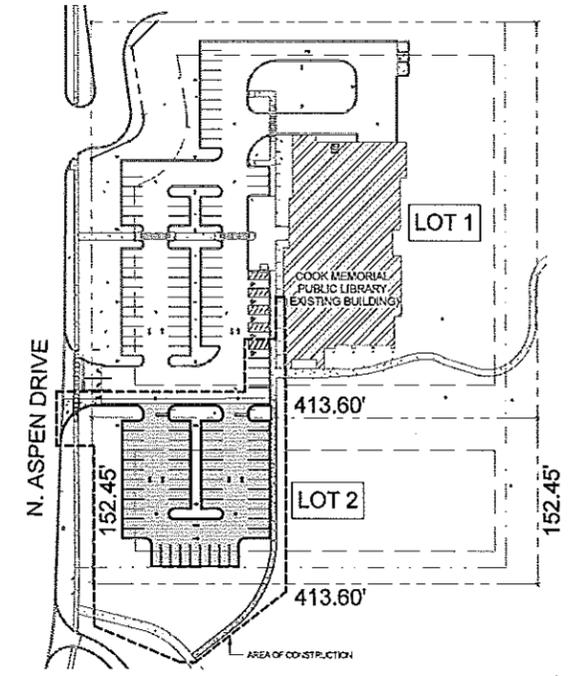
**PROJECT LEGEND**

---	PROPERTY LINE
---	SETBACK LINE
---	UTILITY EASEMENT
---	STORM SEWER LINE
---	WATERMAIN LINE
---	SEWER CHASE GRATE
---	MANHOLE COVER
---	UNDERGROUND VAULT
---	SITE SIGNAGE
---	FIRE HYDRANT
---	SITELIGHTING STANDARD
---	VILLAGE OF VERNON HILLS STREET LIGHTING STANDARD
---	EXISTING ASPHALT PAVING TO BE REMOVED AND REPAVED TO ACCOMMODATE NEW PAVEMENT SECTION AND NEW FIREWORKS.
---	NEW ASPHALT PAVING
---	NEW CONCRETE PAVING
---	EXISTING SIDEWALK WALKWAY
---	NEW CONCRETE SIDEWALK
---	EXISTING BUILDING
---	MILL AND RESURFACING OF ASPHALT

**Hezner**  
The Hezner Corporation  
Architectural Services  
678 Broadway Street, Suite 100  
Libertyville, IL 60048-2325  
Ph: (847) 618-3500  
Fax: (847) 549-7833  
Email: hezner@hezner.biz



1 NEW SITE PLAN  
1" = 20'-0"



2 KEY PLAN  
1" = 60'-0"

Architect's Seal & Signature  
**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

Drawn By: RAJ  
Checked By: SKH  
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The Hezner Corporation  
Libertyville, Illinois 60048-2325  
Date: 02/06/2015 Issued For: Planning & Zoning  
03/06/2015 Tech. Review Response  
04/06/2015 Tech. Review Response

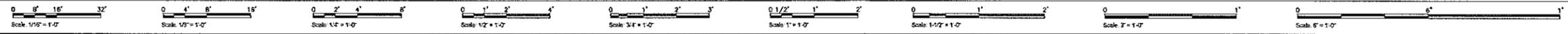
**REVISION SCHEDULE**

Rev.	Date	Issued For

Project Title  
**COOK MEMORIAL  
PUBLIC LIBRARY  
DISTRICT**  
Aspen Drive Library Parking Lot  
Expansion  
701 Aspen Drive  
Vernon Hills, Illinois 60061

Sheet Title  
**NEW SITE PLAN**

Architect's Project Number  
**C-870**  
**AS102**



**JOB NAME / AGENCY**  
**COOK MEMORIAL LIBRAR**  
 Pilipuf-Grist & Associates, Inc.

**POINT-BY-POINT CALCULATION**  
 Illuminance at Grade (Footcandles)  
 SCALE: 1" = 20'0"

**NOTES:**  
 See schedule for luminaire specifications.  
 Luminaire Symbols are not to scale.  
 Varying the position, mounting height, or orientation from what is specified in this drawing will invalidate the calculation performed.

