

VILLAGE OF VERNON HILLS

ORDINANCE 2016-022

AN ORDINANCE GRANTING APPROVAL FOR A SPECIAL USE PERMIT WITH VARIATIONS AND CERTAIN OTHER APPROVALS TO ALLOW THE OPERATION OF AN AUTOMOBILE SERVICE STATION AT 335 NORTH MILWAUKEE AVENUE IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

THE 7th DAY OF JUNE 2016

Published in pamphlet form by the Authority of the President and Board of Trustees of the Village of Vernon Hills, Lake County, Illinois, this 8th Day of June 2016

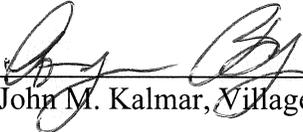
STATE OF ILLINOIS)
)
COUNTY OF LAKE)

CERTIFICATE

I, JOHN M. KALMAR, CERTIFY THAT I AM THE DULY APPOINTED AND ACTING VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS. I FURTHER CERTIFY THAT ON JUNE 7, 2016, THE CORPORATE AUTHORITIES OF SUCH MUNICIPALITY PASSED AND APPROVED ORDINANCE 2016-022, AN ORDINANCE GRANTING APPROVAL FOR A SPECIAL USE PERMIT WITH VARIATIONS AND CERTAIN OTHER APPROVALS TO ALLOW THE OPERATION OF AN AUTOMOBILE SERVICE STATION AT 335 NORTH MILWAUKEE AVENUE IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

THE PAMPHLET FOR ORDINANCE NO. 2016-022, INCLUDING THE ORDINANCE AND A COVER SHEET THEREOF, WAS PREPARED, AND A COPY OF SUCH ORDINANCE WAS POSTED IN THE VILLAGE HALL, COMMENCING JUNE 8, 2016 AND CONTINUING FOR AT LEAST TEN DAYS THEREAFTER. COPIES OF SUCH ORDINANCE WERE ALSO AVAILABLE FOR PUBLIC INSPECTION UPON REQUEST IN THE OFFICE OF THE VILLAGE CLERK.

DATED IN VERNON HILLS, ILLINOIS, THIS 8th DAY OF JUNE 2016



John M. Kalmar, Village Clerk

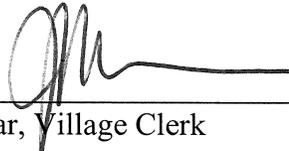
SEAL



AFFIDAVIT OF SERVICE

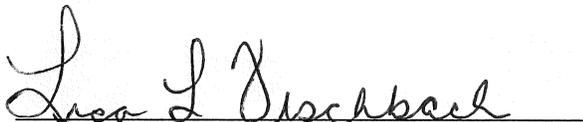
STATE OF ILLINOIS)
)
COUNTY OF LAKE)

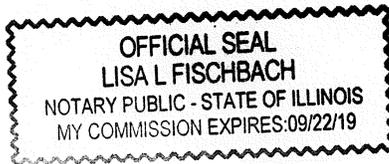
I, JOHN M. KALMAR, BEING FIRST DULY APPOINTED, DEPOSES AND SAYS ON OATH THAT AS VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, HE DID CAUSE THE FOREGOING CERTIFICATE FOR ORDINANCE 2016-022, AN ORDINANCE GRANTING APPROVAL FOR A SPECIAL USE PERMIT WITH VARIATIONS AND CERTAIN OTHER APPROVALS TO ALLOW THE OPERATION OF AN AUTOMOBILE SERVICE STATION AT 335 NORTH MILWAUKEE AVENUE IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY TO BE POSTED IN THE VILLAGE HALL AS REQUIRED BY LAW FROM JUNE 8, 2016 TO JUNE 18 16, 2016



John M. Kalmar, Village Clerk

SUBSCRIBED AND SWORN TO BEFORE
THIS 8th DAY OF JUNE 2016



Notary Public

ORDINANCE NO. 2016-022

AN ORDINANCE GRANTING APPROVAL FOR A SPECIAL USE PERMIT WITH VARIATIONS AND CERTAIN OTHER APPROVALS TO ALLOW THE OPERATION OF AN AUTOMOBILE SERVICE STATION AT 335 NORTH MILWAUKEE AVENUE IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

WHEREAS, Core State Engineering, representing the owners of a property located at 335 North Milwaukee Avenue (Sam's Club) and legally described in Exhibit A, has petitioned the Village of Vernon Hills for the following:

1. Approval of a Special Use Permit to allow for the operation of an automobile service station in the B-1 General Business District with variations.
2. Approval of Final Site, Architectural and Landscaping Plans.
3. Approval of the following Variations:
 - a. To allow canopy signs on elevations without frontage. This includes 1 sign each on the north, south and east elevations.
 - b. To allow the canopy signs on the north, south and east elevations to be 19.25 square feet rather than the maximum permitted size of 4 square feet.
 - c. To allow the canopy sign on the west elevation to be 19.25 square feet rather than the maximum permitted size of 8 square feet.
 - d. To allow the logo to be wider than the width of any 2 letters (4 signs).

WHEREAS, the requested approvals shall be in general compliance with the following:

- Site Improvement Plans prepared by Core States Engineering, Inc with a revision date of July 24, 2015 and consisting of 1 page.
- Engineering Improvement Plans prepared by Core States Engineering, Inc with a revision date of July 24, 2015 and consisting of 13 pages.
- Landscape Plan prepared by Core States Engineering, Inc with a revision date of July 24, 2015 and consisting of 2 pages.
- Building Elevations, floor plan and signage plans prepared by Sam's Club with a date of April 25, 2015 and consisting of 2 pages.

Said Plans are attached hereto as Exhibit B; and

WHEREAS, the requested approvals will allow for construction of a gas station for Sam's Club members; and

WHEREAS, upon due notice and after a public hearing held on April 27, 2016 by the Planning and Zoning Commission of the Village of Vernon Hills, and pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, said Planning and Zoning Commission has filed its report concerning said petition as listed above; and

WHEREAS, based upon the evidence adduced at said hearings and in its application, the petitioner has entered into the record evidence and findings of fact that address the standards in Section 18.3 of the Zoning Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, COUNTY OF LAKE AND STATE OF ILLINOIS:

SECTION I. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, the Special Use Permit to allow for the operation of an automobile service station in the B-1 General Business District with certain variations related to signage as listed in Exhibit C, is hereby granted. Said parcel is legally described in Exhibit A.

SECTION II. Pursuant to the Vernon Hills Zoning Ordinance of 1982, approvals of the preliminary and final site, signage, and landscaping plans for the entire site as setforth in Exhibit B are hereby granted.

SECTION III. Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final approvals of the architectural elevations as setforth in Exhibit B are hereby granted.

SECTION IV. Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final site improvement plans as setforth in Exhibit B are hereby approved.

SECTION V. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, and the recommendations of the Planning and Zoning Commission, the Terms and Conditions of Approval as set forth in Exhibit C are hereby approved and are made a part of all of the approvals as listed in the Sections above.

SECTION VI. SEVERABILITY. In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

SECTION VII. REPEAL AND SAVINGS CLAUSE. All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this ordinance.

SECTION VIII. SUCCESSORS AND ASSIGNS. All of the provisions of this Ordinance and the attachments hereto are binding on all successors and assigns of the petitioner and property owner.

SECTION IX. EFFECTIVE DATE. This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

SECTION X. ORDINANCE NUMBER. This ordinance shall be known as Ordinance Number 2016-022.

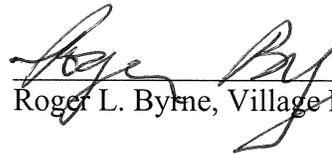
Adopted by roll call vote as follows:

AYES: 4 – Koch, Grieb, Williams, Marquardt

NAYS: 1 - Hebda

PRESENT: 1 - Schultz

ABSENT AND NOT VOTING: 0 - None



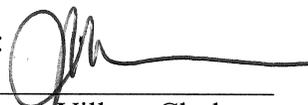
Roger L. Byrne, Village President

PASSED: 06/07/2016

APPROVED: 06/07/2016

PUBLISHED IN PAMPHLET FORM: 06/08/2016

ATTEST:



John Kalmar, Village Clerk

Exhibit A
Legal Description

LOT 1, SAM'S CLUB ADDITION TO THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS, ACCORDING TO THE RECORDED PLAT THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 1; THENCE S89°37'34"W A DISTANCE OF 102.58 FEET; THENCE N30°53'08"W A DISTANCE OF 39.39 FEET; THENCE S89°37'34"W A DISTANCE OF 713.37 FEET; THENCE N13°47'27"W A DISTANCE OF 400.20 FEET; THENCE NORTHWESTERLY ON A CURVE TO THE LEFT, TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 215.00 FEET AND AN ARC LENGTH OF 131.58 FEET; THENCE NORTHWESTERLY ON A CURVE TO THE RIGHT, TANGENT TO THE LAST DESCRIBED CURVE, HAVING A RADIUS OF 85.00 FEET AND AN ARC LENGTH OF 37.51 FEET (36.01 FEET MEASURED); THENCE N89°37'34"E A DISTANCE OF 527.88 FEET (527.69 FEET MEASURED); THENCE S00°22'26"E A DISTANCE OF 120.00 FEET; THENCE N89°37'34"E A DISTANCE OF 487.32 FEET; THENCE S00°34'51"E A DISTANCE OF 443.10 FEET TO THE POINT OF BEGINNING. CONTAINS 423,272 SQUARE FEET OR 9.72 ACRES, MORE OR LESS. SUBJECT TO EASEMENTS, RESTRICTIONS AND RESERVATIONS NOW OF RECORD.

**Exhibit B
Plans**

General Compliance with the following plans:

- Site Improvement Plans prepared by Core States Engineering, Inc with a revision date of July 24, 2015 and consisting of 1 page.
- Engineering Improvement Plans prepared by Core States Engineering, Inc with a revision date of July 24, 2015 and consisting of 13 pages.
- Landscape Plan prepared by Core States Engineering, Inc with a revision date of July 24, 2015 and consisting of 2 pages.
- Building Elevations, floor plan and signage plans prepared by Sam's Club with a date of April 25, 2015 and consisting of 2 pages.

Exhibit C
Terms and Conditions of Approval

Conditions of Approval for the entire Site:

1. Final approval of plans by the Village Engineer and Landscape Architect prior to issuance of a building permit.
2. No indoor retail or outdoor sales are permitted at the location of the building kiosk shall be permitted without prior approval by the Village Board of Trustees.
3. Parking lot islands, median entrance magazines and adjacent parkways, grass areas of the magazine shall be irrigated.
4. Provide lighting for the fueling station consistent with the surrounding shopping center that are direct horizontal cut-offs recessed into the canopies.
5. Compliance with all ordinance and standards of the Village except as otherwise noted.
6. Eliminate the northbound one-way access on the southeastern portion of the fueling station and create a full north/southbound access by adjusting a landscape median to the east.
7. Incorporate a blue accent band around the fueling station canopy and kiosk consistent in color to the blue found on the Sam's Club building.

Variations - The following variations were recommended for approval

1. To allow canopy signs on elevations without frontage. This includes 1 sign each on the north, south and east elevations.
2. To allow the canopy signs on the north, south and east elevations to be 19.25 square feet rather than the maximum permitted size of 4 square feet.
3. To allow the canopy sign on the west elevation to be 19.25 square feet rather than the maximum permitted size of 8 square feet.
4. To allow the logo to be wider than the width of any 2 letters (4 signs).

STATE OF ILLINOIS)
)
COUNTY OF LAKE)

CERTIFICATE

I, JOHN M. KALMAR, CERTIFY THAT I AM THE DULY APPOINTED AND ACTING VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS. I FURTHER CERTIFY THAT ON JUNE 7, 2016, THE CORPORATE AUTHORITIES OF SUCH MUNICIPALITY PASSED AND APPROVED ORDINANCE 2016-022, AN ORDINANCE GRANTING APPROVAL FOR A SPECIAL USE PERMIT WITH VARIATIONS AND CERTAIN OTHER APPROVALS TO ALLOW THE OPERATION OF AN AUTOMOBILE SERVICE STATION AT 335 NORTH MILWAUKEE AVENUE IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

THE PAMPHLET FOR ORDINANCE NO. 2016-022, INCLUDING THE ORDINANCE AND A COVER SHEET THEREOF, WAS PREPARED, AND A COPY OF SUCH ORDINANCE WAS POSTED IN THE VILLAGE HALL, COMMENCING JUNE 8, 2016 AND CONTINUING FOR AT LEAST TEN DAYS THEREAFTER. COPIES OF SUCH ORDINANCE WERE ALSO AVAILABLE FOR PUBLIC INSPECTION UPON REQUEST IN THE OFFICE OF THE VILLAGE CLERK.

DATED IN VERNON HILLS, ILLINOIS, THIS 8th DAY OF JUNE 2016

John M. Kalmar, Village Clerk

SEAL

ORDINANCE 2016-022, Exhibit B-1
 Site Improvement Plans prepared by Core States
 Engineering, Inc with a revision date of July 24, 2015 and
 consisting of 1 page

PROPERTY ADDRESS:
 335 N. MILWAUKEE AVENUE, VERNON HILLS, ILLINOIS

PREPARED FOR:
 SRS&K CONSULTING,
 15440 S. SUMMERTREE
 OLATHE, KANSAS 666

BY:

 Richard D. Fiene LIS
 Professional Surveyor
 1808 West 100th Street
 Olathe, Kansas 66216
 Phone: 913-788-0488 Fax: 913-287-0061
 Email: rd@chiefsurveying.com

S:\SAMS CLUB\SAH-2694 (6228) Vernon Hills, IL\20160722\15440\15440VMAP.dwg

ENCROACHMENT NOTE:
 1. NORTH SIDE OF THE SAM'S BUILDING ENCOACHES THE ZONED SETBACK LINE BY 4.5 FEET.
 2. THE SOUTHEAST CORNER OF THE SAM'S BUILDING ENCOACHES THE ZONED SETBACK LINE BY 11.2 FEET.

VICINITY MAP:
 NOT TO SCALE

LAND AREA:
 423,272 SQUARE FEET OR 9.72 ACRES, MORE OR LESS.

REFERENCE PLAT:
 PROPOSED GAS LAYOUT PLAN, JOB NO. SAM-2694, DATED APRIL 6, 2005

BENCHMARKS:
 BM-1: FINISHED FLOOR OF THE EXISTING SAM'S BUILDING ON THE WEST SIDE OF THE FRONT ENTRANCE. ELEVATION=654.00
 TBM-1: CHISELED "H" SET ON TOP OF CURB OF ISLAND APPROXIMATELY 57 FEET WEST AND 40 FEET NORTH OF THE NORTHWEST CORNER OF THE SAM'S BUILDING. ELEVATION=653.71
 TBM-2: PK NAIL SET (CONTROL POINT #1) APPROXIMATELY 269 FEET WEST AND 111 FEET SOUTH OF THE SOUTHWEST CORNER OF THE SAM'S BUILDING. ELEVATION=658.08

NOTES:
 1. THERE ARE 502 STRIPED PARKING SPACES ON THE SUBJECT PROPERTY AT THE TIME OF THIS SURVEY (NOTE: SOUTH SIDE OF THE SUBJECT PROPERTY IS CURRENTLY UNDER CONSTRUCTION WHERE DESIGNATED PARKING SPACES WOULD EXIST).
 2. THE SUBJECT PROPERTY IS LOCATED IN AN AREA THAT IS LABELED ZONE "X" (AREAS LOCATED OUTSIDE OF THE 500-YEAR FLOOD PLAIN) AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 17097C0252 G, WITH A REVISED MAP DATE OF SEPTEMBER 7, 2000.
 3. ACCESS TO PROPERTY FROM MILWAUKEE AVENUE (PUBLIC RIGHT-OF-WAY) VIA MARKETPLACE SHOPPING CENTER ACCESS ROAD WEST OF AND ADJACENT TO THE SUBJECT PROPERTY.
 4. PER THE CITY OF VERNON HILLS, ILLINOIS, THE SUBJECT PROPERTY IS ZONED "B1" - GENERAL BUSINESS DISTRICT.
 5. THE SETBACKS FOR THE SUBJECT PROPERTY ARE AS FOLLOWS:
 FRONT: 60 FEET (ABUTTING HIGHWAY OR MAJOR STREET); 40 FEET (COLLECTOR STREET) 30 FEET (LOCAL STREET)
 SIDE: 35 FEET
 REAR: 40 FEET
 6. THERE WERE NO SEPTIC SYSTEMS OBSERVED ON THE SUBJECT PROPERTY AT THE TIME OF SURVEY.
 7. THERE WERE NO PRESSURE WELLS OBSERVED ON THE SUBJECT PROPERTY AT THE TIME OF SURVEY.

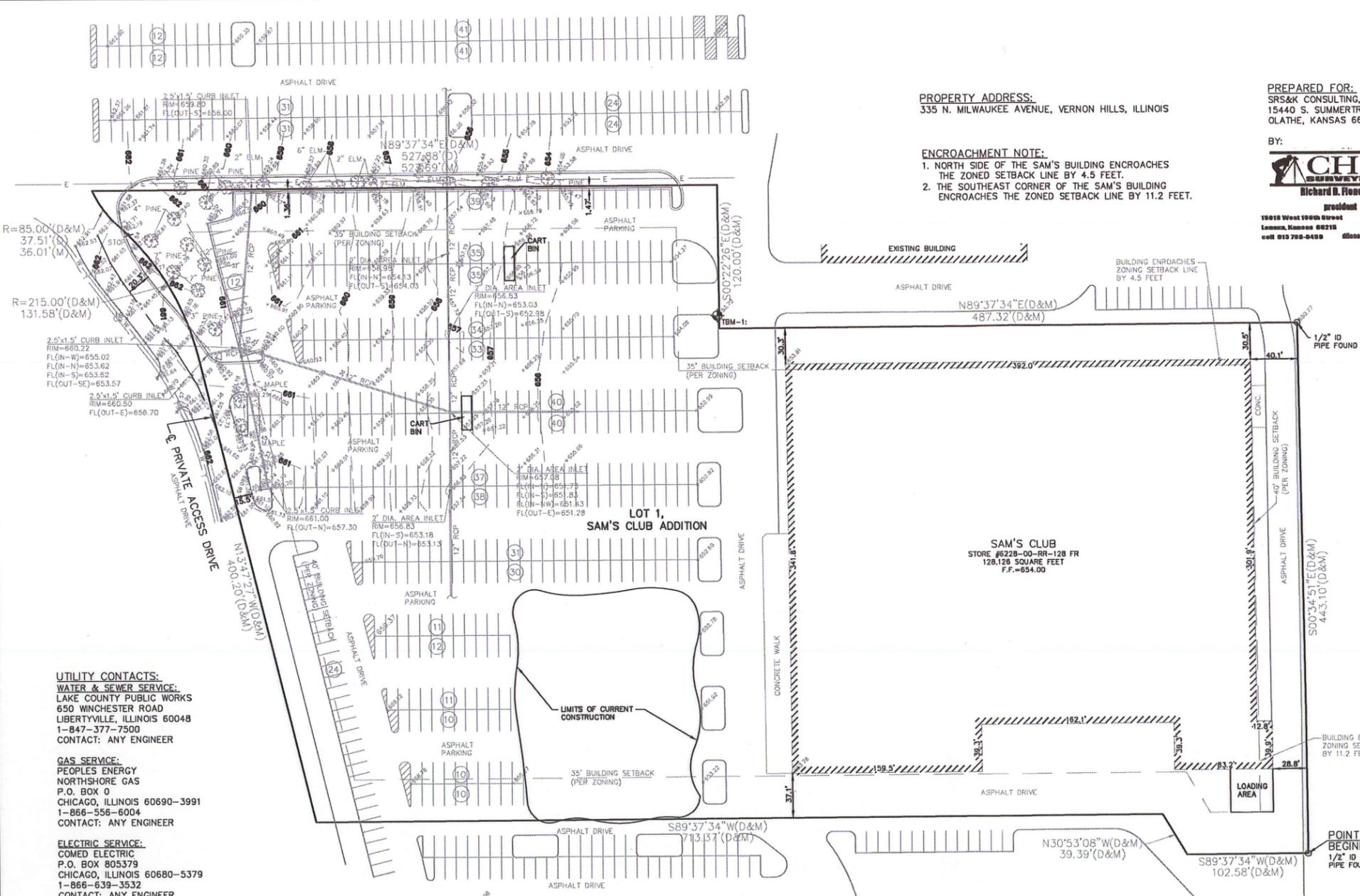
LEGAL DESCRIPTION:
 LOT 1, SAM'S CLUB ADDITION TO THE CITY OF VERNON HILLS, LAKE COUNTY, ILLINOIS, ACCORDING TO THE RECORDED PLAT THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 1; THENCE S89°37'34"W A DISTANCE OF 102.58 FEET; THENCE N30°53'08"W A DISTANCE OF 39.39 FEET; THENCE S89°37'34"W A DISTANCE OF 713.37 FEET; THENCE N13°47'27"W A DISTANCE OF 400.20 FEET; THENCE NORTHWESTERLY ON A CURVE TO THE LEFT, TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 215.00 FEET AND AN ARC LENGTH OF 131.58 FEET; THENCE NORTHWESTERLY ON A CURVE TO THE RIGHT, TANGENT TO THE LAST DESCRIBED CURVE, HAVING A RADIUS OF 85.00 FEET AND AN ARC LENGTH OF 37.51 FEET (36.01 FEET MEASURED); THENCE N89°37'34"E A DISTANCE OF 527.88 FEET (527.69 FEET MEASURED); THENCE S00°22'26"E A DISTANCE OF 120.00 FEET; THENCE N89°37'34"E A DISTANCE OF 487.32 FEET; THENCE S00°34'51"E A DISTANCE OF 443.10 FEET TO THE POINT OF BEGINNING. CONTAINS 423,272 SQUARE FEET OR 9.72 ACRES, MORE OR LESS. SUBJECT TO EASEMENTS, RESTRICTIONS AND RESERVATIONS NOW OF RECORD. END OF DESCRIPTION.

SURVEYOR'S CERTIFICATION:
 TO: SRS&K CONSULTING, SP.; CORE STATES, INC. AND SAM'S REAL ESTATE BUSINESS TRUST:

I, RICHARD D. FIENE, A REGISTERED LAND SURVEYOR IN THE STATE OF ILLINOIS, DO HEREBY CERTIFY THAT THE ABOVE SURVEY AND DESCRIPTION ARE IN CONFORMANCE WITH A SURVEY COMPLETED UNDER MY DIRECT SUPERVISION AND WAS EXECUTED IN ACCORDANCE WITH THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS AND TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, ALL INFORMATION THEREON IS TRUE AND ACCURATELY SHOWN.
 DATE OF SURVEY: SEPTEMBER 26, 2005
 ERROR OF CLOSURE 1:68,191

RICHARD D. FIENE
 ILLINOIS LS-35-2160



UTILITY CONTACTS:
WATER & SEWER SERVICE:
 LAKE COUNTY PUBLIC WORKS
 650 WINCHESTER ROAD
 LIBERTYVILLE, ILLINOIS 60048
 1-847-377-7500
 CONTACT: ANY ENGINEER

GAS SERVICE:
 PEOPLES ENERGY
 NORTHSORE GAS
 P.O. BOX 0
 CHICAGO, ILLINOIS 60690-3991
 1-866-556-6004
 CONTACT: ANY ENGINEER

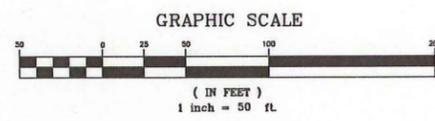
ELECTRIC SERVICE:
 COMED ELECTRIC
 P.O. BOX 805379
 CHICAGO, ILLINOIS 60680-5379
 1-866-639-3532
 CONTACT: ANY ENGINEER

TELEPHONE SERVICE:
 AMERATECH
 (ADDRESS NOT GIVEN)
 1-800-611-2344
 CONTACT: ANY ENGINEER

UTILITY NOTE:
 "THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES."

CALL J.U.L.I.E.
 JOINT UTILITY LOCATING INFORMATION FOR EXCAVATIONS
BEFORE EXCAVATING
 1-800-892-0123

- LEGEND:**
- MONUMENT FOUND
 - ⊕ BENCHMARK
 - ⊕ STREET/TRAFFIC SIGN
 - T— UNDERGROUND TELEPHONE LINE
 - W— WATER MAIN
 - ⊕ PARKING STALL COUNT
 - ⊕ LIGHT POLE
 - ⊕ WATER VALVE
 - ⊕ FIRE HYDRANT
 - E— UNDERGROUND ELECTRIC LINE
 - 600— EXISTING GRADE CONTOUR
 - * 653.45 EXISTING GRADE SPOT ELEVATION
 - ⊕ 4" MAPLE TREE W/SIZE & TYPE
 - (D) DESCRIBED
 - (M) MEASURED



PROJ. NO.	05-0001
DATE	9-30-05
DESIGNER	HDR
DRAWN BY	HDR
CFN	0001TOPO
SHEET	0
1 OF 1	

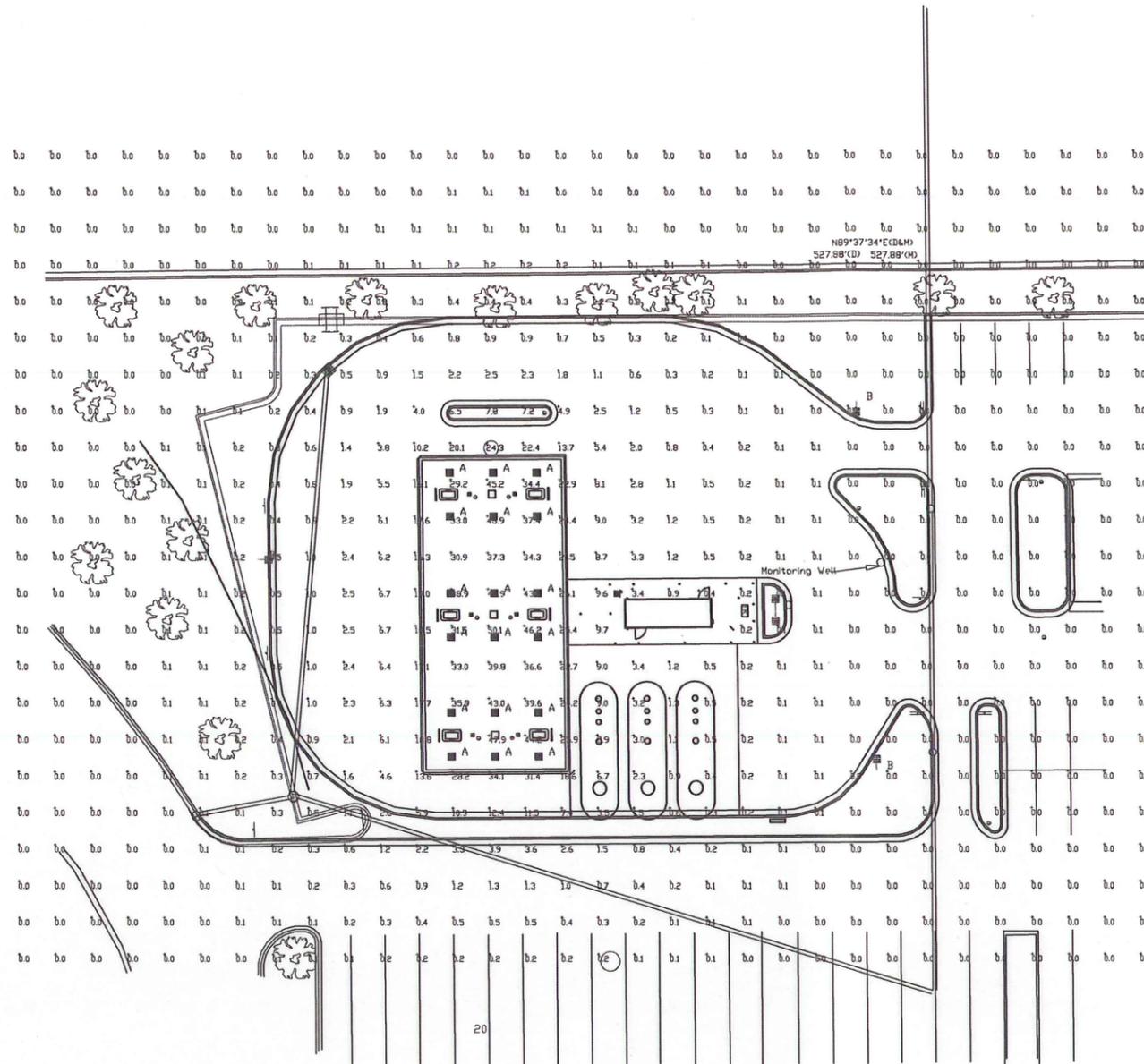
REV	DATE	DESCRIPTION
0	9/30/05	INITIAL ISSUE

DSN	DWN	CHK
-----	-----	-----

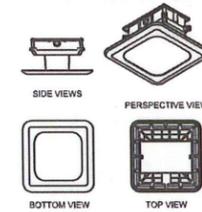
SRS&K CONSULTING, SP.
 15440 S. SUMMERTREE LANE
 OLATHE, KANSAS 66062

SAM'S CLUB #6228
 335 N. MILWAUKEE AVENUE
 VERNON HILLS, ILLINOIS 60061-1561

TOPOGRAPHIC SURVEY



**CRUS-SC-LED
LED CANOPY LIGHT - LEGACY**



Crossover
SOLID-STATE LIGHTING

Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
■	18	A	SINGLE	CRUS-SC-LED-LW-CW-UE MTD @ 15'	1.000	N.A.	10871	87.9
■	3	B	SINGLE	PROPOSED SINGLE FIXTURE	1.000	N.A.	N.A.	N.A.
■	1	C	D180°	PROPOSED D180 FIXTURE	1.000	N.A.	N.A.	N.A.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS AT GRADE	Illuminance	Fc	2.52	50.1	0.0	N.A.	N.A.
CANOPY SUMMARY	Illuminance	Fc	34.01	50.1	13.6	2.50	3.68
PARKING/DRIVE SUMMARY	Illuminance	Fc	2.54	24.3	0.0	N.A.	N.A.

PROPOSED LIGHTS ARE TO MATCH EXISTING LIGHTS IN STYLE, HEIGHT, ETC

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

Total Project Watts
Total Watts = 15822



LIGHTING PROPOSAL		LD-129217-A	
SAM'S FUELING #6228 335 N MILWAUKEE AVE. VERNON HILLS, IL			
DATE: 9/11/15	REV: 2-23-16	SHEET 1 OF 1	
SCALE: 1"=20'		0 20	

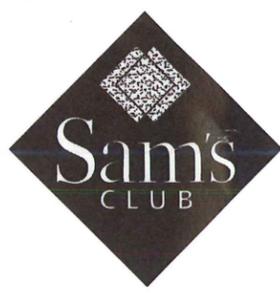
REVISIONS	DATE
1. VILLAGE COMMENTS	9/25/2015
2. VILLAGE COMMENTS	11/24/2015

DESIGN AND DEVELOPMENT CONTACTS:

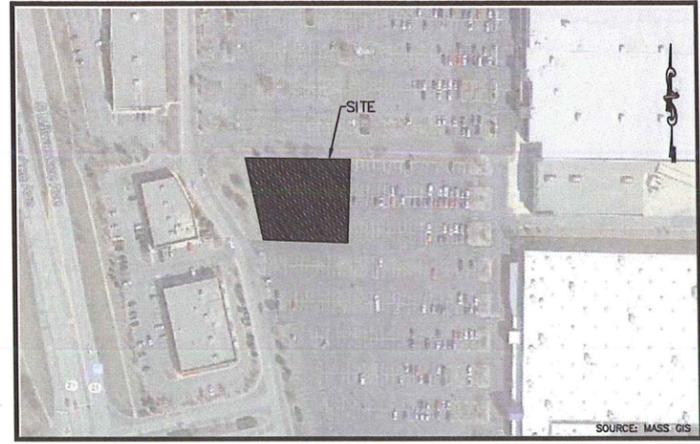
OWNER/APPLICANT: WALMART STORES INC
 PO BOX 8042
 BENTONVILLE, AR 72716
 CONTACT: TERRY ROBERTS
 PHONE: (479) 273-6068

CIVIL ENGINEER: CORE STATES GROUP
 50 CRESTWOOD EXECUTIVE CENTER, SUITE 500
 ST. LOUIS, MO 63128
 CONTACT: PATRICK BENNETT, P.E.
 PHONE (314) 843-4320
 PBENNETT@CORE-ENG.COM

CIVIL SITE CONSTRUCTION PLA



SAM'S CLUB #6228 PROPOSED FUELING STATION 335 N. MILWAUKEE AVENUE VERNON HILLS, LAKE COUNTY, IL 60061



VICINITY MAP
 SCALE: N.T.S.

MUNICIPAL CONTACTS:

PLANNING AND DEVELOPMENT: VILLAGE OF VERNON HILLS
 COMMUNITY DEVELOPMENT DEPARTMENT
 ATTN: JOE CAREY - ASSISTANT VILLAGE MANAGER & DIRECTOR OF
 COMMUNITY DEVELOPMENT
 290 EVERGREEN DRIVE
 VERNON HILLS, IL 60061
 (847) 918-3540

BUILDING PERMIT: VILLAGE OF VERNON HILLS
 BUILDING DEPARTMENT
 ATTN: MICHAEL ATKINSON - BUILDING COMMISSIONER
 290 EVERGREEN DRIVE
 VERNON HILLS, IL 60061
 (847) 367-3700

FIRE DEPARTMENT: COUNTRYSIDE FIRE PROTECTION DISTRICT
 600 N. DEERPATH DRIVE
 VERNON HILLS, IL 60061
 (847) 367-5511

WATER: LAKE COUNTY PUBLIC WORKS DEPARTMENT
 650 W. WINCHESTER ROAD
 LIBERTYVILLE, IL 60048
 (847) 377-7500



SHEET INDEX				
SHEET NUMBER	PAGE NUMBER	DESCRIPTION	PREPARED BY	△
CIVIL PLANS				
1	C-00	COVER SHEET	CORE STATES	●
2	C-01	LEGEND & GENERAL NOTES	CORE STATES	●
3	C-02	OVERALL SITE PLAN	CORE STATES	●
4	C-03	LAYOUT AND MATERIALS	CORE STATES	●
5	C-04	GRADING AND DRAINAGE PLAN	CORE STATES	●
6	C-05	UTILITY PLAN	CORE STATES	●
7	C-06	PHASE I EROSION CONTROL PLAN	CORE STATES	●
8	C-07	PHASE II EROSION CONTROL PLAN	CORE STATES	●
9	C-08	CONSTRUCTION DETAILS	CORE STATES	●
10	C-09	CONSTRUCTION DETAILS	CORE STATES	●
11	C-10	CONSTRUCTION DETAILS	CORE STATES	●
12	C-11	CONSTRUCTION DETAILS	CORE STATES	●
13	L-01	LANDSCAPE PLAN FUELING STATION	SDG	●
14	L-02	LANDSCAPE PLAN PARKING LOT	SDG	●
15	1 OF 1	EXISTING CONDITIONS PLAN	SRS & K	●
16	1 OF 1	PHOTOMETRIC PLAN	LSI	●

UTILITY RESPONSIBILITY MATRIX FOR THIS PROJECT

UTILITY	GOVERNING AGENCIES CONTACT	CONTRACTOR RESPONSIBILITY	OTHERS RESPONSIBILITY
ELECTRIC	COMED (800) 334-7861	-COORDINATE CONSTRUCTION ACTIVITIES WITH ELECTRIC COMPANY TO ENSURE INSTALLATION OF UNDERGROUND LINES ARE COMPLETED PRIOR TO ASPHALT OR CURB PLACEMENT. -PROVIDE AND INSTALL CONDUITS WITH WIRING, INCLUDING TRENCHING AND BACKFILLING, FOR THE UNDERGROUND PORTIONS OF THE PRIMARY FROM THE ATTENDANT'S BOOTH AND SWEEP UP TO THE EXISTING UTILITY POLE. -COORDINATE WITH ELECTRIC COMPANY FOR DISCONNECT AND RECONNECTION TO EXISTING SAM'S CLUB. -SUBMIT MANUFACTURER'S SPECIFICATIONS FOR THE PROPOSED CABLES AND EQUIPMENT TO ELECTRIC COMPANY FOR REVIEW AND WRITTEN APPROVAL PRIOR TO INSTALLATION. COORDINATE WITH VILLAGE OF VERNON HILLS BUILDING DEPARTMENT AND ELECTRIC COMPANY FOR ANY SPECIAL REQUIREMENTS OR INSPECTIONS.	
SANITARY SEWER	LAKE COUNTY DEPARTMENT PUBLIC WORKS 500 W. WINCHESTER ROAD, UNIT 101 LIBERTYVILLE, IL 60048 (847) 377-7500	-PROVIDE AND INSTALL SANITARY SEWER LINES PER THE PLANS AND SPECIFICATIONS. -COORDINATE REQUIRED INSPECTION SERVICES WITH LAKE COUNTY DEPARTMENT OF PUBLIC WORKS AND VILLAGE OF VERNON HILLS. -SEE UTILITY PLAN FOR REQUIREMENTS.	
WATER	LAKE COUNTY DEPARTMENT PUBLIC WORKS 500 W. WINCHESTER ROAD, UNIT 101 LIBERTYVILLE, IL 60048 (847) 377-7500	-PROVIDE AND INSTALL ALL WATER SERVICE AND ASSOCIATED APPURTENANCES PER THE PLANS AND SPECIFICATIONS. -PROVIDE AND INSTALL LANDSCAPE SPRINKLER SYSTEM SERVICE AND ASSOCIATED APPURTENANCES PER THE PLANS AND SPECIFICATIONS. -ALL PORTIONS OF THE FIRE PROTECTION WATER SYSTEM SHALL BE INSTALLED BY A LICENSED FIRE SPRINKLER CONTRACTOR. -ALL PORTIONS OF OTHER NON FIRE PROTECTION RELATED LINES MAY BE INSTALLED BY THE PLUMBING CONTRACTOR. -COORDINATE REQUIRED INSPECTION SERVICES WITH ENGINEER OF RECORD AND LAKE COUNTY DEPARTMENT OF PUBLIC WORKS AND THE VILLAGE OF VERNON HILLS. -SEE UTILITY PLAN FOR REQUIREMENTS.	
STORM SEWER	VILLAGE OF VERNON HILLS DEPARTMENT PUBLIC WORKS 490 GREENLEAF DRIVE VERNON HILLS, IL 60061 (847) 367-3728	-PROVIDE AND INSTALL ALL STORM SEWER LINES AND ASSOCIATED APPURTENANCES PER THE PLANS AND SPECIFICATION. -REFER TO GRADING PLAN FOR INFORMATION ON ALLOWABLE STORM SEWER MATERIALS. -COORDINATE REQUIRED INSPECTION SERVICES WITH VILLAGE OF VERNON HILLS INSPECTION SERVICES DIVISION PRIOR TO CONSTRUCTION FOR ANY SPECIAL REQUIREMENTS AND/OR INSPECTIONS.	
TELEPHONE	AT&T CABLE, PHONE, AND INTERNET (800) 244-4444	-PROVIDE (2) 2" CONDUIT FROM KIOSK TO WHOLESALE CLUB STORE. -CONNECT TELEPHONE SERVICE INSIDE THE KIOSK.	

THIS MATRIX HAS BEEN PROVIDED FOR INFORMATIONAL PURPOSES. THE CONTRACTOR SHALL PROVIDE ANY AND ALL APPURTENANCES, TRENCHING AND BACKFILL, AND OTHER INCIDENTALS TO MEET OR EXCEED THE SPECIFICATIONS OF THE ITEMS LISTED.

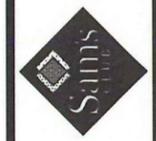
GENERAL NOTES:

- FLOOD CERTIFICATION:**
THE SUBJECT SITE IS LOCATED IN ZONE "X" (AREAS OF MINIMAL FLOODING) AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP PANEL NUMBER 17097C02521I, EFFECTIVE DATE: SEPTEMBER 18, 2013.
- SAFETY NOTICE TO CONTRACTOR:**
IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- NOTICE TO BIDDERS:**
ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED TO THE OWNER'S CONSTRUCTION MANAGER. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.



THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

FUELING STATION AT SAM'S CLUB #6228
 335 N. MILWAUKEE AVE., VERNON HILLS, LAKE COUNTY, IL
 SAM'S REAL ESTATE BUSINESS TRUST
 2001 SE 10TH STREET
 BENTONVILLE, AR 72716



DRAWN	SM
CHECKED	DK
DATE	07/24/2015
SCALE	AS NOTED
JOB No.	SAM-14308
SHEET	COVER SHEET
	C-00
1 OF 14 SHEETS	

Documents prepared by CoreStates, Inc., including this document, are to be used only for the specific project and specific use for which they were intended. Any extension of use to any other project, by owner or by any other party, without the express written consent of CoreStates, Inc., is strictly prohibited and the user assumes all liability for such use.

GENERAL DEMOLITION NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSAL OF ALL EXISTING BUILDINGS... 2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS... 3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES... 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE BUILDINGS... 5. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR... 6. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE... 7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY... 8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES AS APPROVED BY CONSTRUCTION MANAGER... 9. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES... 10. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED... 11. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING AND/OR STORM INLET STRUCTURES, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS... 12. CONTRACTOR MAY LIMIT SANITARY PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS... 13. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE... 14. CONTRACTOR MUST COORDINATE WITH CONSTRUCTION MANAGER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.

GENERAL SITE NOTES

- 1. ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND COMPLY WITH ALL CITY, COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS... 2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN... 3. ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' REQUIREMENTS, THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MANUFACTURERS' WARRANTIES WILL BE HONORED... 4. ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION... 5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD... 6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE SAFETY OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING BUT NOT LIMITED TO SUBCONTRACTORS, PERSONNEL, VENDORS, CUSTOMERS, STAFF, VISITORS, AND INSPECTION PERSONNEL... 7. THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE TOILETS AND TEMPORARY POWER FOR UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR THE DURATION OF THE PROJECT... 8. THE GENERAL CONTRACTOR SHALL COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH THE CONSTRUCTION MANAGER... 9. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, STORING AND PROTECTING OF MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER... 10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION... 11. EXISTING PAVING THAT WILL REMAIN AFTER CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE AREAS OF EXISTING PAVING THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE SAWCUT, THEN REMOVED AND REPLACED... 12. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES, SPECIFIC TO THIS PROJECT PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION... 13. SAWCUT AND REMOVE PORTIONS OF EXISTING PAVING ONLY AS REQUIRED TO INSTALL NEW UTILITIES OR TO CONSTRUCT PROPOSED FACILITIES PER THIS PLAN... 14. ALL DIMENSIONS AND RADII ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED... 15. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS... 16. CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT... 17. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME REQUIREMENTS AS EXISTING... 18. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM TO REMAIN DURING CONSTRUCTION... 19. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF SLOPE PAVING, SIDEWALKS, PRECAST BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS... 20. ALL DISTURBED AREAS ARE TO RECEIVE FOUR (4) INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED... 21. EXISTING STRUCTURES WITH CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY... 22. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED... 23. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.

24. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

GENERAL GRADING NOTES

- 1. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY... 2. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED... 3. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT... 4. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT... 5. ALL STORM FENCE MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS... 6. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.C.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES... 7. CONTRACTOR SHALL ADJUST AND/OR OUT EXISTING PAVEMENT TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE... 8. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS... 9. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS... 10. ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS SHALL MEET THE STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION... 11. STORM PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS... 12. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL... 13. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME... 14. CONTRACTOR TO MAINTAIN 15% MAXIMUM CROSS-SLOPE ON ALL SIDEWALKS AND CROSSWALKS... 15. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES WITH 1% MINIMUM SLOPE IN FERROUS AREAS AND 1.5% MINIMUM SLOPE IN PAVED AREAS UNLESS OTHERWISE NOTED... 16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE CONSTRUCTION MANAGER... 17. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER... 18. ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT... 19. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES... 20. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE... 21. SANITARY SEWER PIPE SHALL BE AS FOLLOWS... 22. WATER LINES SHALL BE AS FOLLOWS... 23. MINIMUM TRENCH WIDTH SHALL BE 2 FEET... 24. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING... 25. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING... 26. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS TO SHOW TO OWNERS... 27. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES... 28. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL... 29. PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION... 30. STORM PIPE SHALL BE HOPE SMOOTH INTERIOR CORRUGATED EXTERIOR PIPE UNLESS OTHERWISE NOTED... 31. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUDED TO ASSURE CONNECTION AT STRUCTURE IS WATER-TIGHT.

GENERAL UTILITY NOTES

- 1. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS... 2. ALL ELECTRICAL, TELEPHONE AND GAS EXISTING INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS... 3. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY... 4. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE CONSTRUCTION MANAGER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN... 5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE CONSTRUCTION MANAGER... 6. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS... 7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER... 8. ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT... 9. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES... 10. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE... 11. SANITARY SEWER PIPE SHALL BE AS FOLLOWS... 12. WATER LINES SHALL BE AS FOLLOWS... 13. MINIMUM TRENCH WIDTH SHALL BE 2 FEET... 14. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING... 15. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING... 16. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND PAVED BEFORE BACKFILLING... 17. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I... 18. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES... 19. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES... 20. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS TO SHOW TO OWNERS... 21. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES... 22. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL... 23. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT... 24. PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION... 25. STORM PIPE SHALL BE HOPE SMOOTH INTERIOR CORRUGATED EXTERIOR PIPE UNLESS OTHERWISE NOTED... 26. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUDED TO ASSURE CONNECTION AT STRUCTURE IS WATER-TIGHT.

27. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD... 28. UTILITIES THAT ARE BEING REMOVED ARE TO BE SO IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS... 29. CONTRACTOR IS REQUIRED TO OBTAIN ANY REQUIRED LOCAL AND/OR PRIVATE UTILITY PERMITS NEEDED FOR UTILITY CONNECTIONS.

GENERAL SWPPP NOTES

A. PROJECT OFFICE W/ SWPPP POSTINGS: THE FOLLOWING ITEMS MUST BE POSTED TOGETHER IN A SINGLE, ORGANIZED LOCATION ON A WALL INSIDE THE PROJECT OFFICE... B. PERMITTED PROJECT AREA: FOR PURPOSES OF THIS SWPPP AND ASSOCIATED STORMWATER PERMIT, PERMITTED PROJECT AREA IS DEFINED AS ANY AND ALL AREAS WITHIN THE PROJECT LIMITS OF DISTURBANCE... C. SPECIAL PROJECT AREA: NONE... D.1 NON-STORMWATER DISCHARGES: THE GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES PROHIBITS MOST NON-STORMWATER DISCHARGES DURING THE CONSTRUCTION PHASE...