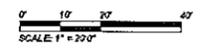
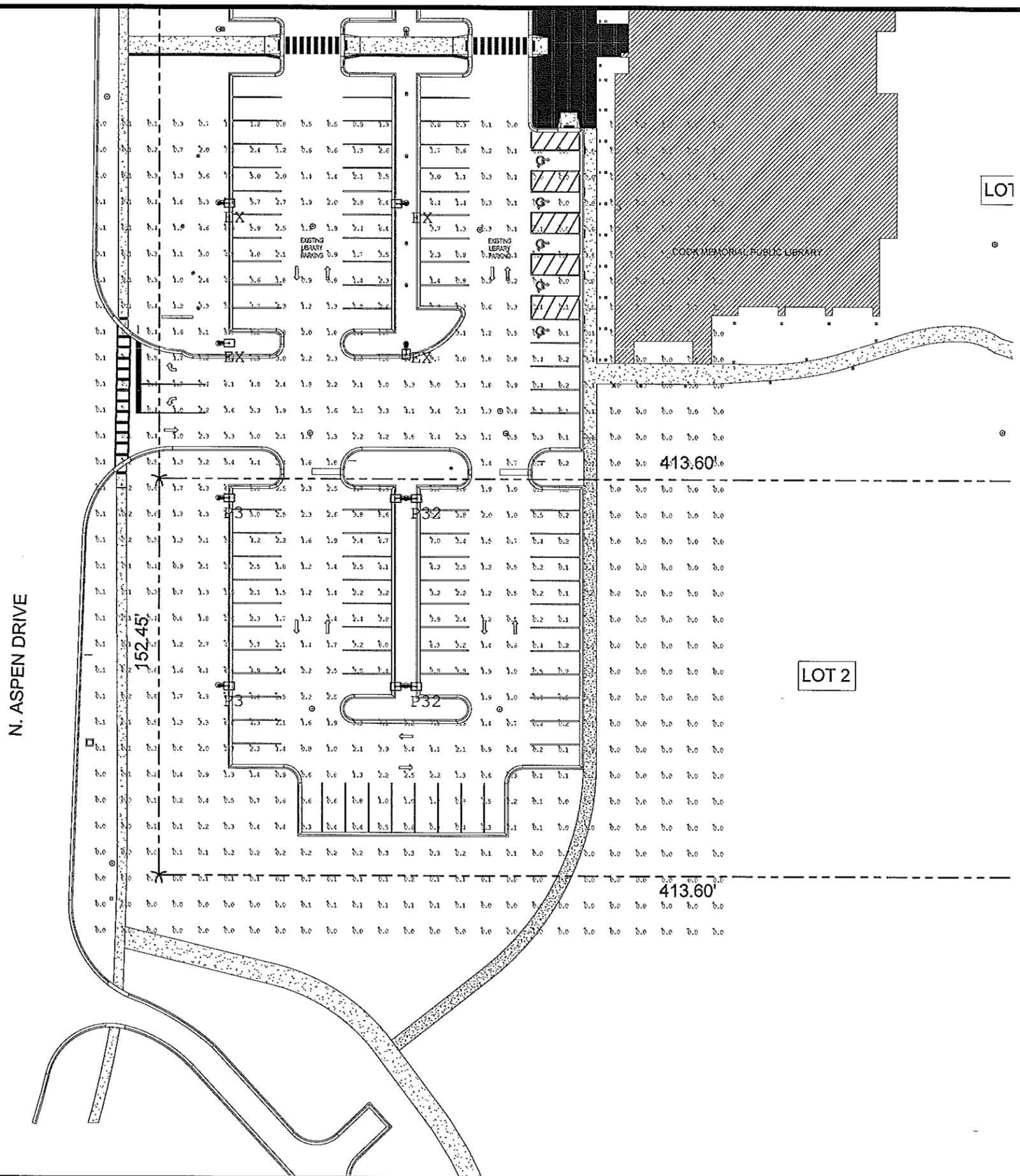
**U.S. ARCHITECTURAL LIGHTING**  
 Applications Department  
 600 West Avenue O  
 Palmdale, CA 93551  
 (818) 233-2000, Fax: (818) 233-2001  
 EMAIL: applications@usaltg.com

**DATA SUMMARY**

Calculation Summary						
Lot	CalcType	Units	Avg	Max	Min	Area/Min
NEW PARKING LOT	Illuminance	Fc	2.27	9.2	0.1	22.72

**LUMINAIRE SCHEDULE**

Type	Symbol	Manufacturer / Catalog #	Description	Lamp Description	LLF	# of Type
P3	[Symbol]	U.S. ARCHITECTURAL LIGHTING (U.S.A.L.T.G.-ID-220PSM3)	Pole Mounted, 12'7" Above Grade, Single Luminaire Pole, Type III Reflector, Orient as Shown in Plan.	250 Watt Pulse Start Metal Halide 22,000 Initial Lumens	0.75	2 Tot.
P32	[Symbol]	U.S. ARCHITECTURAL LIGHTING (U.S.A.L.T.G.-ID-220PSM4)	Pole Mounted, 12'7" Above Grade, Twin Luminaires @ 180°, Type III Reflector, Orient as Shown in Plan.	250 Watt Pulse Start Metal Halide 22,000 Initial Lumens	0.75	2 Tot.
EX	[Symbol]	U.S. ARCHITECTURAL LIGHTING (U.S.A.L.T.G.-ID-220PSM4)	Pole Mounted, 15'7" Above Grade, Single Luminaire Pole, Type III Reflector, Orient as Shown in Plan.	250 Watt Pulse Start Metal Halide 22,000 Initial Lumens	0.75	4 Tot.



U.S. ARCHITECTURAL LIGHTING  
 SUN VALLEY, Applications Dept  
 800 West Av Palmdale, CA  
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**U.S. ARCHITECTURAL LIGHTING**

Drawing: Point-By-Point Illuminance Calculation (At Grade)

Job: **COOK MEMORIAL LIBRARY**  
 Agency: Pilipuf-Grist & Associates, Inc.

LCP 4/2/15  
 1" = 20'

**L1**