ENVIRONMENTAL PROTECTION AGENCY (217-763-6691). THE STATE REPORTABLE QUANTITY FOR PETROLEUM PRODUCTS IS: ANY DISCHARGE THAT CAUSES OR CONTRIBUTES TO A VIOLATION OF ANY APPLICABLE WATER QUALITY STANDARD. THE REPORTABLE QUANTITY FOR HAZARDOUS MATERIALS CAN BE FOUND IN 40 CFR 302 AND THE GENERAL PERMIT OR WWW.EPA.STATE.AR.US. TO MINIMIZE THE POTENTIAL FOR A SPILL OF PETROLEUM PRODUCT OR HAZARDOUS MATERIALS TO COME IN CONTACT WITH STORMWATER, THE FOLLOWING STEPS SHALL BE IMPLEMENTED:

- 1) ALL MATERIALS WITH HAZARDOUS PROPERTIES, SUCH AS PESTICIDES, PETROLEUM PRODUCTS, FERTILIZERS, SOAPS, DETERGENTS, CONSTRUCTION CHEMICALS, ACIDS, BASES, PAINTS, PAINT SOLVENTS, ADDITIVES FOR SOIL STABILIZATION, CONCRETE, CURING COMPOUNDS AND ADDITIVES, ETC., SHALL BE STORED IN A SECURE LOCATION, UNDER COVER AND IN APPROPRIATE, TIGHTLY SEALED CONTAINERS WHEN NOT IN USE... 2) THE MINIMUM PRACTICAL QUANTITY OF ALL SUCH MATERIALS SHALL BE KEPT ON THE JOB SITE AND SCHEDULED FOR DELIVERY AS CLOSE TO TIME OF USE AS PRACTICAL... 3) A SPILL CONTROL AND CONTAINMENT KIT (CONTAINING FOR EXAMPLE, ABSORBENT MATERIAL SUCH AS RITTY LITTER OR SAND/SILT, ACID, BASE, NEUTRALIZING AGENT, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, PLASTIC AND METAL TRASH CONTAINERS, ETC.) SHALL BE PROVIDED AT THE CONSTRUCTION SITE AND ITS LOCATIONS SHALL BE IDENTIFIED WITH LEGIBLE SIGNAGE AND SHOWN ON SITE MAPS... 4) ALL PRODUCTS SHALL BE STORED IN AND USED FROM THE ORIGINAL CONTAINER WITH THE ORIGINAL PRODUCT LABEL... 5) ALL PRODUCTS SHALL BE USED IN STRICT COMPLIANCE WITH INSTRUCTIONS ON THE PRODUCT LABEL... 6) THE DISPOSAL OF EXCESS OR USED PRODUCTS SHALL BE IN STRICT COMPLIANCE WITH INSTRUCTIONS ON THE PRODUCT LABEL AND REGULATIONS.

LEGEND

Table with 3 columns: LEGEND, EXISTING, PROPOSED. Rows include: BENCHMARK, BOLLARD (PIPE), BOLLARD (PIPE GUARD), BUSH/SHRUB, CONCRETE PAVEMENT, CONTOUR - MAJOR, CONTOUR - MINOR, ELECTRIC - GUY WIRE, ELECTRIC - LIGHT, ELECTRIC - METER, ELECTRIC - OVERHEAD LINE, ELECTRIC - POWER POLE, ELECTRIC - TRANSFORMER, ELECTRIC - UNDERGROUND LINE, FENCE - CONSTRUCTION, FENCE - SILT, GAS - GAS LINE, GAS - METER, GAS - VALVE, PARKING STALL NUMBER, SANITARY SEWER - CLEANOUT, SANITARY SEWER - MANHOLE, SANITARY SEWER - SANITARY LINE, SANITARY SEWER - STRUCTURE LABEL, SIGN, SPOT ELEVATION, STORM SEWER - CLEANOUT, STORM SEWER - CURB INLET, STORM SEWER - DOUBLE CURB INLET, STORM SEWER - FLARED END SECTION, STORM SEWER - GRATE INLET, STORM SEWER - DOUBLE GRATE INLET, STORM SEWER - MANHOLE, STORM SEWER - MANHOLE (GRATED), STORM SEWER - STORM LINE, STORM SEWER - STRUCTURE LABEL, TELEPHONE - BOX, TELEPHONE - TELEPHONE LINE, TREE - GENERAL, WATER - FIRE HYDRANT, WATER - METER, WATER - WATER LINE, WATER - VALVE, WATER - ENDCAP.

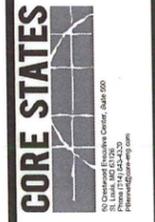
GENERAL EROSION CONTROL NOTES:

- A. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN... B. BEST MANAGEMENT PRACTICES (BMPs) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS... C. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATER, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES... D. CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH SWPPP... E. ALL DENUDABLE AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE, MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY... F. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS... G. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE... H. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES... I. ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULL FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED... J. STORM WATER POLLUTION CONTROL MEASURES INSTALLED DURING CONSTRUCTION, THAT WILL ALSO PROVIDE STORM WATER MANAGEMENT AFTER CONSTRUCTION... K. ALL PERMANENT CONTROLS AND SYSTEMS MUST BE INSTALLED AND FUNCTIONING AS DESIGNED AND FREE OF ACCUMULATED SEDIMENT AND DEBRIS DURING FINAL PROJECT INSPECTION AND APPROVAL.

HAZARDOUS MATERIAL MANAGEMENT & SPILL REPORTING:

ANY HAZARDOUS OR POTENTIALLY HAZARDOUS MATERIAL THAT IS BROUGHT ONTO THE CONSTRUCTION SITE SHALL BE HANDLED PROPERLY TO REDUCE THE POTENTIAL FOR STORMWATER POLLUTION... THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD... ANY SPILLS OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF REPORTABLE QUANTITIES AS DEFINED BY EPA OR THE STATE OR LOCAL AGENCY REGULATIONS, SHALL BE IMMEDIATELY REPORTED TO THE EPA NATIONAL RESPONSE CENTER (1-800-243-8302) AND ILRC/OR

REVISIONS DATE table with 2 columns: REVISIONS, DATE. Row 1: 1. VILLAGE COMMENTS, 9/25/2015. Row 2: 2. VILLAGE COMMENTS, 1/24/2015.



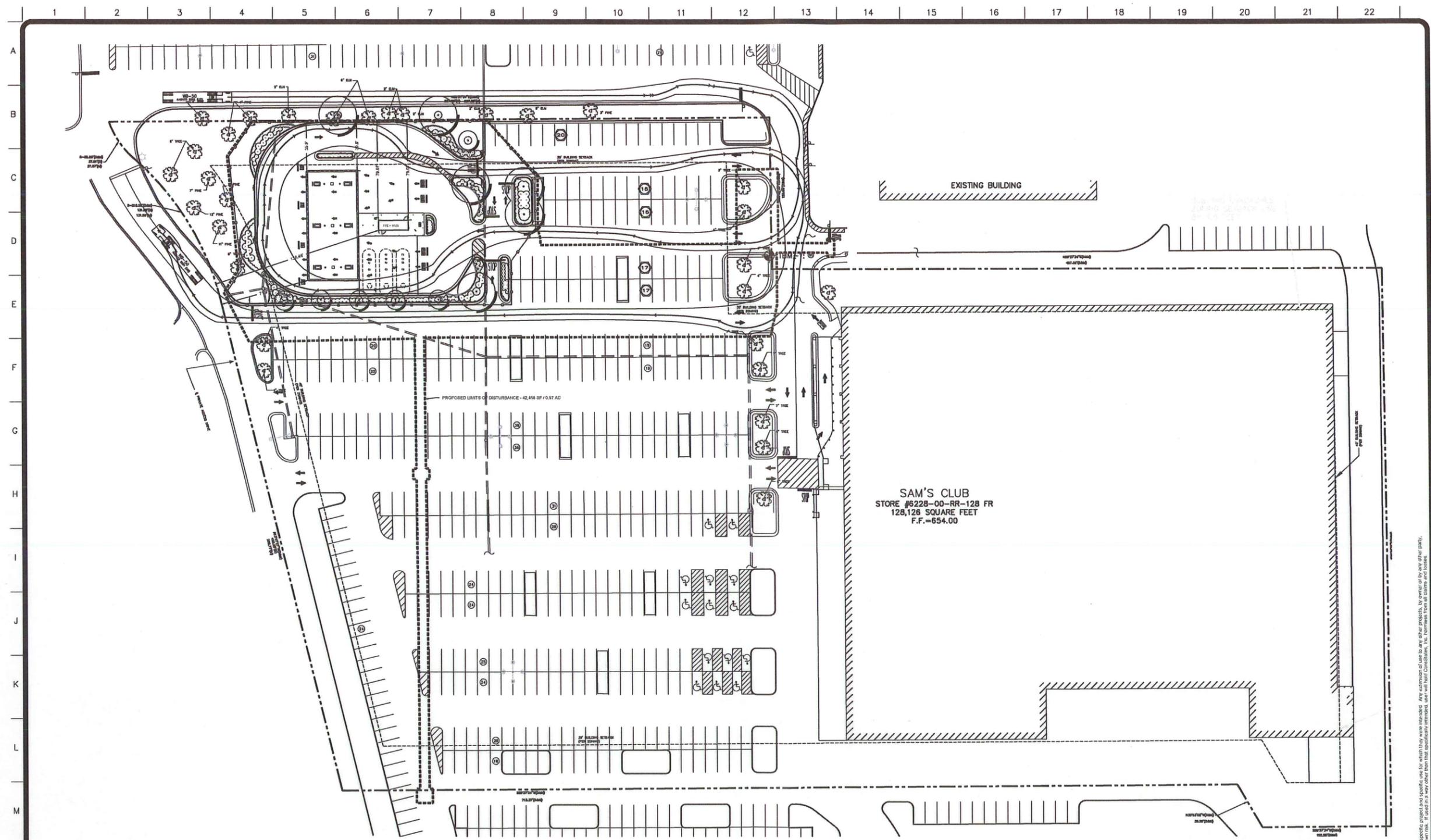
FUELING STATION AT SAM'S CLUB #6228 335 N. MILWAUKEE AVE., VERNON HILLS, LAKE COUNTY, IL SAM'S REAL ESTATE BUSINESS TRUST 2001 SE 10TH STREET BENTONVILLE, AR 72716



Table with 2 columns: DRAWN, CHECKED, DATE, SCALE, AS NOTED, JOB No., SHEET, LEGEND & GENERAL NOTES, SHEETS. Values include: SM, DK, 07/24/2015, AS NOTED, SAM-14308, SHEET, C-01, 2 OF 14 SHEETS.



THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.



REVISIONS	DATE
1. VILLAGE COMMENTS	9/25/2015
2. VILLAGE COMMENTS	11/24/2015

CORE STATES

50 Commercial Center, Suite 200
 81 Lakes, WI 53126
 Phone: 262.491.1100
 Fax: 262.491.1101
 Email: corestates@corestates.com

CORE STATES INC.

PROFESSIONAL ENGINEER
 PATRICK BENNETT
 082-055372
 STATE OF ILLINOIS
 PROFESSIONAL ENGINEER
 LICENSE No. 082-055372

FUELING STATION AT SAM'S CLUB #6228
 335 N. MILWAUKEE AVE., VERNON HILLS, LAKE COUNTY, IL
 SAM'S REAL ESTATE BUSINESS TRUST
 2001 SE 10TH STREET
 BENTONVILLE, AR 72716



DRAWN	SM
CHECKED	DK
DATE	07/24/2015
SCALE	AS NOTED
JOB No.	SAM-14308
SHEET	
OVERALL SITE PLAN	C-02
3 OF 14 SHEETS	

ZONING TABLE			
GENERAL BUSINESS (B1)			
ITEM	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA (SQ. FT.) (LOT)	40,000	423,272	423,272
MAX. LOT COVERAGE BY BUILDING (%) (PROJECT AREA)	25	30.25***	30.31
F.A.R.	1.00	0.3028	0.3031
MIN. DEPTH OF FRONT YARD (FT.)	30	200±	72.3
MIN. LOT WIDTH AT STREET LINE (FT.)	200	400±	400±
MIN. DEPTH OF SIDE YARD (FT.)**	35	30.3	30.3
MIN. DEPTH OF REAR YARD (FT.)**	40	28.8	28.8
MAX. HEIGHT REQUIREMENT (FT.)	35	<35	<35
OPEN SPACE (S.F.)*	NONE	1,252	7,198**

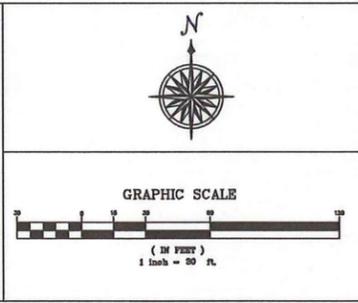
* WITHIN PROJECT LIMITS
 ** INCREASE OF 5,946 SF
 *** PRE-EXISTING NON-CONFORMING CONDITION

PARKING TABLE	
REQUIREMENT	SPACES
REQUIRED (1 PER 250 GSF)	513
PROPOSED WITH FUEL STATION*	571

SAM'S CLUB PARKING RATIO			
	BUILDING SF	SPACES	RATIO
EXISTING	128,128	559	4.38
PROPOSED WITH FUEL STATION*	128,318	571	4.45

OVERALL SHOPPING CENTER PARKING RATIOS			
	BUILDING SF	SPACES	RATIO PER 1,000 SF
EXISTING OVERALL CENTER	647,705	3,081	4.72
PROPOSED OVERALL CENTER WITH FUEL STATION	647,897	2,973	4.50

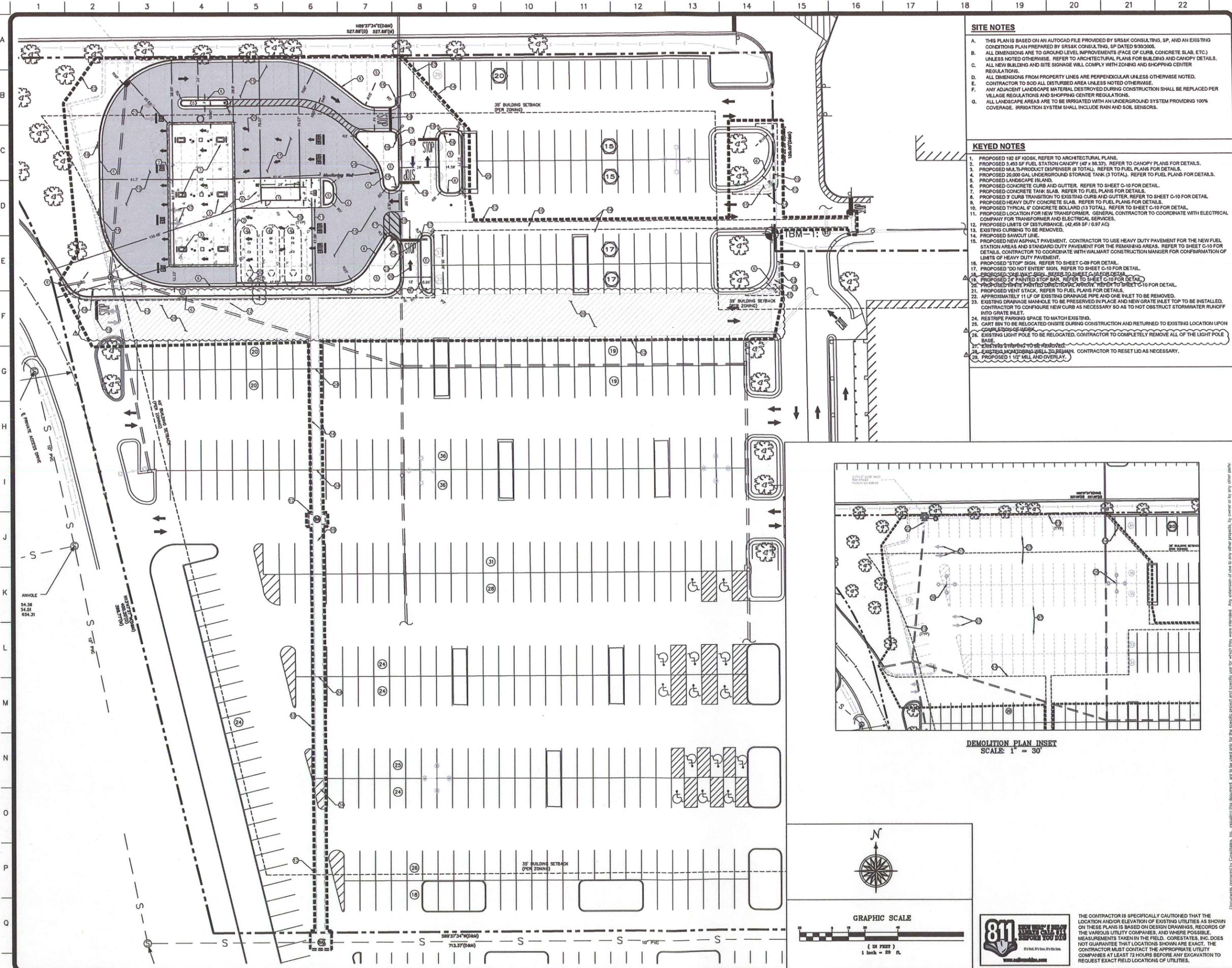
* INCLUDES 100 PARKING SPACES REALLOCATED FROM EXISTING TENANT SPACE NORTH OF THE PROPOSED FUEL STATION AS ALLOWED BY AGREEMENT BETWEEN SAM'S CLUB AND THE SHOPPING CENTER OWNER DATED 09/07/2005.



Documents prepared by CoreStates, Inc. including this document, are to be used only for the specific project and specific use for which they were intended. Any extension of use to any other project, by owner or by any other party, without the expressed written consent of CoreStates, Inc. is deemed unauthorized, and at the user's own risk. If used in a way other than that specifically intended, user will hold CoreStates, Inc. harmless from all claims and losses.



THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

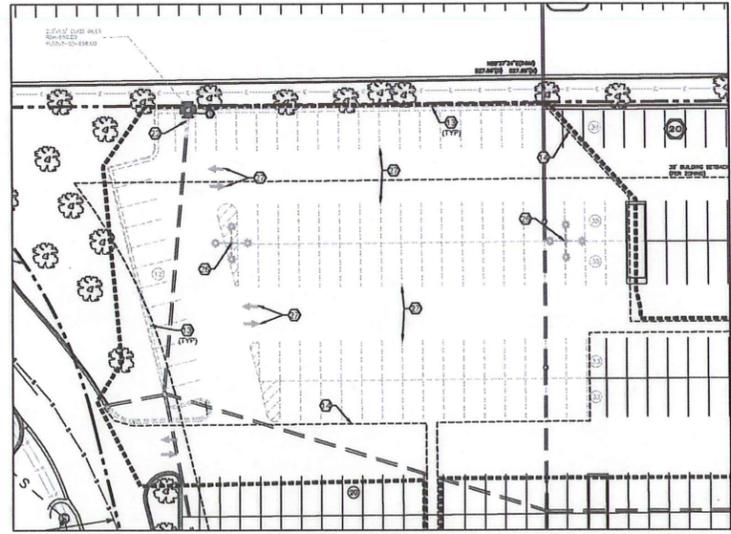


SITE NOTES

- A. THIS PLAN IS BASED ON AN AUTOCAD FILE PROVIDED BY SRS&K CONSULTING, SP, AND AN EXISTING CONDITIONS PLAN PREPARED BY SRS&K CONSULTING, SP DATED 9/30/2005.
- B. ALL DIMENSIONS ARE TO GROUND LEVEL UNLESS OTHERWISE NOTED.
- C. ALL NEW BUILDING AND SITE SIGNAGE WILL COMPLY WITH ZONING AND SHOPPING CENTER REGULATIONS.
- D. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- E. CONTRACTOR TO SOO ALL DISTURBED AREA UNLESS NOTED OTHERWISE.
- F. ANY ADJACENT LANDSCAPE MATERIAL DESTROYED DURING CONSTRUCTION SHALL BE REPLACED PER VILLAGE REGULATIONS AND SHOPPING CENTER REGULATIONS.
- G. ALL LANDSCAPE AREAS ARE TO BE IRRIGATED WITH AN UNDERGROUND SYSTEM PROVIDING 100% COVERAGE. IRRIGATION SYSTEM SHALL INCLUDE RAIN AND SOIL SENSORS.

KEYED NOTES

- 1. PROPOSED 192 SF HOSEK. REFER TO ARCHITECTURAL PLANS.
- 2. PROPOSED 3,453 SF FUEL STATION CANOPY (40' x 86.33'). REFER TO CANOPY PLANS FOR DETAILS.
- 3. PROPOSED MULTI-PRODUCT DISPENSER (8 TOTAL). REFER TO FUEL PLANS FOR DETAILS.
- 4. PROPOSED 20,000 GAL UNDERGROUND STORAGE TANK (3 TOTAL). REFER TO FUEL PLANS FOR DETAILS.
- 5. PROPOSED LANDSCAPE ISLAND.
- 6. PROPOSED CONCRETE CURB AND GUTTER. REFER TO SHEET C-10 FOR DETAIL.
- 7. PROPOSED CONCRETE TANK SLAB. REFER TO FUEL PLANS FOR DETAILS.
- 8. PROPOSED 3' CURB TRANSITION TO EXISTING CURB AND GUTTER. REFER TO SHEET C-10 FOR DETAIL.
- 9. PROPOSED HEAVY DUTY CONCRETE SLAB. REFER TO FUEL PLANS FOR DETAILS.
- 10. PROPOSED TYPICAL 6" CONCRETE BOLLARD (13 TOTAL). REFER TO SHEET C-10 FOR DETAIL.
- 11. PROPOSED LOCATION FOR NEW TRANSFORMER. GENERAL CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY FOR TRANSFORMER AND ELECTRICAL SERVICES.
- 12. PROPOSED LIMITS OF DISTURBANCE. (42,456 SF / 0.97 AC)
- 13. EXISTING CURBING TO BE REMOVED.
- 14. PROPOSED SAWCUT LINE.
- 15. PROPOSED NEW ASPHALT PAVEMENT. CONTRACTOR TO USE HEAVY DUTY PAVEMENT FOR THE NEW FUEL STATION AREAS AND STANDARD DUTY PAVEMENT FOR THE REMAINING AREAS. REFER TO SHEET C-10 FOR DETAILS. CONTRACTOR TO COORDINATE WITH WALMART CONSTRUCTION MANAGER FOR CONFIRMATION OF LIMITS OF HEAVY DUTY PAVEMENT.
- 16. PROPOSED "STOP" SIGN. REFER TO SHEET C-09 FOR DETAIL.
- 17. PROPOSED "DO NOT ENTER" SIGN. REFER TO SHEET C-10 FOR DETAIL.
- 18. PROPOSED ONE WAY SIGN. REFER TO SHEET C-10 FOR DETAIL.
- 19. PROPOSED TYPICAL 6" CONCRETE BOLLARD (13 TOTAL). REFER TO SHEET C-10 FOR DETAIL.
- 20. PROPOSED WHITE PAINTED DIRECTIONAL ARROW. REFER TO SHEET C-10 FOR DETAIL.
- 21. PROPOSED VENT STACK. REFER TO FUEL PLANS FOR DETAILS.
- 22. APPROXIMATELY 11' OF EXISTING DRAINAGE PIPE AND ONE INLET TO BE REMOVED.
- 23. EXISTING DRAINAGE MANHOLE TO BE PRESERVED IN PLACE AND NEW GRATE INLET TOP TO BE INSTALLED. CONTRACTOR TO CONFIGURE NEW CURB AS NECESSARY SO AS TO NOT OBSTRUCT STORMWATER RUNOFF INTO GATE INLET.
- 24. RESTRIPE PARKING SPACE TO MATCH EXISTING.
- 25. CART BIN TO BE RELOCATED ONSITE DURING CONSTRUCTION AND RETURNED TO EXISTING LOCATION UPON COMPLETION OF WORK.
- 26. EXISTING LIGHT POLE TO BE RELOCATED. CONTRACTOR TO COMPLETELY REMOVE ALL OF THE LIGHT POLE BASE.
- 27. EXISTING SIGNING TO BE RELOCATED.
- 28. EXISTING MANHOLE TO REMAIN. CONTRACTOR TO RESET LID AS NECESSARY.
- 29. PROPOSED 1 1/2" MILL AND OVERLAY.



DEMOLITION PLAN INSET
SCALE: 1" = 30'

REVISIONS	DATE
1. VILLAGE COMMENTS	9/25/2015
2. VILLAGE COMMENTS	11/24/2015

CORE STATES

CORE STATES INC.
3000 West 10th Street
Bentonville, AR 72716
Phone: 479.271.1237
Fax: 479.271.1238

PATRIK I. BENNETT
003-055372
REGISTERED PROFESSIONAL ENGINEER
STATE OF ARIZONA
LICENSE No. 082-055372

FUELING STATION AT SAM'S CLUB #6228
335 N. MILWAUKEE AVE. VERNON HILLS, LAKE COUNTY, IL
SAM'S REAL ESTATE BUSINESS TRUST
2001 SE 10TH STREET
BENTONVILLE, AR 72716

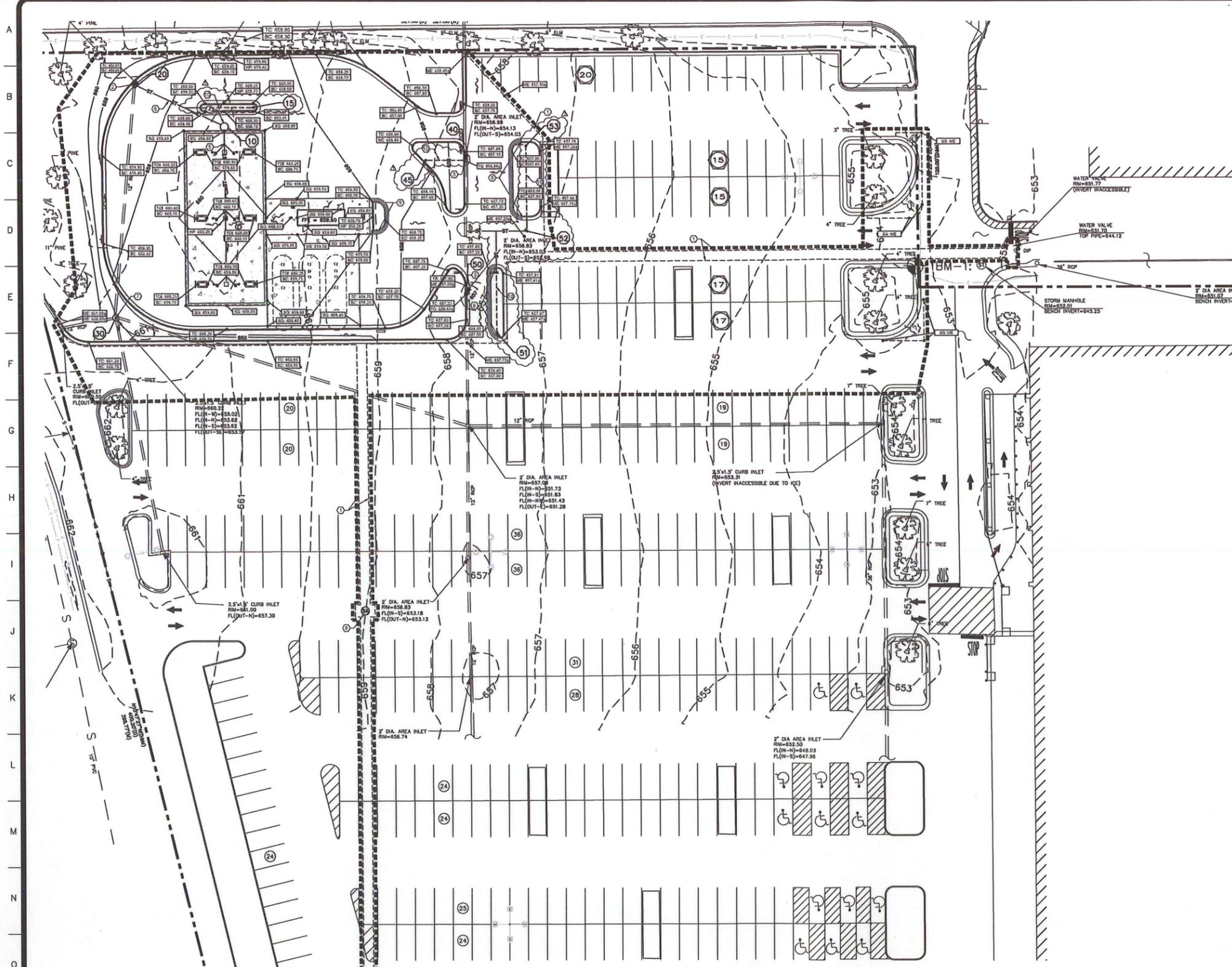


DRAWN	SM
CHECKED	DK
DATE	07/24/2015
SCALE	AS NOTED
JOB No.	SAM-14308
SHEET	LAYOUT AND MATERIALS
C-03	
4 OF 14 SHEETS	

Documents prepared by CoreStates, Inc., including this document, are to be used only for the specific project and specific use for which they were intended. Any extension of use to any other project, by owner or by any other party, without the expressed written consent of CoreStates, Inc., is strictly prohibited and at the user's own risk. It is intended to be used only for the specific project and specific use for which they were intended.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.





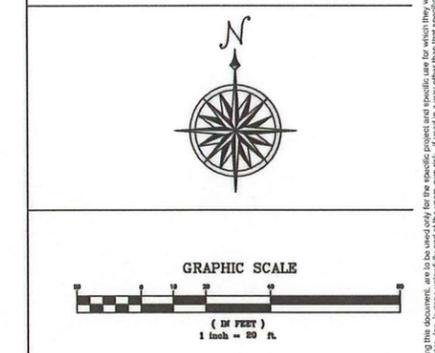
GRADING NOTES

1. ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS SHALL MEET THE STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
2. STORM PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS. PRIOR TO FINAL INSPECTION.
3. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
4. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
5. CONTRACTOR TO MAINTAIN 1.5% MAXIMUM CROSS-SLOPE ON ALL SIDEWALKS AND CROSSLANDS. CONTRACTOR TO MODIFY PAVEMENT GRADES AS NECESSARY TO MAINTAIN MAXIMUM CROSS-SLOPE IN CROSSWALKS.
6. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES WITH 1% MINIMUM SLOPE IN PERVIOUS AREAS AND 1.5% MINIMUM SLOPE IN PAVED AREAS UNLESS OTHERWISE NOTED.

ABBREVIATIONS

BS BOTTOM OF SWALE
 EP EDGE OF ASPHALT PAVEMENT
 FB FACE OF BUILDING
 GC GRADE CHANGE
 HP HIGH POINT
 ME MATCH EXISTING
 SG SPOT GRADE
 TC TOP OF CURB
 BC BOTTOM OF CURB
 TG TOP OF GRATE
 EC EDGE OF CONCRETE
 TW TOP OF WALK
 TI TOP OF ISLAND

- KEYED NOTES**
1. PROPOSED SAW CUT LINE
 2. PROPOSED CURB INLET (DRAINAGE STRUCTURE 20), RIM = 658.00 INV. = 658.81. REFER TO SHEET C-10 FOR DETAIL.
 3. EXISTING MANHOLE TO BE PRESERVED IN PLACE AND NEW GRATE INLET TOP TO BE INSTALLED DRAINAGE STRUCTURES 40 AND 50. CONTRACTOR TO CONFIGURE NEW CURB AS NECESSARY SO AS TO NOT OBSTRUCT STORMWATER RUNOFF INTO GRATE INLET.
 4. PROPOSED MANHOLE (STORM STRUCTURE 10), RIM = 659.80 INV. = 660.66.
 5. PROPOSED DRAIN LINE FOR CANOPY. REFER TO CANOPY PLANS FOR DETAILS AND CONNECTION. CONTRACTOR TO PROVIDE MINIMUM 1% SLOPE IN STORM PIPES. REFER TO SHEET C-10 FOR TYPICAL LAYOUT AND CONNECTION.
 6. PROPOSED 4" LF OF 8" CLASS IV RCP PIPE AT MINIMUM 1% SLOPE. EXISTING CONCRETE TOP TO BE REFINISHED WITH BRICK TOP AND RESET AS NECESSARY BY GENERAL CONTRACTOR (DRAINAGE STRUCTURE 30).
 7. PROPOSED SANITARY SEWER MANHOLE. RIM TO MATCH EXISTING.
 8. PROPOSED UNDERDRAIN FOR PERVIOUS AREAS.
 9. PROPOSED 4" UNDERDRAIN FOR PERVIOUS AREAS. PIPE TO BE INSTALLED WITH A MINIMUM SLOPE OF 1%. REFER TO DETAIL ON SHEET C-11.



FOUNDATION SUBSURFACE PREPARATION NOTES

UNLESS SPECIFICALLY INDICATED OTHERWISE IN THE DRAWINGS AND/OR SPECIFICATIONS, THE LIMITS OF THE SUBSURFACE PREPARATION FOR THE BUILDING PAD IS CONSIDERED TO BE THAT PORTION OF THE SITE DIRECTLY BENEATH AND 10 FEET BEYOND THE BUILDING AND APPURTENANCES.

EXISTING ASPHALT PAVEMENT, INCLUDING ASPHALT/CONCRETE AND BASE COURSE, SHALL BE REMOVED FROM BUILDING AREA AND REMAINING EXISTING SOIL IS TO BE PROOFROLLED/PROF-COMPACTED. ALL UNSUITABLE MATERIALS (TOPSOIL, VEGETATION, PLANT ROOTS, EXISTING PAVEMENTS, AND CONCRETE CURBS) SHOULD BE REMOVED FROM UNDERNEATH NEW PAVEMENT AREAS AND THE PROPOSED KICK BUILDING FOOTPRINT AND 10 FEET BEYOND DOWN TO SUITABLE BEARING STRATA. CONTRACTOR IS CAUTIONED THAT IN SITU SOIL IS VERY SUSCEPTIBLE TO DISTURBANCE BY CONSTRUCTION TRAFFIC AND THE CONTRACTOR WILL NEED TO TAKE PRECAUTIONS TO PROTECT THE SUBGRADE FROM PLUING AND RUTTING, OR IF THIS IS NOT POSSIBLE OVEREXCAVATE SOIL UNTIL STABILITY IS REGAINED. FOLLOWING OVEREXCAVATION OF THE UNSUITABLE MATERIALS, THE EXPOSED SURFACES SHOULD BE PROOFROLLED PRIOR TO PLACING COMPACTED ENGINEERED FILL (OR REUSE OF EXISTING CONCRETE MATERIAL) OR CONSTRUCTING FOUNDATIONS. SLABS OR PAVEMENTS WITH A LOADED TANDEN AXLE CLUMP TRUCK OR SIMILAR PIECE OF HEAVY RUBBER Tired VEHICLE, IF RUTTING OR OTHER DISTURBANCE IS NOTICED DURING RE-COMPACTION, SOIL SHALL BE UNDERCUT AND REPLACED WITH PROPERLY COMPACTED FILL. THE EXPOSED SUBGRADES SHOULD BE OBSERVED IN THE FIELD BY A GEOTECHNICAL ENGINEER'S REPRESENTATIVE TO CONFIRM THE ASSUMED FOUNDATION BEARING CONDITIONS. SOIL BEARING SURFACES SHOULD BE PROTECTED AGAINST COLD AND WET WEATHER AND EQUIPMENT TRAFFIC.

GROUNDWATER WAS NOT OBSERVED ON SITE BUT IS ANTICIPATED TO BE APPROXIMATELY 7.5 TO 8.0 FEET BELOW GRADE AND MAY IMPACT THE FOUNDATION EXCAVATIONS, ESPECIALLY THE BELOW GROUND TANKS.

IN FILL AREAS, UNSUITABLE MATERIALS SHOULD BE REMOVED AS NOTED ABOVE. FOLLOWING PROOF-ROLLING, COMMON FILL OR COMPACTED ENGINEERED FILL MAY THEN BE PLACED IN COMPACTED LAYERS TO THE PROPOSED BASE COURSE SUBGRADE ELEVATION.

BACKFILLING
 COMPACTED ENGINEERED FILL OR REUSED ON-SITE MATERIAL SHOULD BE USED FOR FILLING WITHIN THE FUELING STATION PAD AREA. FILL MATERIALS SHOULD BE FREE OF GRAVEL GREATER THAN 3/8 INCH IN DIAMETER PLACED IN LEFTS NOT TO EXCEED EIGHT INCHES IN LOOSE PROFILES. MATERIAL CONTAINING COARSE RECYCLED MATERIAL (I.E. CONCRETE, BRICK, BITUMINOUS MATERIAL) IS NOT ACCEPTABLE AS STRUCTURAL FILL. FILL WILL BE COMPACTED TO AT LEAST 95% OF MOCPED PROCTOR AND HAVE A MOISTURE CONTENT MEASURED WITHIN 2% OF THE MATERIAL'S OPTIMUM MOISTURE CONTENT.

BACKFILL MATERIALS
 COMPACTED STRUCTURAL ENGINEERED FILL OR REUSED ON-SITE MATERIAL SHOULD CONSIST OF CLEAN, WELL-GRADED SAND AND GRAVEL, FREE OF ORGANIC MATERIAL, CLAY CLUMPS, SNOW ICE, OR OTHER DELETERIOUS MATERIALS. MATERIAL USED BELOW PAVEMENT STRUCTURES SHOULD MEET THE GRADATION LISTED BELOW.

SEIVE SIZE	PERCENT FINER BY WEIGHT
1/4-IN	100
1/2-IN	90-100
3/8-IN	60-90
NO. 4	30-50
NO. 10	15-40
NO. 200	4-12

COMMON FILL
 COMMON FILL MAY BE USED TO RAISE GRADES IN PAVEMENT AND LANDSCAPE AREAS, SUBJECT TO PAVEMENT DESIGN AND DRAINAGE REQUIREMENTS AND IS SUITABLE FOR GENERAL LANDSCAPE GRADING. COMMON FILL SHOULD BE GRANULAR SOIL, FREE FROM ORGANIC MATERIAL, CLAY CLUMPS, SNOW ICE, OR OTHER DELETERIOUS MATERIALS. COMMON FILL SHOULD NOT CONTAIN STONES LARGER THAN THREE INCHES AND HAVE A MAXIMUM OF 80 PERCENT PASSING THE NO. 40 SIEVE AND A MAXIMUM OF FIVE PERCENT PASSING THE NO. 200 SIEVE.

REFERENCES
 THE NOTES PROVIDED HEREIN HAVE BEEN SUMMARIZED FROM A REPORT OF GEOTECHNICAL INVESTIGATION TITLED "GEOTECHNICAL ENGINEERING SERVICES REPORT FOR THE PROPOSED FUELING STATION AT SAM'S CLUB STORE NO. 6228" PREPARED BY P3I, P.C. DATED APRIL 4, 2014.

REVISIONS DATE

1. VILLAGE COMMENTS	9/25/2015
2. VILLAGE COMMENTS	1/24/2015

CORE STATES

CONSTATES, INC.
 PROFESSIONAL ENGINEER
 LICENSE NO. 002-005972

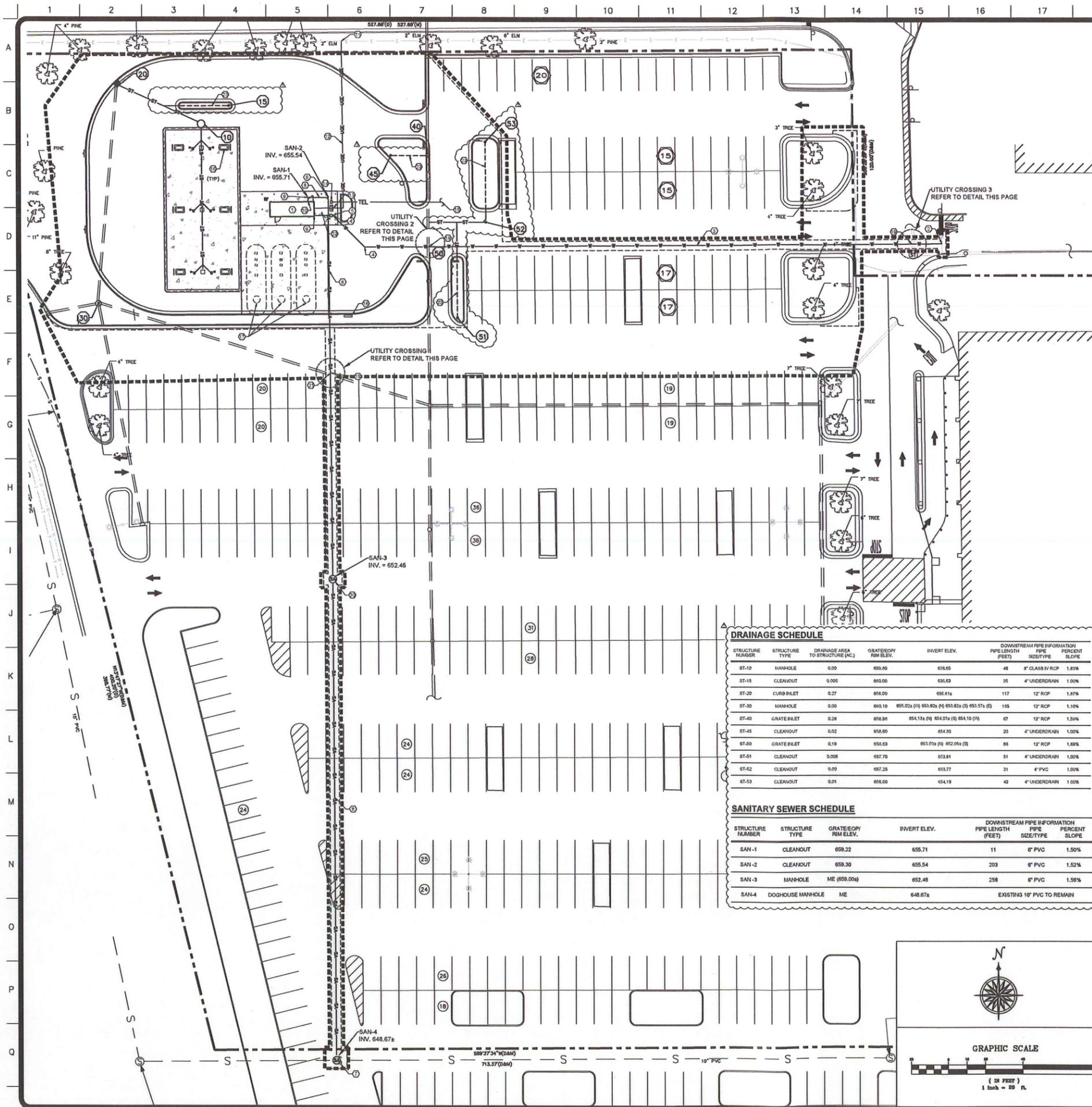
FUELING STATION AT SAM'S CLUB #6228
 335 N. MILWAUKEE AVE., VERNON HILLS, LAKE COUNTY, IL
 SAM'S REAL ESTATE BUSINESS TRUST
 2001 SE 10TH STREET
 BENTONVILLE, AR 72716



DRAWN
 SM
CHECKED
 BK
DATE
 07/24/2015
SCALE
 AS NOTED
JOB NO.
 SAM-1408
SHEET
 GRADING AND DRAINAGE PLAN
 C-04
 5 OF 14 SHEETS



THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.



SITE NOTES

- SEE MECHANICAL AND/OR ARCHITECTURAL DRAWINGS FOR THE LOCATION OF UNDERGROUND CONDUIT FOR FUEL AND ELECTRICAL LINES ASSOCIATED WITH THE UNDERGROUND FUEL TANKS AND THE GASOLINE PUMPS.
- SEE SHEET C-04 - GRADING AND DRAINAGE PLAN FOR INFORMATION PERTAINING TO THE STORMWATER DRAINAGE SYSTEM.
- WHERE WATER LINES CROSS SEWER LINES, AN 18" VERTICAL SEPARATION IS TO BE MAINTAINED. AT THE CROSSINGS, A LENGTH OF WATER PIPE IS TO BE LOCATED SUCH THAT BOTH JOINT ENDS ARE AS FAR FROM THE SEWER LINE AS POSSIBLE.
- SEE ELECTRICAL PLAN, BY OTHERS, FOR ADDITIONAL CONDUIT FOR CANOPY, DISPENSERS AND SITE LIGHTING.
- SEE DISPENSER AND CANOPY PLANS, BY OTHERS, FOR ADDITIONAL INFORMATION PERTAINING TO THE DISPENSERS AND CANOPY.
- PROPOSED MANHOLES ARE TO BE 48" DIAMETER AND SHALL BE ACCESSIBLE FOR SAMPLING. SERVICE LINES AND MANHOLES SHALL BE VACUUM TESTED AND WITNESSED BY LCPWD PRIOR TO ACCEPTANCE. WATER METER WILL BE SUPPLIED AND INSTALLED BY LCPWD. CONTRACTOR'S PLUMBER SHALL PROVIDE A METER SPRING OF 17" FACE TO FACE.
- SHOULD ANY UNIONS BE NEEDED TO COMPLETE THE LENGTH OF THE SERVICE FROM THE TAP TO THE KIOSK BUILDING, ONLY FLARED-END BRASS UNIONS SHALL BE USED.

KEYED NOTES

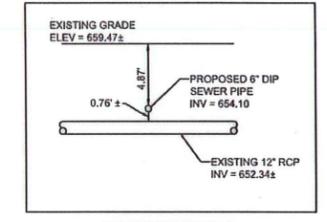
- PROPOSED 192 SF KIOSK STORE. (REFER TO ARCHITECTURAL PLANS FOR DETAILS)
- PROPOSED POINT OF CONNECTION FOR POTABLE WATER TO EXISTING 12" DI MAIN.
- PROPOSED 1/2" TYPE K COPPER POTABLE WATER LINE.
- PROPOSED 1/2" SANITARY SEWER SERVICE.
- PROPOSED LOCATED METER BOX. (REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS)
- PROPOSED POTABLE WATER POINT OF CONNECTION TO KIOSK. (REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS)
- PROPOSED DOGHOUSE SEWER MANHOLE AND POINT OF CONNECTION FOR SANITARY SEWER SERVICE. REFER TO DETAIL SHEET C-11 FOR DETAIL.
- PROPOSED POINT OF CONNECTION FOR SANITARY SEWER SERVICE TO KIOSK. (REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS)
- PROPOSED POINT OF CONNECTION FOR ELECTRICAL SERVICE. CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY FOR CONNECTION.
- PROPOSED ELECTRICAL SERVICE. CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY FOR SIZE AND CONDUIT REQUIREMENTS.
- PROPOSED 480V/208V 75KVA DRY TYPE TRANSFORMER. (REFER TO ARCHITECTURAL PLANS FOR DETAILS)
- PROPOSED FIBER OPTIC AND TELEPHONE CONNECTION. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED FIBER OPTIC AND TELEPHONE SERVICE TO BE CONNECTED TO EXISTING SAWS CLUB. CONTRACTOR TO COORDINATE WITH TELEPHONE AND CABLE COMPANY AND WALMART CONSTRUCTION MANAGER FOR LOCATION OF EXISTING SERVICE FOR CONNECTION AND SIZE AND CONDUIT REQUIREMENTS.
- NEW FUELING DISPENSER (TYP OF 9). (REFER TO ARCHITECTURAL PLANS FOR DETAILS)
- NEW (3) 20,000 GALLON UNDERGROUND STORAGE TANKS (REFER TO ARCHITECTURAL PLANS FOR DETAILS)
- NEW REMOTE VENT (REFER TO ARCHITECTURAL PLANS FOR DETAILS). PIPING FOR REMOTE VENT STACK TO CROSS NEW SANITARY SEWER LINE. CONTRACTOR TO USE CAUTION WHEN LAYING OUT PIPING.
- VERIFY ELEVATIONS OF EXISTING DRAINAGE AND SEWER LINES AND PROVIDE PROPER VERTICAL SEPARATION AT THE CROSSINGS.
- PROPOSED STANDARD 48" MIN SEWER MANHOLE. REFER TO SHEET C-11 FOR DETAIL.
- PROPOSED SECTION OF 8" CLASS S2 DIP AT CROSSING PER TOWN STANDARDS.
- PROPOSED 4" PVC (SDR21) UNDERDRAIN FOR FURNACE AREAS. PIPE TO BE INSTALLED WITH A MINIMUM SLOPE OF 1%. REFER TO DETAIL ON SHEET C-11.

DRAINAGE SCHEDULE

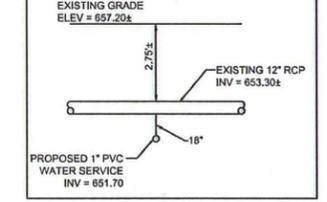
STRUCTURE NUMBER	STRUCTURE TYPE	DRAINAGE AREA TO STRUCTURE (AC)	GRATE/EOPI/ RIM ELEV.	INVERT ELEV.	PIPE LENGTH (FEET)	PIPE SIZE/TYP	PERCENT SLOPE
ST-10	MANHOLE	0.00	659.80	656.05	46	8" CLASS IV RCP	1.83%
ST-15	CLEANOUT	0.005	650.00	655.63	35	4" UNDERDRAIN	1.00%
ST-20	CURB INLET	0.27	656.00	656.61a	117	12" RCP	1.87%
ST-30	MANHOLE	0.00	650.10	655.02a (1) 653.82a (2) 653.82a (3) 653.57a (4)	155	12" RCP	1.16%
ST-40	GRATE INLET	0.28	656.98	654.13a (1) 654.01a (2) 654.10 (3)	67	12" RCP	1.50%
ST-45	CLEANOUT	0.02	656.00	654.30	20	4" UNDERDRAIN	1.00%
ST-50	GRATE INLET	0.19	654.63	653.03a (1) 652.06a (2)	85	12" RCP	1.82%
ST-51	CLEANOUT	0.008	657.70	653.81	51	4" UNDERDRAIN	1.00%
ST-52	CLEANOUT	0.09	657.25	653.77	31	4" PVC	1.00%
ST-53	CLEANOUT	0.01	656.00	654.19	42	4" UNDERDRAIN	1.00%

SANITARY SEWER SCHEDULE

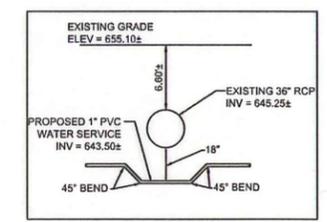
STRUCTURE NUMBER	STRUCTURE TYPE	GRATE/EOPI/ RIM ELEV.	INVERT ELEV.	PIPE LENGTH (FEET)	PIPE SIZE/TYP	PERCENT SLOPE
SAN-1	CLEANOUT	659.22	655.71	11	6" PVC	1.50%
SAN-2	CLEANOUT	659.30	655.54	203	6" PVC	1.52%
SAN-3	MANHOLE	ME (659.00a)	652.48	256	6" PVC	1.58%
SAN-4	DOGHOUSE MANHOLE	ME	648.67a		EXISTING 10" PVC TO REMAIN	



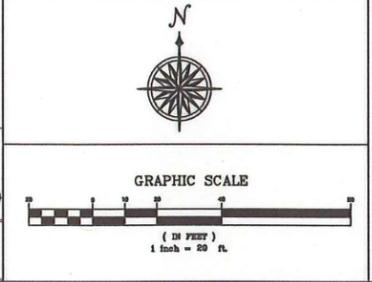
UTILITY CROSSING 1
N.T.S.



UTILITY CROSSING 2
N.T.S.



UTILITY CROSSING 3
N.T.S.



THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

REVISIONS DATE

1. VILLAGE COMMENTS	9/25/2015
2. VILLAGE COMMENTS	11/24/2015

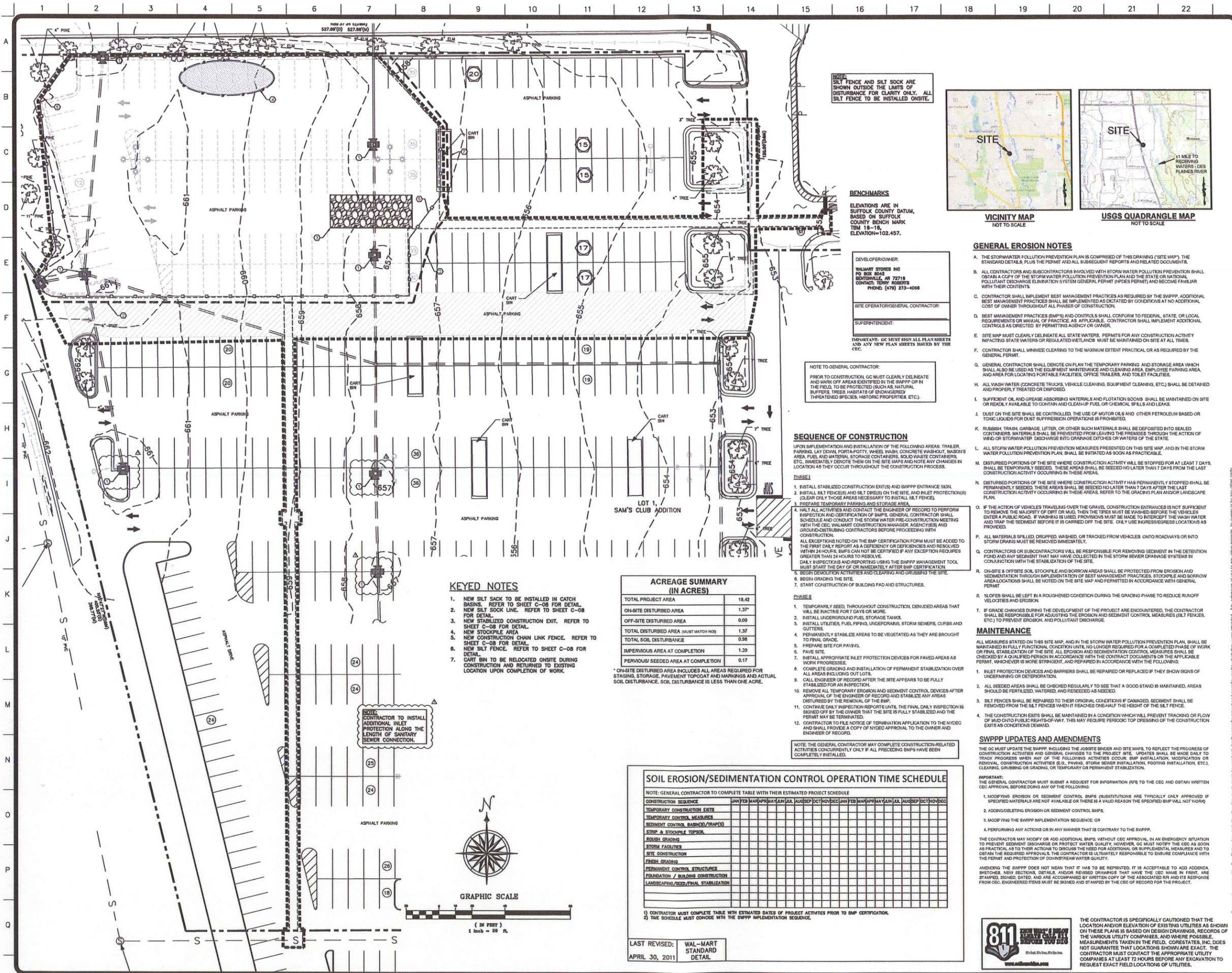
CORE STATES
50 Driveway Center, Suite 300
1111 N. 11th St., Bentonville, AR 72716
Phone: 479-271-1111
Fax: 479-271-1112
www.corestates.com

CORE STATES INC.
REGISTERED PROFESSIONAL ENGINEER
PATRICK B. BARNETT, P.E.
003-055272
STATE OF ARIZONA
LICENSE No. 002-055272

FUELING STATION AT SAM'S CLUB #6228
335 N. MILWAUKEE AVE., VERNON HILLS, LAKE COUNTY, IL
SAM'S REAL ESTATE BUSINESS TRUST
2001 SE 10TH STREET
BENTONVILLE, AR 72716



DRAWN
SM
CHECKED
DK
DATE
07/24/2015
SCALE
AS NOTED
JOB No.
SAM-14308
SHEET
UTILITY PLAN
C-05
6 OF 14 SHEETS



NOTE:
SILT FENCE AND SILT SOCK ARE SHOWN OUTSIDE THE LIMITS OF DISTURBANCE FOR CLARITY ONLY. ALL SILT FENCE TO BE INSTALLED ONSITE.

BENCHMARKS
ELEVATIONS ARE IN SUFFOLK COUNTY DATUM, BASED ON SUFFOLK COUNTY BENCH MARK TBM 18-18, ELEVATION=102.457.

DEVELOPER/OWNER:
WALMART STORES INC
PO BOX 8042
BENTONVILLE, AR 72716
CONTACT: TERRY ROBERTS
PHONE: (479) 273-0058

SITE OPERATOR/GENERAL CONTRACTOR:
SUPERINTENDENT:

NOTE TO GENERAL CONTRACTOR:
PRIOR TO CONSTRUCTION, GC MUST CLEARLY DELINEATE AND MARK OFF AREAS IDENTIFIED IN THE SWPPP OR IN THE FIELD, TO BE PROTECTED (SUCH AS NATURAL BUFFERS, TREES, HABITATS OF ENDANGERED THREATENED SPECIES, HISTORIC PROPERTIES, ETC.).

SEQUENCE OF CONSTRUCTION

- UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASONRY AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC. IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- PHASE I**
1. INSTALL STABILIZED CONSTRUCTION EXIT(S) AND SWPPP ENTRANCE SKIRL.
 2. INSTALL SILT FENCE(S) AND SILT SOCK(S) ON THE SITE AND INLET PROTECTION(S) (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE).
 3. PREPARE TEMPORARY PARKING AND STORAGE AREA.
 4. HALT ALL ACTIVITIES AND CONTACT THE ENGINEER OF RECORD TO PERFORM INSPECTION AND CERTIFICATION OF BMP'S. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT THE STORM WATER PRE-CONSTRUCTION MEETING WITH THE CEC, WALMART CONSTRUCTION MANAGER, AGENCY(IES) AND OTHER AFFECTED CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
- ALL EXCEPTIONS NOTED ON THE BMP CERTIFICATION FORM MUST BE ADDED TO THE FIRST DAILY REPORT AS A DEFICIENCY OR DEFERENCES AND RESOLVED WITHIN 24 HOURS. BMP'S CAN NOT BE CERTIFIED IF ANY EXCEPTION REQUIRES GREATER THAN 24 HOURS TO RESOLVE.
- DAILY INSPECTIONS AND REPORTING USING THE SWPPP MANAGEMENT TOOL MUST START THE DAY OF OR IMMEDIATELY AFTER BMP CERTIFICATION.
5. BEGIN DEMOLITION ACTIVITIES AND CLEARING AND GRUBBING THE SITE.
 6. BEGIN GRADING THE SITE.
 7. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
- PHASE II**
1. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUCED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
 2. INSTALL UNDERDRAIN AND FUEL STORAGE TANKS.
 3. INSTALL UTILITIES, FUEL, PIPING, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
 4. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
 5. PREPARE SITE FOR PAVING.
 6. PAVE SITE.
 7. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
 8. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS INCLUDING LOT(S).
 9. CALL ENGINEER OF RECORD AFTER THE SITE APPEARS TO BE FULLY STABILIZED FOR AN INSPECTION.
 10. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER APPROVAL OF THE ENGINEER OF RECORD AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE BMP.
 11. CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION IS SIGNED OFF BY THE OWNER THAT THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE TERMINATED.
 12. CONTRACTOR TO FILE NOTICE OF TERMINATION APPLICATION TO THE NYDEC AND SHALL PROVIDE A COPY OF NYDEC APPROVAL TO THE OWNER AND ENGINEER OF RECORD.

ACREAGE SUMMARY (IN ACRES)

TOTAL PROJECT AREA	18.42
ON-SITE DISTURBED AREA	1.37*
OFF-SITE DISTURBED AREA	0.00
TOTAL DISTURBED AREA (MUST MATCH NCR)	1.37
TOTAL SOIL DISTURBANCE	0.98
IMPERVIOUS AREA AT COMPLETION	1.20
PERVIOUSLY SEEDDED AREA AT COMPLETION	0.17

* ON-SITE DISTURBED AREA INCLUDES ALL AREAS REQUIRED FOR STAGING, STORAGE, PAVEMENT TOPCOAT AND MARKINGS AND ACTUAL SOIL DISTURBANCE. SOIL DISTURBANCE IS LESS THAN ONE ACRE.

KEYED NOTES

1. NEW SILT SACK TO BE INSTALLED IN CATCH BASINS. REFER TO SHEET C-08 FOR DETAIL.
2. NEW SILT SOCK LINE. REFER TO SHEET C-08 FOR DETAIL.
3. NEW STABILIZED CONSTRUCTION EXIT. REFER TO SHEET C-08 FOR DETAIL.
4. NEW STOCKPILE AREA.
5. NEW CONSTRUCTION CHAIN LINK FENCE. REFER TO SHEET C-08 FOR DETAIL.
6. NEW SILT FENCE. REFER TO SHEET C-08 FOR DETAIL.
7. CART BIN TO BE RELOCATED ONSITE DURING CONSTRUCTION AND RETURNED TO EXISTING LOCATION UPON COMPLETION OF WORK.

NOTE:
CONTRACTOR TO INSTALL ADDITIONAL INLET PROTECTION ALONG LENGTH OF SANITARY SEWER CONNECTION.

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR ESTIMATED PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY CONSTRUCTION EXITS																								
TEMPORARY CONTROL MEASURES (SEDIMENT CONTROL BASIN(S)/TRAP(S))																								
STRIP & STOCKPILE TOPSOIL																								
EROSION GRADING																								
STORM FACILITIES																								
SITE CONSTRUCTION																								
FINAL GRADING																								
PERMANENT CONTROL STRUCTURES																								
FOUNDATION / BUILDING CONSTRUCTION																								
LANDSCAPING/SEED/FINAL STABILIZATION																								

1) CONTRACTOR MUST COMPLETE TABLE WITH ESTIMATED DATES OF PROJECT ACTIVITIES PRIOR TO BMP CERTIFICATION.
2) THE SCHEDULE MUST COINCIDE WITH THE SWPPP IMPLEMENTATION SCHEDULE.

LAST REVISED: APRIL 30, 2011
WAL-MART STANDARD DETAIL



GENERAL EROSION NOTES

1. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("SITE MAP"), THE STANDARD DETAILS, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP, ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
5. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO DESIGNATED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER. DISCHARGE INTO DRAINAGE CATCHES OR WATERS OF THE SITE.
12. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS SITE MAP AND IN THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE INITIATED AS SOON AS PRACTICABLE.
13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 7 DAYS SHALL BE TEMPORARILY SEEDDED. THESE AREAS SHALL BE SEEDDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDDED. THESE AREAS SHALL BE SEEDDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
16. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
17. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONNECTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT.
19. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. IF GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT ARE ENCOUNTERED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.

MAINTENANCE

- ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHOEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETRIORATION.
 2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE RESEED, WATERED, AND FERTILIZED AS NEEDED.
 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
 4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.

SWPPP UPDATES AND AMENDMENTS

THE GC MUST UPDATE THE SWPPP INCLUDING THE JOB SITE MAPS, TO REFLECT THE PROGRESS OF CONSTRUCTION ACTIVITIES AND GENERAL CHANGES TO THE PROJECT SITE. UPDATES SHALL BE MADE DAILY TO TRACK PROGRESS WHEN ANY OF THE FOLLOWING ACTIVITIES OCCUR: BMP INSTALLATION, MODIFICATION OR REMOVAL, CONSTRUCTION ACTIVITIES (E.G., PAVING, STORM WATER INSTALLATION, FOOTING INSTALLATION, ETC.), CLEARING, GRUBBING OR GRADING, OR TEMPORARY OR PERMANENT STABILIZATION.

IMPORTANT:
THE GENERAL CONTRACTOR MUST SUBMIT A REQUEST FOR INFORMATION (RFI) TO THE CEC AND OBTAIN WRITTEN CEC APPROVAL BEFORE DOING ANY OF THE FOLLOWING:

1. MODIFYING EROSION OR SEDIMENT CONTROL BMP'S (SUBSTITUTIONS ARE TYPICALLY ONLY APPROVED IF SPECIFIED MATERIALS ARE NOT AVAILABLE OR THERE IS A VALID REASON THE SPECIFIED BMP WILL NOT WORK)
2. ADDING/OBLETING EROSION OR SEDIMENT CONTROL BMP'S.
3. MODIFYING THE SWPPP IMPLEMENTATION SEQUENCE, OR
4. PERFORMING ANY ACTIONS OR IN ANY MANNER THAT IS CONTRARY TO THE SWPPP.

THE CONTRACTOR MAY MODIFY OR ADD ADDITIONAL BMP'S WITHOUT CEC APPROVAL. IN AN EMERGENCY SITUATION TO PREVENT SEDIMENT DISCHARGE OR PROTECT WATER QUALITY, HOWEVER, GC MUST NOTIFY THE CEC AS SOON AS PRACTICAL AS TO THEIR ACTIONS TO DISCUSS THE NEED FOR ADDITIONAL OR SUPPLEMENTAL MEASURES AND TO OBTAIN THE REQUIRED APPROVAL. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE TO ENSURE COMPLIANCE WITH THE PERMIT AND PROTECTION OF DOWNSTREAM WATER QUALITY.

AMENDING THE SWPPP DOES NOT MEAN THAT IT HAS TO BE REPRINTED. IT IS ACCEPTABLE TO ADD ADDITIONAL SKETCHES, NEW SECTIONS, DETAILS, AND/OR REVISED DRAWINGS THAT HAVE THE CEC NAME IN FRONT, ARE STAMPED, SIGNED, DATED, AND ARE ACCOMPANIED BY WRITTEN COPY OF THE ASSOCIATED RFI AND ITS RESPONSE FROM CEC. ENGINEERED ITEMS MUST BE SIGNED AND STAMPED BY THE CEC FOR THE PROJECT.



THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

REVISIONS DATE

1. VILLAGE COMMENTS	9/25/2015
2. VILLAGE COMMENTS	1/24/2016

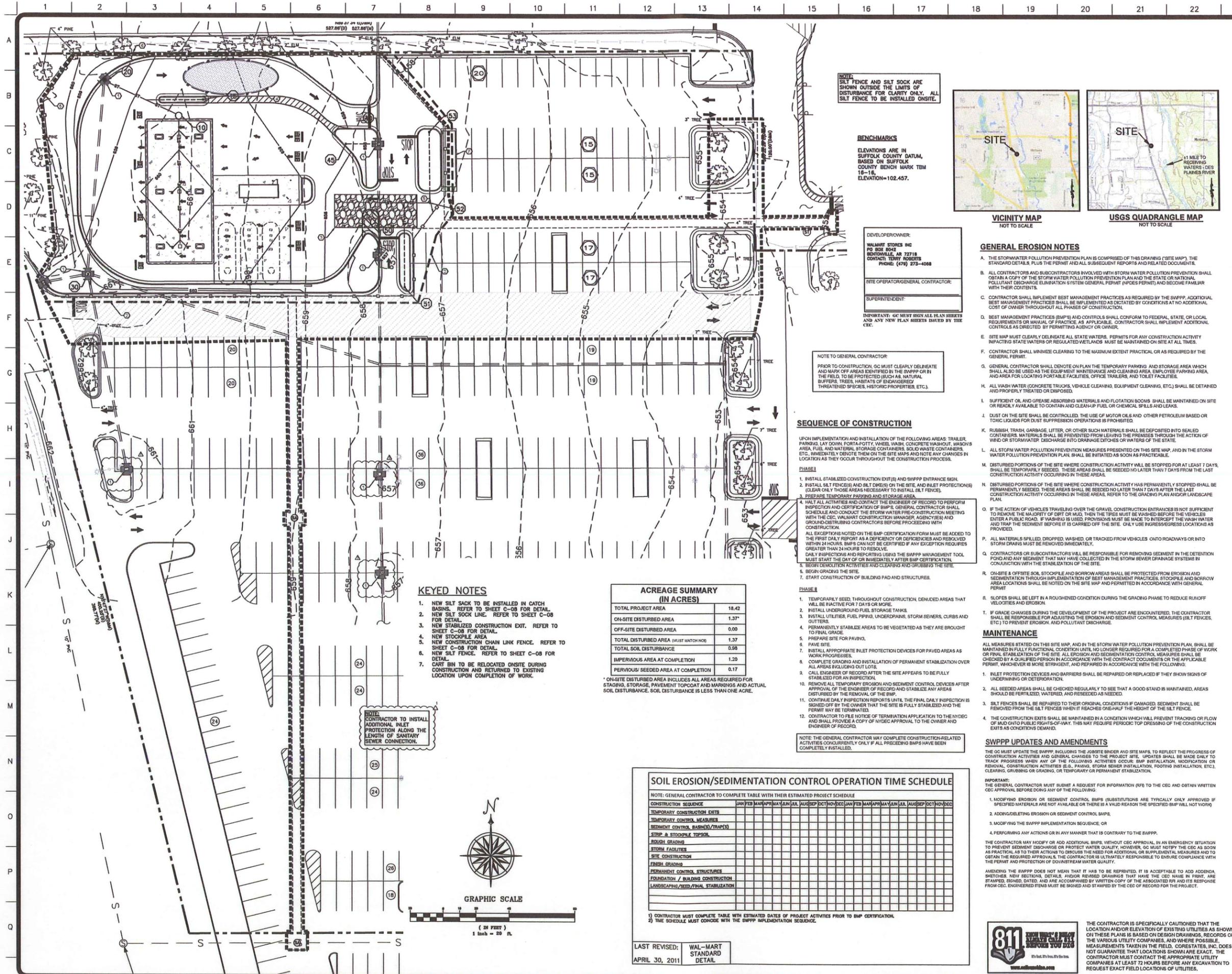
CORE STATES

CONSULTING INC.
PROFESSIONAL ENGINEER
STATE OF ILLINOIS
PATRICK BENNETT, P.E.
PROFESSIONAL DESIGNER
LICENSE No. 062-055972

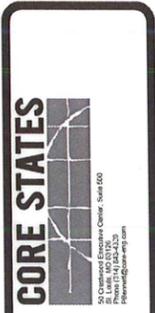
FUELING STATION AT SAM'S CLUB #6228
335 N. MILWAUKEE AVE., VERNON HILLS, LAKE COUNTY, IL

SAM'S REAL ESTATE BUSINESS TRUST
2001 SE 10TH STREET
BENTONVILLE, AR 72716

DRAWN BY: SM
CHECKED BY: DK
DATE: 07/24/2015
SCALE: AS NOTED
JOB NO.: SAM-14308
SHEET: PHASE I EROSION CONTROL PLAN C-06
7 OF 14 SHEETS



REVISIONS	DATE
1. VILLAGE COMMENTS	8/25/2015
2. VILLAGE COMMENTS	1/24/2015



FUELING STATION AT SAM'S CLUB #6228
 335 N. MILWAUKEE AVE., VERNON HILLS, LAKE COUNTY, IL
 SAM'S REAL ESTATE BUSINESS TRUST
 2001 SE 10TH STREET
 BENTONVILLE, AR 72716



DRAWN	SM
CHECKED	DK
DATE	07/24/2015
SCALE	AS NOTED
JOB NO.	SAM-14308
SHEET	PHASE II EROSION CONTROL PLAN
	C-07
	8 OF 14 SHEETS



VICINITY MAP NOT TO SCALE
 USGS QUADRANGLE MAP NOT TO SCALE

GENERAL EROSION NOTES

- THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING (SITE MAP), THE STANDARD DETAILS, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF CONTRACTOR THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WASH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READY AND AVAILABLE TO CONTAIN AND/OR FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER. DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDDED. THESE AREAS SHALL BE SEEDDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDDED. THESE AREAS SHALL BE SEEDDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINAGE MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE & OFF-SITE SOIL, STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- IF GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT ARE ENCOUNTERED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.

MAINTENANCE

- ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT WITH THE CONTRACTOR'S APPLICABLE PERMIT, WHOEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
 - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
 - SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
 - THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.

SWPPP UPDATES AND AMENDMENTS

THE GC MUST UPDATE THE SWPPP, INCLUDING THE JOBSITE UNDER AND SITE MAPS, TO REFLECT THE PROGRESS OF CONSTRUCTION ACTIVITIES AND GENERAL CHANGES TO THE PROJECT SITE. UPDATES SHALL BE MADE DAILY TO TRACK PROGRESS WHEN ANY OF THE FOLLOWING ACTIVITIES OCCUR: BMP INSTALLATION, MODIFICATION OR REMOVAL, CONSTRUCTION ACTIVITIES (E.G., PAVING, STORM SEWER INSTALLATION, FOOTING INSTALLATION, ETC.), CLEARING, GRUBBING OR GRADING, OR TEMPORARY OR PERMANENT STABILIZATION.

IMPORTANT: THE GENERAL CONTRACTOR MUST SUBMIT A REQUEST FOR INFORMATION (RFI) TO THE CEC AND OBTAIN WRITTEN CEC APPROVAL BEFORE DOING ANY OF THE FOLLOWING:

- MODIFYING EROSION OR SEDIMENT CONTROL, BMP'S (SUBSTITUTIONS ARE TYPICALLY ONLY APPROVED IF SPECIFIED MATERIALS ARE NOT AVAILABLE OR THERE IS A VALID REASON THE SPECIFIED BMP WILL NOT WORK)
- ADDING/DELETING EROSION OR SEDIMENT CONTROL BMP'S.
- MODIFYING THE SWPPP IMPLEMENTATION SEQUENCE, OR
- PERFORMING ANY ACTIONS OR IN ANY MANNER THAT IS CONTRARY TO THE SWPPP.

THE CONTRACTOR MAY MODIFY OR ADD ADDITIONAL BMP'S WITHOUT CEC APPROVAL. IN AN EMERGENCY SITUATION TO PREVENT SEDIMENT DISCHARGE OR PROTECT WATER QUALITY, HOWEVER, GC MUST NOTIFY THE CEC AS SOON AS PRACTICAL AS TO THEIR ACTIONS TO DISCUSS THE NEED FOR ADDITIONAL OR SUPPLEMENTAL MEASURES AND TO OBTAIN THE REQUIRED APPROVALS. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE TO ENSURE COMPLIANCE WITH THE PERMIT AND PROTECTION OF DOWNSTREAM WATER QUALITY.

AMENDING THE SWPPP DOES NOT MEAN THAT IT HAS TO BE REPRINTED. IT IS ACCEPTABLE TO ADD APPENDIX, SKETCHES, NEW SECTIONS, DETAILS, AND/OR REVISED DRAWINGS THAT HAVE THE CEC NAME IN PRINT, ARE STAMPED, SIGNED, DATED, AND ARE ACCOMPANIED BY WRITTEN COPY OF THE ASSOCIATED RFI AND ITS RESPONSE FROM CEC. ENGINEERED ITEMS MUST BE SIGNED AND STAMPED BY THE CEC OF RECORD FOR THE PROJECT.



THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

NOTE: SILT FENCE AND SILT SOCK ARE SHOWN OUTSIDE THE LIMITS OF DISTURBANCE FOR CLARITY ONLY. ALL SILT FENCE TO BE INSTALLED ON-SITE.

BENCHMARKS
 ELEVATIONS ARE IN SUFFOLK COUNTY DATUM, BASED ON SUFFOLK COUNTY BENCH MARK TBM 16-16, ELEVATION=102.457.

DEVELOPER/OWNER:
 WALMART STORES INC
 PO BOX 5200
 BENTONVILLE, AR 72718
 CONTACT: TONY ROBERTS
 PHONE: (479) 272-0088

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

NOTE TO GENERAL CONTRACTOR
 PRIOR TO CONSTRUCTION, GC MUST CLEARLY DELINEATE AND MARK OFF AREAS IDENTIFIED BY THE SWPPP OR IN THE FIELD, TO BE PROTECTED (SUCH AS, NATURAL BUFFERS, TREES, HABITATS OF ENDANGERED/THREATENED SPECIES, HISTORIC PROPERTIES, ETC.).

SEQUENCE OF CONSTRUCTION

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER PARKING, LAY DOWN PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

- PHASE I**
- INSTALL STABILIZED CONSTRUCTION EXIT(S) AND SWPPP ENTRANCE SIGN.
 - INSTALL SILT FENCE(S) AND SILT SOCK(S) ON THE SITE AND INLET PROTECTION(S) (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE).
 - PREPARE TEMPORARY PAVING AND STORAGE AREA.
 - HALT ALL ACTIVITIES AND CONTACT THE ENGINEER OF RECORD TO PERFORM INSPECTION AND CERTIFICATION OF BMP'S. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT THE STORM WATER PRE-CONSTRUCTION MEETING WITH THE CEC, WALMART CONSTRUCTION MANAGER, AGENCY(IES) AND GROUND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
- ALL EXCEPTIONS NOTED ON THE BMP CERTIFICATION FORM MUST BE ADDED TO THE FIRST DAILY REPORT AS A DEFICIENCY OR DEFICIENCIES AND RESOLVED WITHIN 24 HOURS. BMP'S CAN NOT BE CERTIFIED IF ANY EXCEPTION REQUIRES GREATER THAN 24 HOURS TO RESOLVE. DAILY INSPECTIONS AND REPORTING USING THE SWPPP MANAGEMENT TOOL MUST START THE DAY OF OR IMMEDIATELY AFTER BMP CERTIFICATION.
- BEGIN DEMOLITION ACTIVITIES AND CLEARING AND GRUBBING THE SITE.
 - BEGIN GRADING THE SITE.
 - START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.

- PHASE II**
- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENuded AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
 - INSTALL UNDERDRAIN AND FUEL STORAGE TANKS.
 - INSTALL UTILITIES, FUEL, PIPING, UNDERDRAINS, STORM SEWERS, CURBS AND OUTLETS.
 - PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
 - PREPARE SITE FOR PAVING.
 - PAVE SITE.
 - INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
 - COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS INCLUDING OUT LOTS.
 - CALL ENGINEER OF RECORD AFTER THE SITE APPEARS TO BE FULLY STABILIZED FOR AN INSPECTION.
 - REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER APPROVAL OF THE ENGINEER OF RECORD AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE BMP.
 - CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION IS SIGNED OFF BY THE OWNER THAT THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE TERMINATED.
 - CONTRACTOR TO FILE NOTICE OF TERMINATION APPLICATION TO THE NPDES AND SHALL PROVIDE A COPY OF NPDES APPROVAL TO THE OWNER AND ENGINEER OF RECORD.

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMP'S HAVE BEEN COMPLETELY INSTALLED.

KEYED NOTES

- NEW SILT SOCK TO BE INSTALLED IN CATCH BASINS. REFER TO SHEET C-08 FOR DETAIL.
- NEW SILT SOCK LINE. REFER TO SHEET C-08 FOR DETAIL.
- NEW STABILIZED CONSTRUCTION EXIT. REFER TO SHEET C-08 FOR DETAIL.
- NEW STOCKPILE AREA.
- NEW CONSTRUCTION CHAIN LINK FENCE. REFER TO SHEET C-08 FOR DETAIL.
- NEW SILT FENCE. REFER TO SHEET C-08 FOR DETAIL.
- CART BIN TO BE RELOCATED ON-SITE DURING CONSTRUCTION AND RETURNED TO EXISTING LOCATION UPON COMPLETION OF WORK.

ACREAGE SUMMARY (IN ACRES)

TOTAL PROJECT AREA	18.42
ON-SITE DISTURBED AREA	1.37*
OFF-SITE DISTURBED AREA	0.00
TOTAL DISTURBED AREA (MUST MATCH NDB)	1.37
TOTAL SOIL DISTURBANCE	0.58
IMPERVIOUS AREA AT COMPLETION	1.20
PERVIOUS/ SEEDDED AREA AT COMPLETION	0.17

* ON-SITE DISTURBED AREA INCLUDES ALL AREAS REQUIRED FOR STAGING, STORAGE, PAVEMENT TOPCOAT AND MARKINGS AND ACTUAL SOIL DISTURBANCE. SOIL DISTURBANCE IS LESS THAN ONE ACRE.

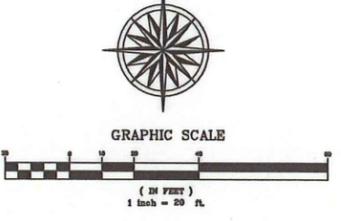
SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

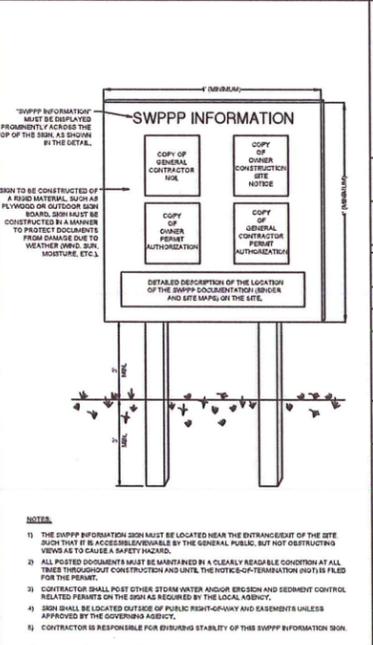
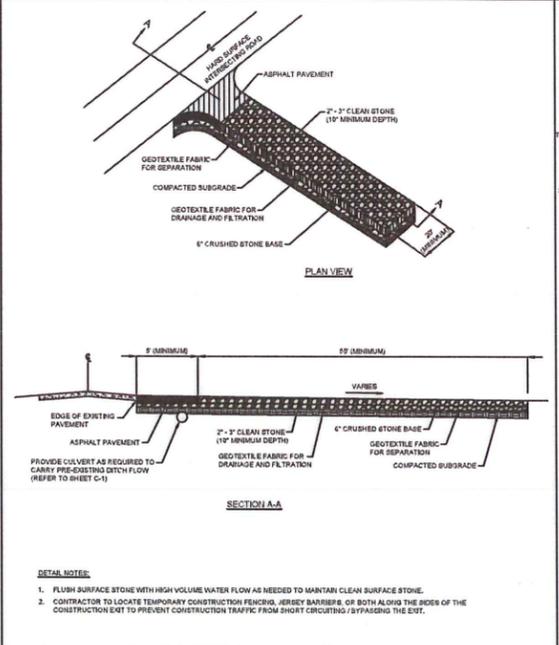
NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR ESTIMATED PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY CONSTRUCTION EXITS												
TEMPORARY CONTROL MEASURES												
SEDIMENT CONTROL BASIN(S)/TRAP(S)												
STRIP & STOCKPILE TOPSOIL												
ROUGH GRADING												
STORM FACILITIES												
SITE CONSTRUCTION												
FINAL GRADING												
PERMANENT CONTROL STRUCTURES												
FOUNDATION / BUILDING CONSTRUCTION												
LANDSCAPING/SEED/FINAL STABILIZATION												

- CONTRACTOR MUST COMPLETE TABLE WITH ESTIMATED DATES OF PROJECT ACTIVITIES PRIOR TO BMP CERTIFICATION.
- THIS SCHEDULE MUST CONFORM WITH THE SWPPP IMPLEMENTATION SEQUENCE.

LAST REVISED: APRIL 30, 2011
 WAL-MART STANDARD DETAIL





ACREAGE SUMMARY (IN ACRES)

1	WAL-MART/SAM'S PROPERTY AREA	18.42
2	PERMITTED AREA WITHIN WAL-MART PROPERTY	1.33
3	PERMITTED AREA OUTSIDE OF WAL-MART PROPERTY	0.00
4	TOTAL PERMITTED PROJECT AREA (MUST MATCH PERM)	1.33
5	IMPERVIOUS AREA BEFORE PROJECT	0.90
6	IMPERVIOUS AREA AT COMPLETION	1.29
7	PERVIOUS AREA AT COMPLETION	0.17

ON-SITE DISTURBED AREA INCLUDES ALL AREAS REQUIRED FOR STAGING, STORAGE, PAVEMENT TOPOG AND MARKINGS AND ACTUAL SOIL DISTURBANCE.

LAST REVISED: JUNE 2013 WAL-MART STANDARD DETAIL

SITE LOCATION SUMMARY

ADDRESS: 335 NORTH MILWAUKEE AVE VERNON HILLS, IL 60061

CENTER OF SITE: LATITUDE: 42.232674 LONGITUDE: -87.941369

ADJACENT SURROUNDING PROPERTIES: THE PROJECT SITE IS BOUNDED BY RETAIL TO THE NORTH, SOUTH, EAST AND WEST. THERE ARE NO ENVIRONMENTALLY SENSITIVE LANDS ADJACENT TO THE PROJECT SITE.

LAST REVISED: JUNE 2012 WAL-MART STANDARD DETAIL

RUNOFF COEFFICIENT SUMMARY

PRE-CONSTRUCTION RUNOFF COEFFICIENT [OR SCS TR-55 CURVE NUMBER]: "c" = 0.80 OR CN =

POST-CONSTRUCTION RUNOFF COEFFICIENT [OR SCS TR-55 CURVE NUMBER]: "c" = 0.77 OR CN =

LAST REVISED: JUNE 2012 WAL-MART STANDARD DETAIL

OFF-SITE RUN-ON SUMMARY

OFF-SITE DRAINAGE AREA	FLOW (CFS)	AREA (ACRES)	AVERAGE SLOPE	MAXIMUM SLOPE	COVER TYPE
AREA 1	X	X	X.XXX%	X.XXX%	
AREA 2	X	X	X.XXX%	X.XXX%	
***	X	X	X.XXX%	X.XXX%	

OFF-SITE RUN-ON DESCRIPTION: OFF-SITE RUN-ON IS NOT EXPECTED AT THIS PROJECT SITE

LAST REVISED: JUNE 2012 WAL-MART STANDARD DETAIL

SITE SOILS SUMMARY

SOIL TYPE AND TEXTURE: LEAN CLAY WITH GRAVEL PER GEOTECHNICAL INVESTIGATION BY PSI DATED: APRIL 4, 2014.

AVERAGE DEPTH OF TOPSOIL: SITE IS OVERLAID WITH PAVEMENT.

AVERAGE DEPTH TO GROUNDWATER: APPROXIMATELY 8.0' BELOW GRADE

NOTE: THE ABOVE SOILS INFORMATION IS FOR INFORMATION ONLY AND SHOULD NOT BE USED FOR BIDDING PURPOSES, CONSTRUCTION COSTS OR ESTIMATING.

LAST REVISED: JUNE 2012 WAL-MART STANDARD DETAIL

CONSTRUCTION EXIT (CE)

SITE TOPOGRAPHY SUMMARY

LOWEST ELEVATION OF PROJECT SITE:	657'
HIGHEST ELEVATION OF PROJECT SITE:	661'
PERCENT SLOPE VARIATION:	THE SITE IS GENERALLY SLOPED FROM WEST TO EAST.
TOPOGRAPHY CHANGES:	THE EXISTING SITE TOPOGRAPHY WILL REMAIN GENERALLY THE SAME WITH DRAINAGE PATTERNS UNCHANGED.]
VEGETATION:	THE PROJECT SITE IS PAVED WITH A PARKING LOT.
AVERAGE SLOPE:	AVERAGE SLOPE IS 2%

LAST REVISED: JUNE 2013 WAL-MART STANDARD DETAIL

SWPPP INFORMATION SIGN (SS)

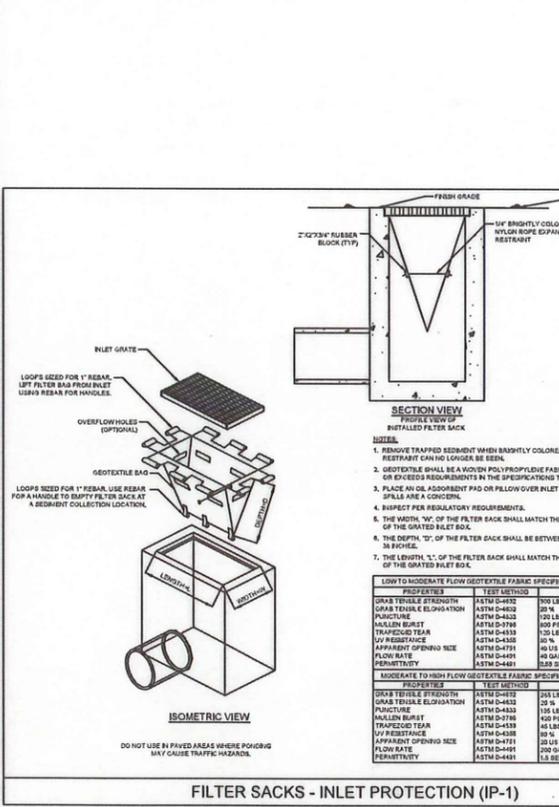
SITE RAINFALL SUMMARY

AVERAGE RAINFALL IN INCHES	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
	1.20	0.90	1.10	1.40	1.60	1.80	2.00	3.60	2.10	1.50	0.90	0.90

THE TOTAL AVERAGE ANNUAL RAINFALL FOR THE PROJECT AREA IS: 35.27 INCHES

THE DESIGN RAIN EVENT FOR THE PROJECT IS: 8 INCHES OR RAINFALL VOLUME FOR SITES WITH NO DISCHARGE TO STORMWATER SEWER OR SURFACE WATERS.

LAST REVISED: JUNE 2012 WAL-MART STANDARD DETAIL



SWPPP INFORMATION SIGN (SS)

SILT SOCK DETAIL

1. All material to meet Filter sock specifications.

2. Siltsack material shall be placed in the work area to be protected.

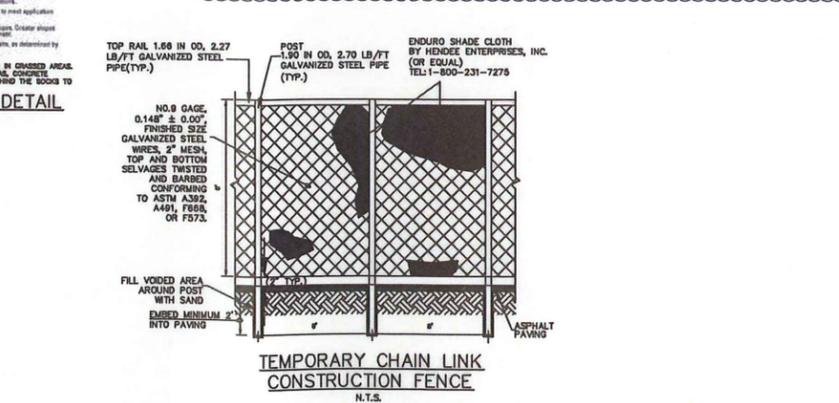
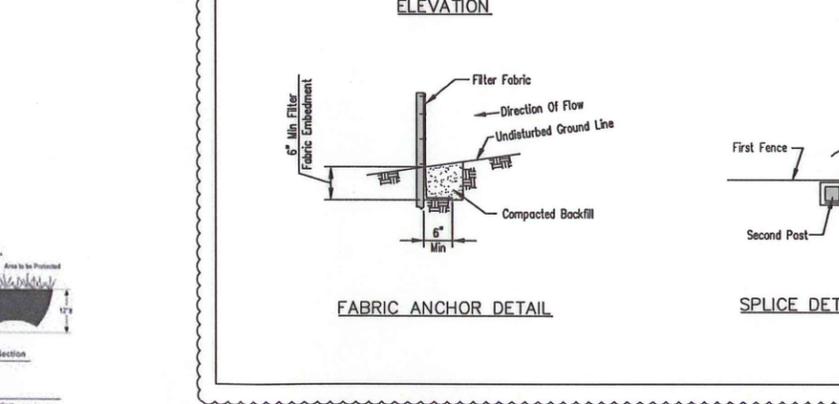
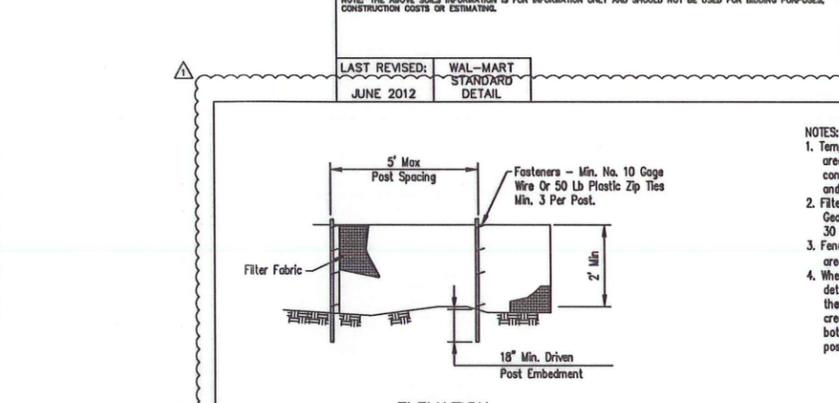
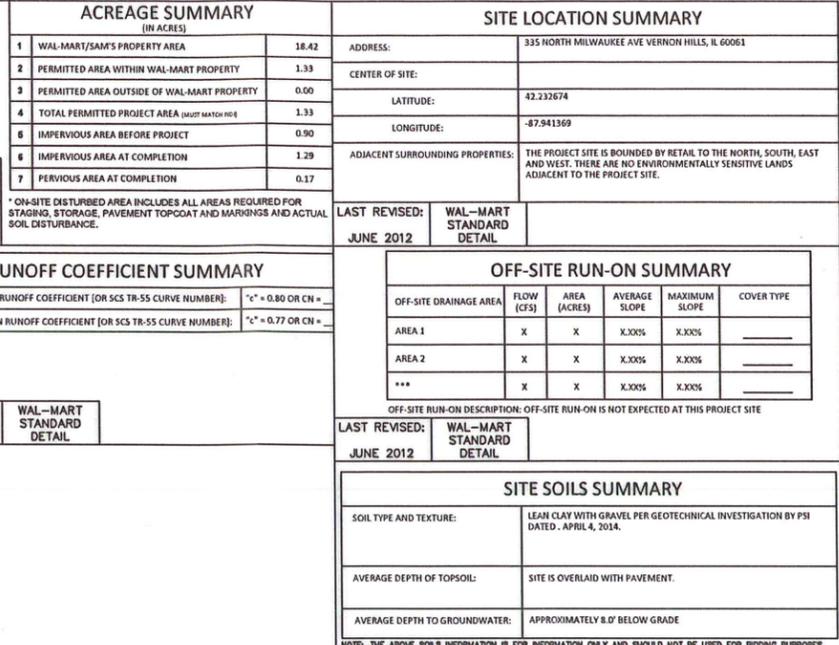
3. Siltsack material shall be placed in the work area to be protected.

4. Compact material to be placed on top, as indicated by legend.

5. WOODEN STAKES TO BE USED IN COVERED AREAS. IF PAVED AND CONCRETE AREAS, CONCRETE BLOCKS SHALL BE PLACED BEHIND THE SOCKS TO HOLD THEM IN PLACE.

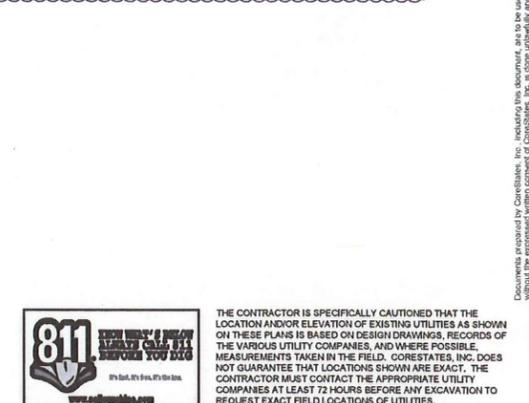
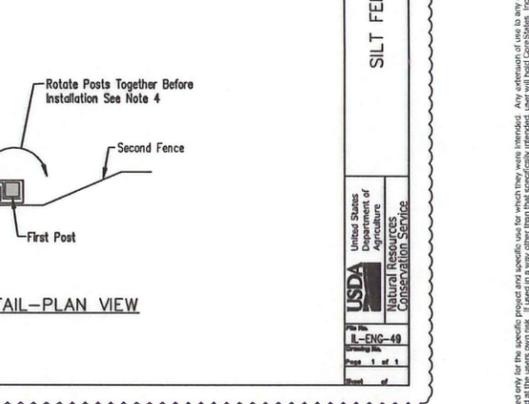
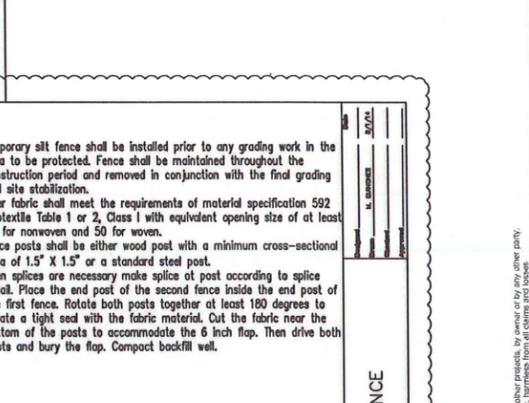
N.T.S.

PROPERTIES	TEST METHOD	GRADE
GRAVITABLE STRENGTH	ASTM D-4832	300 LBS
GRAVITABLE ELONGATION	ASTM D-4832	30%
PUNCTURE	ASTM D-4832	100 LBS
MULLIN BURST	ASTM D-5736	400 FIB
TRAPEZOID TEAR	ASTM D-4832	35 LBS
TEAR RESISTANCE	ASTM D-4832	30%
APPEARANT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/HR/50 FT
PERMEABILITY	ASTM D-4491	5/8 SEC -1



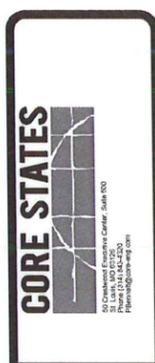
REVISIONS

REVISIONS	DATE
1. VILLAGE COMMENTS	9/25/2015
2. VILLAGE COMMENTS	1/24/2015



REVISIONS

REVISIONS	DATE
1. VILLAGE COMMENTS	9/25/2015
2. VILLAGE COMMENTS	1/24/2015



FUELING STATION AT SAM'S CLUB #6228
 335 N. MILWAUKEE AVE., VERNON HILLS, LAKE COUNTY, IL
 SAM'S REAL ESTATE BUSINESS TRUST
 2001 SE 10TH STREET
 BENTONVILLE, AR 72716



DRAWN	SM
CHECKED	DK
DATE	07/24/2015
SCALE	AS NOTED
JOB NO.	SAM-14308
SHEET	CONSTRUCTION DETAILS C-08
9 OF 14 SHEETS	

SK SKIMMER

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

SWD SOLID WASTE DISPOSAL

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

HWD HAZARDOUS WASTE DISPOSAL

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

SAF SANITARY FACILITIES

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

TP TEMPORARY PARKING

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

SP SOIL MATERIAL STOCKPILE DETAIL

LAST REVISED: NEW YORK STANDARDS AND SPECS.
AUGUST 2005

DW DEWATERING

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2012

REQUIRED DEWATERING PERMITS AND AUTHORIZATIONS			
1	2	3	4
GOVERNING AGENCY	PERMIT NAME/TITLE	PERMIT NO. (GC TO COMPLETE)	DATE PERMIT ISSUED (GC TO COMPLETE)
REFER TO NOTE 1	REFER TO NOTE 1		

MA MASONS' AREA

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

PSW PAINT AND STUCCO WASHOUT

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

FPS FUEL AND PETROLEUM STORAGE AND USE

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

EMA EQUIPMENT AND VEHICLE CLEANING AND MAINTENANCE AREAS

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

SP STOCKPILES

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2012

DC DUST CONTROL

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2012

MA MASONS' AREA

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

FPS FUEL AND PETROLEUM STORAGE AND USE

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

EMA EQUIPMENT AND VEHICLE CLEANING AND MAINTENANCE AREAS

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

IRRIGATION OR DISPERSION

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2012

SVR SEEDING/VEGETATION REQUIREMENTS

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2012

TS TEMPORARY SEEDING OR STABILIZATION

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2012

PS PERMANENT SEEDING, SOD OR MULCHING

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2012

NOTES:
1. SOMMER OR DEWATERING BMP MUST DRAW WATER FROM THE TOP OF THE WATER COLUMN (I.E. WATER SURFACE) PER US EPA CFP.
2. DO NOT USE RISERS WITH PERFORATED PIPE OR ANY OTHER SYSTEM/BMP THAT DRAWS WATER FROM BELOW THE WATER SURFACE.

NOTES:
1. VERIFY WITH GEC WHICH DISCHARGES FROM DEWATERING ACTIVITIES ARE ALLOWED OR ARE NOT ALLOWED. NON-ATMOSPHERIC DISCHARGES UNDER THE GENERAL PERMIT AND OTHER REGULATIONS. OBTAIN ALL DEWATERING PERMITS AND AUTHORIZATIONS REQUIRED BY STATE AND LOCAL REGULATIONS. SEE THE REQUIRED DEWATERING PERMITS AND AUTHORIZATIONS TABLE BELOW. GC MUST COMPLETE COLUMNS 3 AND 4.
2. GC MUST WANT TO HAVE WRITTEN COPY OF ALL REQUIRED DEWATERING PERMITS AND AUTHORIZATIONS BEFORE PERFORMING DEWATERING ACTIVITIES.
3. DISCHARGES FROM DEWATERING OPERATIONS MUST BE DIRECTED THROUGH AN APPROPRIATE POLLUTION PREVENTION/TREATMENT SYSTEM OF CONTROL MEASURES SUCH AS A SEDIMENT/FILTER BAG, SEDIMENT TRAP OR SEDIMENT BASIN AND AS NECESSARY, PRIOR TO BEING DISCHARGED FROM THE SITE OR INTO A WATER BODY OF THE STATE UNDER NO CIRCUMSTANCES ARE DISCHARGES FROM DEWATERING OPERATIONS TO BE DISCHARGED DIRECTLY INTO SANITARY SEWER SYSTEMS, STREAMS, RIVERS, LAKES OR OTHER AREAS BEYOND THE PERMITTED PROJECT AREA. (SEE DISCHARGES INTO STORM SEWER SYSTEMS THAT DO NOT DRAIN TO A SUITABLE ON-SITE TREATMENT FACILITY, SUCH AS A BASIN, ARE ALSO PROHIBITED. DISCHARGES FROM DEWATERING OPERATIONS MUST ALSO BE CONDUCTED IN A MANNER SUFFICIENT TO PREVENT EROSION FROM THE DISCHARGE RUNOFF.
4. IN SEDIMENT TRAP OR BASIN OR POND DEWATERING OPERATIONS, WATER MUST ONLY BE REMOVED FROM THE SURFACE OF THE CONTAINED WATER. A SKIMMER OR SIMILAR FLOATING DEVICE MUST BE USED, TO ONLY REMOVE THE WATER AT THE SURFACE.
5. DO NOT DISCHARGE ON A SLOPE GREATER THAN THREE PERCENT NOR WITHIN 20 FEET OF A SURFACE WATER BODY.
6. DEWATERERS SHALL NOT OCCUR DURING OR IMMEDIATELY AFTER PRECIPITATION EVENTS, BUT EXCEPTIONS SHALL BE EVALUATED ON CASE BY CASE BASIS. CONTACT THE GEC AND RECEIVE WRITTEN APPROVAL.
7. DEWATERING ACTIVITIES ARE IN THIS PROJECT ARE RESTRICTED UNDER THE SOPE'S AUTHORIZATION AND THE CONDITIONS OF THE CONSTRUCTION GENERAL PERMIT.

NOTES:
1. LARGE AREAS OF SOIL THAT ARE DENIVED OF VEGETATION AND HAVE NO PROTECTION FROM PARTICLES BEING PICKED UP AND CARRIED BY WIND SHOULD BE PROTECTED WITH A TEMPORARY COVER OR KEPT UNDER CONTROL WITH WATER OR OTHER SOIL ADHESIVE PRODUCTS TO PREVENT SOIL PARTICLES FROM BECOMING AIRBORNE AND FROM EXITTING THE SITE PERIMETER.
2. WATER TRUCKS OR OTHER DUST CONTROL AGENTS SHALL BE USED AS NEEDED DURING CONSTRUCTION TO MINIMIZE DUST GENERATED ON THE SITE. STOCKPILES MAY BE USED TO HOLD SOIL IN PLACE AND PREVENT DUST. MANUFACTURER RECOMMENDATIONS FOR APPLICATION LOCATIONS AND RATES MUST BE USED FOR DUST CONTROL APPLICATIONS. ONLY APPROVED PRODUCTS THAT ARE LISTED ON THE PROJECT SITE ANY CHEMICAL APPLICATION NOT INCLUDED IN THE SWPPP MUST BE APPROVED, IN WRITING, BY THE GEC.
3. DUST CONTROL MUST BE PROVIDED BY THE GC TO A DEGREE THAT IS IN COMPLIANCE WITH APPLICABLE FEDERAL, LOCAL AND STATE DUST CONTROL REGULATIONS.
4. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
5. IN ADDITION TO BMP'S, GC SHALL PERFORM BEST PRACTICES AND PROCEDURES WHICH MINIMIZE AND PREVENT AIRBORNE DUST OR OTHER PARTICLES FROM OCCURRING.

NOTES:
1. CONSIDERATION MUST BE GIVEN TO ANTICIPATED CLIMATE AND SEASONAL CONDITIONS WHEN PLANTING SEED.
2. SEED SHALL BE FREE OF WEEDY SPECIES AND APPROPRIATE FOR SITE SOILS AND REGIONAL CLIMATE. SEED AND MULCH FOR THE CONSTRUCTION DRAWINGS AND THE 02500 PLANTING SPECIFICATION IMMEDIATELY AFTER TOPSOIL IS APPLIED AND FINAL GRADE IS REACHED.
3. THE SITE HAS ACHIEVED FINAL STABILIZATION ONCE ALL AREAS ARE COVERED WITH BUILDING FOUNDATION OR PAVEMENT, OTHER LANDSCAPING COVER (E.G. MULCH, ETC.) OR HAVE A STAND OF GRASS WITH A MINIMUM OF 80 PERCENT DENSITY OVER THE VEGETATION AREA, OR GREATER IN ACCORDANCE WITH THE GENERAL PERMIT REQUIREMENTS.
4. VEGETATED AREAS MUST BE WATERED, FERTILIZED, AND RESEED AS NEEDED TO ACHIEVE THIS REQUIREMENT.
5. THE VEGETATIVE DENSITY MUST BE MAINTAINED THROUGHOUT PROJECT COMPLETION TO BE CONSIDERED STABILIZED. AREAS PROTECTED BY EROSION CONTROL BLANKETS ARE NOT PERMANENTLY STABILIZED UNTIL THE APPLICABLE GENERAL PERMIT REQUIREMENT FOR FINAL VEGETATIVE DENSITY IS ACHIEVED.
6. KURAP, MULCH, GRAVEL, DECOMPOSED GRANITE OR OTHER EQUIVALENT PERMANENT STABILIZATION MEASURES MAY BE UTILIZED IN LIEU OF VEGETATION BASED ON SITE-SPECIFIC CONDITIONS. DESIGNATED COVERING AUTHORITY APPROVAL IS REQUIRED FOR FINAL VEGETATIVE DENSITY IS ACHIEVED.
7. ALL VEGETATED AREAS SHALL BE INSPECTED REGULARLY TO CONFIRM THAT A HEALTHY STAND OF GRASS IS MAINTAINED.

NOTES:
1. CONTRACTOR SHALL PROVIDE DESIGNATED LOCATION FOR SORTING AND SEPARATING HAZARDOUS WASTES.
2. HAZARDOUS WASTE STORAGE MUST BE PROTECTED FROM WEATHER ELEMENTS AND HAVE RESTRICTED ACCESS.
3. HAZARDOUS WASTE STORAGE MUST COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
4. HAZARDOUS WASTE STORAGE MUST COMPLY WITH CONTRACT DOCUMENTS.

NOTES:
1. MATERIAL STORAGE AREAS SHOULD BE LOCATED, WHEN POSSIBLE, TO MINIMIZE EXPOSURE TO WEATHER. INSPECTIONS SHALL EVALUATE DISTURBED AREAS AND AREAS USED FOR STORAGE MATERIALS THAT ARE EXPOSED TO RAINFALL FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM OR DISCHARGING FROM THE SITE. IF NECESSARY, THE MATERIALS MUST BE COVERED OR ORIGINAL COVERS MUST BE REPAIRED OR SUPPLEMENTED. ALSO, PROTECTIVE BARRIERS MUST BE CONSTRUCTED, IF NEEDED, TO CONTAIN RUNOFF FROM MATERIAL STORAGE AREAS. GC SHALL ADHERE TO ALL STATE AND LOCAL REGULATIONS PERTAINING TO MATERIAL STORAGE AREAS.
2. CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER TOXIC MATERIALS MUST BE STORED IN WATERPROOF CONTAINERS. EXCEPT DURING APPLICATION, THE CONTAINERS AND THE CONTENTS MUST BE KEPT IN TRUCKS OR PILES OF STORAGE FACILITIES. RUNOFF CONTAINING SUCH MATERIAL MUST BE COLLECTED, REMOVED FROM THE SITE, TREATED, AND DISPOSED OF AT AN APPROVED SOLID WASTE AND CHEMICAL DISPOSAL FACILITY.

NOTES:
1. THE GC SHALL IDENTIFY MASONS' AREA WITH LEGIBLE SIGNAGE ON THE SITE. TO THE EXTENT PRACTICAL, ALL MASONS' TOOLS, MATERIAL, INCLUDING SAND AND SACKED CEMENT AND/OR MORTAR MATERIALS, AND EQUIPMENT SHALL BE LOCATED WITHIN THE AREA IDENTIFIED. MATERIALS VULNERABLE TO WEATHER ELEMENTS SHALL BE STORED IN CONTAINERS AT THE END OF EACH WORK DAY. SUCH MATERIALS SHALL REMAIN STORED IN CONTAINERS WHEN NOT IN USE.
2. RUNOFF CONTROL, SUCH AS DIVERSION BARRIERS, SILT FENCE, SILT CRUE, OR OTHER MEANS OF CONTAINMENT SHALL BE PROVIDED TO PREVENT THE MIGRATION OF STORMWATER POLLUTANTS FROM THE MASONS' AREA. COVERED RECEPTACLES FOR DEBRIS AND TRASH DISPOSAL SHALL ALSO BE PROVIDED.
3. THE MASONS' AREA SHALL MEET OSHA AND OTHER REGULATORY REQUIREMENTS FOR PERSONAL PROTECTIVE EQUIPMENT (PPE), FIRE EXTINGUISHERS, ETC. GC SHALL PROVIDE SCREENING OR OTHER TECHNOLOGIES FOR MASONS' AREA TO PREVENT AIRBORNE TRANSPORT OF CEMENT DUST AND OTHER PARTICULATES DUE TO HIGH SPEED WIND OR OTHER CONDITIONS. THE LOCATION OF THE MASONS' AREA SHALL BE SHOWN ON THE SITE MAPS.

NOTES:
THE GC IS REQUIRED TO AT A MINIMUM, INITIATE SOIL STABILIZATION MEASURES IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT LIKELY RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
1. THE GC HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETE SOIL PREPARATION, SEEDING, MULCHING, AND ANY OTHER REQUIRED ACTIVITIES RELATED TO THE PLANTING AND ESTABLISHMENT OF VEGETATION. THE GC ALSO HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETELY INSTALL HIGH-VEGETATED MEASURES, IF UTILIZED.
2. ALL DISTURBED AREAS MUST BE STABILIZED TEMPORARILY WITH THE USE OF FAST-GROWING ANNUAL GRASSSEEDS AND MULCH APPLICATIONS THAT ARE SUITABLE TO THE PLANTING AND ESTABLISHMENT OF VEGETATION. ALL MULCH APPLICATIONS MUST INCLUDE A SUITABLE FORM OF MULCH ANCHORING TO MINIMIZE MOVEMENT OF MULCH BY WIND OR WATER.
3. ALTERNATIVE STABILIZATION MEASURES TO SEEDING, SUCH AS ANCHORED MULCH APPLICATION (WITHOUT SEEDING), MAY BE UTILIZED DURING PERIODS WHEN VEGETATIVE GROWTH IS SLOWLY (E.G. WINTER MONTHS).
4. IT IS NOT ACCEPTABLE TO ALLOW BARE SOIL TO REMAIN EXPOSED AT ANY TIME DURING THE YEAR, REGARDLESS OF WEATHER/TEMPERATURE/VEGETATION CONDITIONS.
5. ALTERNATIVE STABILIZATION MEASURES INCLUDE, BUT ARE NOT LIMITED TO: ANCHORED STRAW/MULCH, WOOD CELLULOSE FIBER MULCH, SPREAD-GOIL SOIL BINDER, AND ROLLED EROSION CONTROL PRODUCTS.
6. ALL ROLLED EROSION CONTROL PRODUCTS SHALL HAVE CURRENT COORDINATING STATUS ISSUED BY THE EROSION CONTROL TECHNOLOGY COUNCIL (ECTC) PLUS ANY STATE OR AGENCY-SPECIFIC REQUIREMENTS. EVIDENCE OF COORDINATING APPROVAL SHALL ACCOMPANY THE PRODUCT SHIPPED TO THE JOBSITE FOR READY IDENTIFICATION BY THE CONTRACTOR OR AGENCY INSPECTOR.
7. ROLLED EROSION CONTROL PRODUCTS (NETS, BLANKETS, TURF REINFORCED MATS) AND VEGETATED AREAS NOT MEETING REQUIRED VEGETATIVE DENSITIES FOR FINAL STABILIZATION MUST BE INSPECTED DAILY. RILING, RUTTING AND OTHER SIGNS OF EROSION INDICATE THE SPECIFIED EROSION CONTROL DEVICE IS NOT FUNCTIONING OR INSTALLED PROPERLY AND/OR ADDITIONAL EROSION CONTROL DEVICES ARE WARRANTED.

NOTES:
1. ALL PERSONNEL INVOLVED WITH CONSTRUCTION ACTIVITIES MUST COMPLY WITH STATE AND LOCAL SANITARY OR SEPTIC SYSTEM REGULATIONS. PORTABLE TOILETS MUST BE LOCATED AT LEAST 20 FEET FROM INLETS, CHANNELS, DRAINS, OR PERMITTED LIMITS OF DISTURBANCE, AND MUST BE LOCATED AT LEAST 60 FEET FROM WATERS OF THE STATE, OR WATERS OF THE U.S. PORTABLE TOILETS MUST BE SECURELY ANCHORED AND/OR TIED DOWN. SECONDARY CONTAINMENT SHALL BE PROVIDED AND FULL CAPACITY SHALL BE RESTORED IMMEDIATELY UPON DISCOVERY OF ITS UNSATISFACTORY. THE LOCATION OF SANITARY FACILITIES SHALL BE SHOWN ON THE SITE MAPS.

NOTES:
1. PROVIDE WASH STATION IN A LOCATION PROTECTED FROM WEATHER ELEMENTS.
2. COLLECT ALL USED WASH WATER AND DISPOSE OF IT PROPERLY.
3. PROVIDE ADEQUATE SUPPLY OF WATER AND ANY OTHER SUPPLIES TO ENSURE PROPER OPERATION OF WASH STATION WHEN NEEDED.

NOTES:
1. THE GC SHALL IDENTIFY FUELING AREAS WITH LEGIBLE SIGNAGE ON THE SITE. TEMPORARY ON-SITE FUEL TANKS FOR CONSTRUCTION VEHICLES SHALL MEET ALL LOCAL, STATE AND FEDERAL REGULATIONS. ALL TANKS, SINGLE AND DOUBLE WALLED, SHALL BE PROVIDED WITH SECONDARY CONTAINMENT (THAT IS CONTAINMENT EXTERNAL TO AND SEPARATE FROM PRIMARY CONTAINMENT). TANKS SHALL HAVE APPROVED SILL CONTAINMENT WITH THE CAPACITY REQUIRED BY THE APPLICABLE REGULATIONS. SECONDARY CONTAINMENT SHALL BE CONSTRUCTED OF MATERIALS OF SUFFICIENT THICKNESS, DENSITY, AND COMPOSITION SO AS NOT TO BE STRUCTURALLY WEAKENED AS A RESULT OF CONTACT WITH THE FUEL STORED AND CAPABLE OF CONTAINING DISCHARGED FUEL FOR A PERIOD OF TIME EQUAL TO OR LONGER THAN THE MAXIMUM ANTICIPATED TIME TO ALLOW RECOVERY OF DISCHARGED FUEL. IT SHALL BE CAPABLE OF CONTAINING 110% OF THE VOLUME OF THE PRIMARY TANK IF A SINGLE TANK IS USED, OR IN THE CASE OF MULTIPLE TANKS, 105% OF THE LARGEST TANK OR 110% OF THE AGGREGATE, WHICHEVER IS LARGER.
2. THE TANKS SHALL BE IN SOUND CONDITION, FREE OF RUST OR OTHER DAMAGE WHICH MIGHT COMPROMISE CONTAINMENT. FUEL STORAGE AREAS SHALL MEET ALL EPA, OSHA AND OTHER REGULATORY REQUIREMENTS FOR STORAGE, FIRE EXTINGUISHERS, ETC. HOSES, VALVES, FITTINGS, AND ASSOCIATED HARDWARE SHALL BE MAINTAINED IN PROPER WORKING CONDITION AT ALL TIMES. TANKS SHALL BE LOCATED TO MINIMIZE EXPOSURE TO WEATHER AND SURFACE WATER DRAINAGE FEATURES. THE LOCATION OF FUEL TANKS SHALL BE SHOWN ON THE SITE MAPS.
3. A SPILL PREVENTION, CONTROL AND COUNTERMEASURE (SPCC) PLAN MUST BE DEVELOPED IF ABOVEGROUND OIL STORAGE CAPACITY AT THE CONSTRUCTION SITE EXCEEDS 1,250 GALLONS OR AS SPECIFIED BY STATE.
4. CONTAINERS WITH A STORAGE CAPACITY OF 55-GALLONS OR LESS ARE NOT INCLUDED WHEN CALCULATING SITE STORAGE CAPACITY. THE GC SHALL WORK WITH THE GEC TO DEVELOP AND IMPLEMENT A SPCC PLAN IN ACCORDANCE WITH THE OIL POLLUTION PREVENTION REGULATION AT TITLE 40 OF THE CODE OF FEDERAL REGULATIONS, PART 112, (40 CFR 112).

NOTES:
1. PERMANENT STABILIZATION SHALL BE ACCOMPLISHED IN ALL DISTURBED AREAS BY COVERING THE SOIL WITH PAVEMENT, BUILDING STRUCTURES, VEGETATION, OR OTHER FORMS OF SOIL STABILIZATION.
2. THE GC IS REQUIRED TO INITIATE PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY UPON REACHING FINAL GRADE. FOR THOSE AREAS NOT AT FINAL GRADE THAT WILL NOT BE DISTURBED FOR GREATER THAN 14 DAYS, THE CONTRACTOR SHOULD INITIATE TEMPORARY STABILIZATION PER THE TEMPORARY SEEDING OR STABILIZATION DETAIL.
3. THE GC HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETE SOIL PREPARATION, SEEDING, MULCHING, AND ANY OTHER REQUIRED ACTIVITIES RELATED TO THE PLANTING AND ESTABLISHMENT OF VEGETATION. THE GC ALSO HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETELY INSTALL HIGH-VEGETATED MEASURES, IF UTILIZED.
SOILS MUST BE PREPARED BEFORE INSTALLATION OF SOD OR SEED. SEE 02500 SPECIFICATION FOR INSTRUCTION ON PROPER SEEDING REQUIREMENTS.
4. AT THE COMPLETION OF GROUND-DISTURBING ACTIVITIES, THE ENTIRE SITE MUST HAVE PERMANENT VEGETATIVE COVER MEETING VEGETATIVE DENSITY REQUIREMENTS OF THE GENERAL PERMIT, OR MULCH PER LANDSCAPE PLAN, IN ALL AREAS NOT COVERED BY HARDSCAPE (PAVEMENT, BUILDINGS, ETC.).
5. SEEDING AREAS SHALL BE PROTECTED WITH STRAW MULCH, HYDRAULIC MULCH OR ROLLED EROSION CONTROL PRODUCT. STRAW MULCH MUST BE ANCHORED OR CRIMPED BY DISC OR OTHER MACHINERY, AND ROLLED EROSION CONTROL PRODUCTS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. ONLY ROLLED EROSION CONTROL PRODUCTS ARE PERMITTED TO BE USED IN FLOW CONVEYANCES.
6. ALL AREAS TO BE SEEDED MUST MEET TOPSOIL DEPTH, PH AND ORGANIC CONTENT REQUIREMENTS. SEE 02500 SPECIFICATION FOR INSTRUCTION ON PROPER SEEDING REQUIREMENTS.
7. FINAL SITE STABILIZATION IS ACHIEVED WHEN PERENNIAL VEGETATIVE COVER PERMANENT ESTABLISHMENT WITH A UNIFORM DENSITY GREATER THAN 80 PERCENT OVER THE ENTIRE AREA TO BE STABILIZED BY VEGETATIVE COVER. THE AREA IS INCLUDED IN AREAS THAT ARE COVERED WITH ROCK COULSED GRANITE, GRAVEL, ETC.) OR LANDSCAPE MULCH, PAVED OR HAVE A BUILDING OR OTHER PERMANENT STRUCTURE ON THEM.

NOTES:
1. CONSTRUCT SEDIMENT FENCE ON LOW SIDE OF TOPSOIL STOCKPILE TO PREVENT SEDIMENT FROM BEING WASHED INTO THE DRAINAGE SYSTEM. FENCE TO EXTEND AROUND APPROXIMATELY 75% OF THE PERIMETER OF THE STOCKPILE.
2. LOCATE FENCE DOWN SLOPE OF FABRIC TO HELP SUPPORT FENCING.
3. BURY 10% OF FENCE APPROXIMATELY 4" DEEP TO PREVENT UNDERCUTTING.
4. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FABRIC AT A SUPPORT POST WITH OVERLAP TO THE NEXT DOCK.
5. FILTER FABRIC TO BE OF NYLON, POLYESTER, PROPYLENE OR ETHYLENE YARN WITH EXTRA STRENGTH, 3/4" TO 1" IN MESH SIZE, AND WITH A FLOW RATE OF AT LEAST 3.3 GALLONS PER MINUTE. FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS.
6. POST TO BE 4" DIAMETER PIPE WITH A MINIMUM LENGTH OF 4 FEET.

NOTES:
1. THE GC SHALL DESIGNATE AREAS ON THE SITE MAPS FOR EQUIPMENT CLEANING, MAINTENANCE, AND REPAIR. THE GC AND SUBCONTRACTORS SHALL UTILIZE SUCH DESIGNATED AREAS. CLEANING, MAINTENANCE, AND REPAIR AREAS SHALL BE PROTECTED BY A TEMPORARY FIBERGLASS BARRIER SHALL NOT OCCUR WITHIN 150 FEET OF ANY WATERWAY, WATER BODY OR WETLAND, AND SHALL OCCUR IN AREAS LOCATED AS FAR AS PRACTICAL FROM STORM SEWER INLETS. DRIP PAN SHALL BE USED FOR VEHICLE MAINTENANCE ACTIVITIES AND RESISTANT WASTES SHALL BE DISPOSED OF IN ACCORDANCE WITH THE HAZARDOUS MATERIAL, MANAGEMENT AND SPILL REPORTING PLAN NOTES INCLUDED ON THIS PLAN SHEET.
2. USE OF DETERGENTS FOR LARGE SCALE WASHING IS PROHIBITED FOR EXAMPLE, WASHING VEHICLES, BUILDINGS, PAVEMENT SURFACES, ETC.). ALL WASH WATER SHALL BE CAPTURED AND PROPERLY TREATED OR EXPOSED.

NOTES:
1. PERMANENT STABILIZATION SHALL BE ACCOMPLISHED IN ALL DISTURBED AREAS BY COVERING THE SOIL WITH PAVEMENT, BUILDING STRUCTURES, VEGETATION, OR OTHER FORMS OF SOIL STABILIZATION.
2. THE GC IS REQUIRED TO INITIATE PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY UPON REACHING FINAL GRADE. FOR THOSE AREAS NOT AT FINAL GRADE THAT WILL NOT BE DISTURBED FOR GREATER THAN 14 DAYS, THE CONTRACTOR SHOULD INITIATE TEMPORARY STABILIZATION PER THE TEMPORARY SEEDING OR STABILIZATION DETAIL.
3. THE GC HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETE SOIL PREPARATION, SEEDING, MULCHING, AND ANY OTHER REQUIRED ACTIVITIES RELATED TO THE PLANTING AND ESTABLISHMENT OF VEGETATION. THE GC ALSO HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETELY INSTALL HIGH-VEGETATED MEASURES, IF UTILIZED.
SOILS MUST BE PREPARED BEFORE INSTALLATION OF SOD OR SEED. SEE 02500 SPECIFICATION FOR INSTRUCTION ON PROPER SEEDING REQUIREMENTS.
4. AT THE COMPLETION OF GROUND-DISTURBING ACTIVITIES, THE ENTIRE SITE MUST HAVE PERMANENT VEGETATIVE COVER MEETING VEGETATIVE DENSITY REQUIREMENTS OF THE GENERAL PERMIT, OR MULCH PER LANDSCAPE PLAN, IN ALL AREAS NOT COVERED BY HARDSCAPE (PAVEMENT, BUILDINGS, ETC.).
5. SEEDING AREAS SHALL BE PROTECTED WITH STRAW MULCH, HYDRAULIC MULCH OR ROLLED EROSION CONTROL PRODUCT. STRAW MULCH MUST BE ANCHORED OR CRIMPED BY DISC OR OTHER MACHINERY, AND ROLLED EROSION CONTROL PRODUCTS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. ONLY ROLLED EROSION CONTROL PRODUCTS ARE PERMITTED TO BE USED IN FLOW CONVEYANCES.
6. ALL AREAS TO BE SEEDED MUST MEET TOPSOIL DEPTH, PH AND ORGANIC CONTENT REQUIREMENTS. SEE 02500 SPECIFICATION FOR INSTRUCTION ON PROPER SEEDING REQUIREMENTS.
7. FINAL SITE STABILIZATION IS ACHIEVED WHEN PERENNIAL VEGETATIVE COVER PERMANENT ESTABLISHMENT WITH A UNIFORM DENSITY GREATER THAN 80 PERCENT OVER THE ENTIRE AREA TO BE STABILIZED BY VEGETATIVE COVER. THE AREA IS INCLUDED IN AREAS THAT ARE COVERED WITH ROCK COULSED GRANITE, GRAVEL, ETC.) OR LANDSCAPE MULCH, PAVED OR HAVE A BUILDING OR OTHER PERMANENT STRUCTURE ON THEM.

NOTES:
1. PERMANENT STABILIZATION SHALL BE ACCOMPLISHED IN ALL DISTURBED AREAS BY COVERING THE SOIL WITH PAVEMENT, BUILDING STRUCTURES, VEGETATION, OR OTHER FORMS OF SOIL STABILIZATION.
2. THE GC IS REQUIRED TO INITIATE PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY UPON REACHING FINAL GRADE. FOR THOSE AREAS NOT AT FINAL GRADE THAT WILL NOT BE DISTURBED FOR GREATER THAN 14 DAYS, THE CONTRACTOR SHOULD INITIATE TEMPORARY STABILIZATION PER THE TEMPORARY SEEDING OR STABILIZATION DETAIL.
3. THE GC HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETE SOIL PREPARATION, SEEDING, MULCHING, AND ANY OTHER REQUIRED ACTIVITIES RELATED TO THE PLANTING AND ESTABLISHMENT OF VEGETATION. THE GC ALSO HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETELY INSTALL HIGH-VEGETATED MEASURES, IF UTILIZED.
SOILS MUST BE PREPARED BEFORE INSTALLATION OF SOD OR SEED. SEE 02500 SPECIFICATION FOR INSTRUCTION ON PROPER SEEDING REQUIREMENTS.
4. AT THE COMPLETION OF GROUND-DISTURBING ACTIVITIES, THE ENTIRE SITE MUST HAVE PERMANENT VEGETATIVE COVER MEETING VEGETATIVE DENSITY REQUIREMENTS OF THE GENERAL PERMIT, OR MULCH PER LANDSCAPE PLAN, IN ALL AREAS NOT COVERED BY HARDSCAPE (PAVEMENT, BUILDINGS, ETC.).
5. SEEDING AREAS SHALL BE PROTECTED WITH STRAW MULCH, HYDRAULIC MULCH OR ROLLED EROSION CONTROL PRODUCT. STRAW MULCH MUST BE ANCHORED OR CRIMPED BY DISC OR OTHER MACHINERY, AND ROLLED EROSION CONTROL PRODUCTS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. ONLY ROLLED EROSION CONTROL PRODUCTS ARE PERMITTED TO BE USED IN FLOW CONVEYANCES.
6. ALL AREAS TO BE SEEDED MUST MEET TOPSOIL DEPTH, PH AND ORGANIC CONTENT REQUIREMENTS. SEE 02500 SPECIFICATION FOR INSTRUCTION ON PROPER SEEDING REQUIREMENTS.
7. FINAL SITE STABILIZATION IS ACHIEVED WHEN PERENNIAL VEGETATIVE COVER PERMANENT ESTABLISHMENT WITH A UNIFORM DENSITY GREATER THAN 80 PERCENT OVER THE ENTIRE AREA TO BE STABILIZED BY VEGETATIVE COVER. THE AREA IS INCLUDED IN AREAS THAT ARE COVERED WITH ROCK COULSED GRANITE, GRAVEL, ETC.) OR LANDSCAPE MULCH, PAVED OR HAVE A BUILDING OR OTHER PERMANENT STRUCTURE ON THEM.

NOTES:
1. CONSTRUCT SEDIMENT FENCE ON LOW SIDE OF TOPSOIL STOCKPILE TO PREVENT SEDIMENT FROM BEING WASHED INTO THE DRAINAGE SYSTEM. FENCE TO EXTEND AROUND APPROXIMATELY 75% OF THE PERIMETER OF THE STOCKPILE.
2. LOCATE FENCE DOWN SLOPE OF FABRIC TO HELP SUPPORT FENCING.
3. BURY 10% OF FENCE APPROXIMATELY 4" DEEP TO PREVENT UNDERCUTTING.
4. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FABRIC AT A SUPPORT POST WITH OVERLAP TO THE NEXT DOCK.
5. FILTER FABRIC TO BE OF NYLON, POLYESTER, PROPYLENE OR ETHYLENE YARN WITH EXTRA STRENGTH, 3/4" TO 1" IN MESH SIZE, AND WITH A FLOW RATE OF AT LEAST 3.3 GALLONS PER MINUTE. FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS.
6. POST TO BE 4" DIAMETER PIPE WITH A MINIMUM LENGTH OF 4 FEET.

NOTES:
1. THE GC SHALL DESIGNATE AREAS ON THE SITE MAPS FOR EQUIPMENT CLEANING, MAINTENANCE, AND REPAIR. THE GC AND SUBCONTRACTORS SHALL UTILIZE SUCH DESIGNATED AREAS. CLEANING, MAINTENANCE, AND REPAIR AREAS SHALL BE PROTECTED BY A TEMPORARY FIBERGLASS BARRIER SHALL NOT OCCUR WITHIN 150 FEET OF ANY WATERWAY, WATER BODY OR WETLAND, AND SHALL OCCUR IN AREAS LOCATED AS FAR AS PRACTICAL FROM STORM SEWER INLETS. DRIP PAN SHALL BE USED FOR VEHICLE MAINTENANCE ACTIVITIES AND RESISTANT WASTES SHALL BE DISPOSED OF IN ACCORDANCE WITH THE HAZARDOUS MATERIAL, MANAGEMENT AND SPILL REPORTING PLAN NOTES INCLUDED ON THIS PLAN SHEET.
2. USE OF DETERGENTS FOR LARGE SCALE WASHING IS PROHIBITED FOR EXAMPLE, WASHING VEHICLES, BUILDINGS, PAVEMENT SURFACES, ETC.). ALL WASH WATER SHALL BE CAPTURED AND PROPERLY TREATED OR EXPOSED.

NOTES:
1. PERMANENT STABILIZATION SHALL BE ACCOMPLISHED IN ALL DISTURBED AREAS BY COVERING THE SOIL WITH PAVEMENT, BUILDING STRUCTURES, VEGETATION, OR OTHER FORMS OF SOIL STABILIZATION.
2. THE GC IS REQUIRED TO INITIATE PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY UPON REACHING FINAL GRADE. FOR THOSE AREAS NOT AT FINAL GRADE THAT WILL NOT BE DISTURBED FOR GREATER THAN 14 DAYS, THE CONTRACTOR SHOULD INITIATE TEMPORARY STABILIZATION PER THE TEMPORARY SEEDING OR STABILIZATION DETAIL.
3. THE GC HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETE SOIL PREPARATION, SEEDING, MULCHING, AND ANY OTHER REQUIRED ACTIVITIES RELATED TO THE PLANTING AND ESTABLISHMENT OF VEGETATION. THE GC ALSO HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETELY INSTALL HIGH-VEGETATED MEASURES, IF UTILIZED.
SOILS MUST BE PREPARED BEFORE INSTALLATION OF SOD OR SEED. SEE 02500 SPECIFICATION FOR INSTRUCTION ON PROPER SEEDING REQUIREMENTS.
4. AT THE COMPLETION OF GROUND-DISTURBING ACTIVITIES, THE ENTIRE SITE MUST HAVE PERMANENT VEGETATIVE COVER MEETING VEGETATIVE DENSITY REQUIREMENTS OF THE GENERAL PERMIT, OR MULCH PER LANDSCAPE PLAN, IN ALL AREAS NOT COVERED BY HARDSCAPE (PAVEMENT, BUILDINGS, ETC.).
5. SEEDING AREAS SHALL BE PROTECTED WITH STRAW MULCH, HYDRAULIC MULCH OR ROLLED EROSION CONTROL PRODUCT. STRAW MULCH MUST BE ANCHORED OR CRIMPED BY DISC OR OTHER MACHINERY, AND ROLLED EROSION CONTROL PRODUCTS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. ONLY ROLLED EROSION CONTROL PRODUCTS ARE PERMITTED TO BE USED IN FLOW CONVEYANCES.
6. ALL AREAS TO BE SEEDED MUST MEET TOPSOIL DEPTH, PH AND ORGANIC CONTENT REQUIREMENTS. SEE 02500 SPECIFICATION FOR INSTRUCTION ON PROPER SEEDING REQUIREMENTS.
7. FINAL SITE STABILIZATION IS ACHIEVED WHEN PERENNIAL VEGETATIVE COVER PERMANENT ESTABLISHMENT WITH A UNIFORM DENSITY GREATER THAN 80 PERCENT OVER THE ENTIRE AREA TO BE STABILIZED BY VEGETATIVE COVER. THE AREA IS INCLUDED IN AREAS THAT ARE COVERED WITH ROCK COULSED GRANITE, GRAVEL, ETC.) OR LANDSCAPE MULCH, PAVED OR HAVE A BUILDING OR OTHER PERMANENT STRUCTURE ON THEM.

NOTES:
1. PERMANENT STABILIZATION SHALL BE ACCOMPLISHED IN ALL DISTURBED AREAS BY COVERING THE SOIL WITH PAVEMENT, BUILDING STRUCTURES, VEGETATION, OR OTHER FORMS OF SOIL STABILIZATION.
2. THE GC IS REQUIRED TO INITIATE PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY UPON REACHING FINAL GRADE. FOR THOSE AREAS NOT AT FINAL GRADE THAT WILL NOT BE DISTURBED FOR GREATER THAN 14 DAYS, THE CONTRACTOR SHOULD INITIATE TEMPORARY STABILIZATION PER THE TEMPORARY SEEDING OR STABILIZATION DETAIL.
3. THE GC HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETE SOIL PREPARATION, SEEDING, MULCHING, AND ANY OTHER REQUIRED ACTIVITIES RELATED TO THE PLANTING AND ESTABLISHMENT OF VEGETATION. THE GC ALSO HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETELY INSTALL HIGH-VEGETATED MEASURES, IF UTILIZED.
SOILS MUST BE PREPARED BEFORE INSTALLATION OF SOD OR SEED. SEE 02500 SPECIFICATION FOR INSTRUCTION ON PROPER SEEDING REQUIREMENTS.
4. AT THE COMPLETION OF GROUND-DISTURBING ACTIVITIES, THE ENTIRE SITE MUST HAVE PERMANENT VEGETATIVE COVER MEETING VEGETATIVE DENSITY REQUIREMENTS OF THE GENERAL PERMIT, OR MULCH PER LANDSCAPE PLAN, IN ALL AREAS NOT COVERED BY HARDSCAPE (PAVEMENT, BUILDINGS, ETC.).
5. SEEDING AREAS SHALL BE PROTECTED WITH STRAW MULCH, HYDRAULIC MULCH OR ROLLED EROSION CONTROL PRODUCT. STRAW MULCH MUST BE ANCHORED OR CRIMPED BY DISC OR OTHER MACHINERY, AND ROLLED EROSION CONTROL PRODUCTS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. ONLY ROLLED EROSION CONTROL PRODUCTS ARE PERMITTED TO BE USED IN FLOW CONVEYANCES.
6. ALL AREAS TO BE SEEDED MUST MEET TOPSOIL DEPTH, PH AND ORGANIC CONTENT REQUIREMENTS. SEE 02500 SPECIFICATION FOR INSTRUCTION ON PROPER SEEDING REQUIREMENTS.
7. FINAL SITE STABILIZATION IS ACHIEVED WHEN PERENNIAL VEGETATIVE COVER PERMANENT ESTABLISHMENT WITH A UNIFORM DENSITY GREATER THAN 80 PERCENT OVER THE ENTIRE AREA TO BE STABILIZED BY VEGETATIVE COVER. THE AREA IS INCLUDED IN AREAS THAT ARE COVERED WITH ROCK COULSED GRANITE, GRAVEL, ETC.) OR LANDSCAPE MULCH, PAVED OR HAVE A BUILDING OR OTHER PERMANENT STRUCTURE ON THEM.

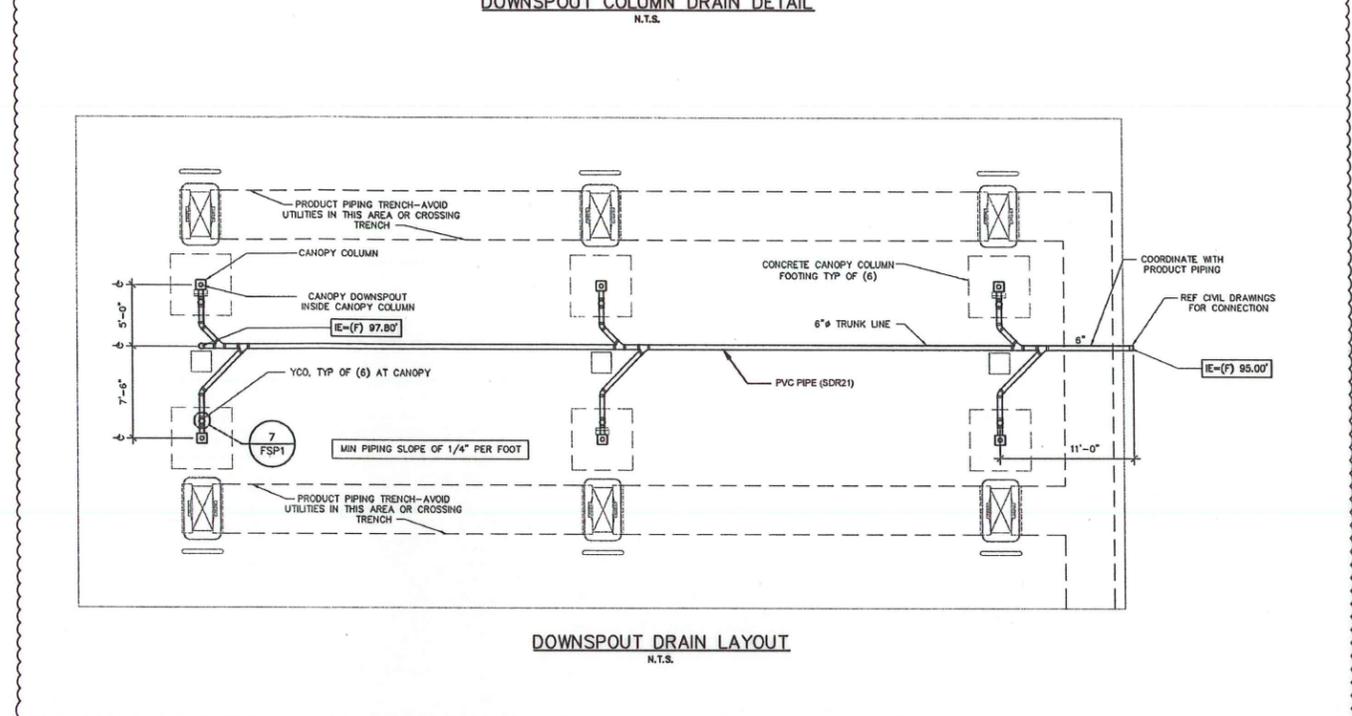
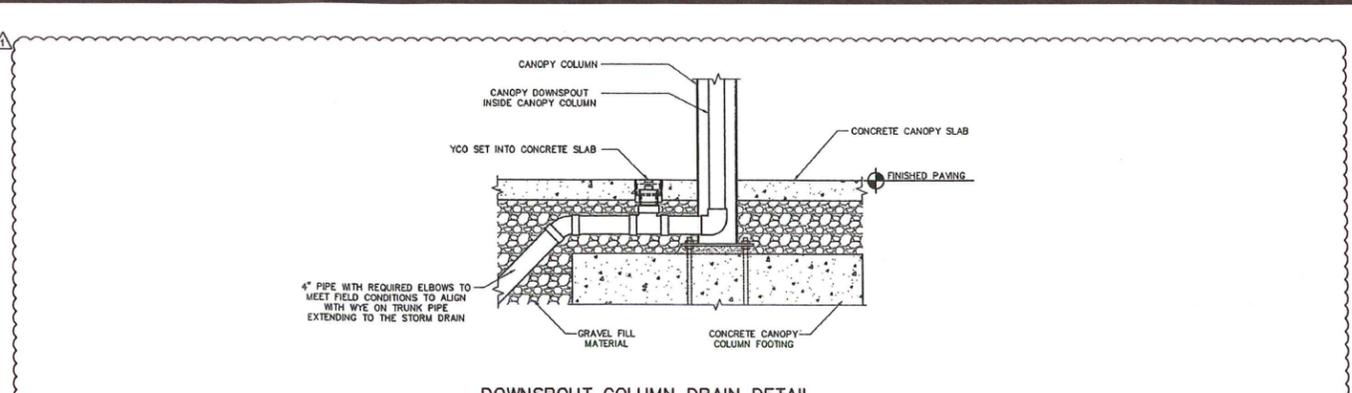
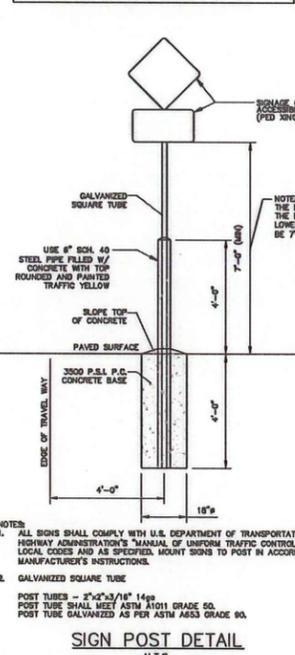
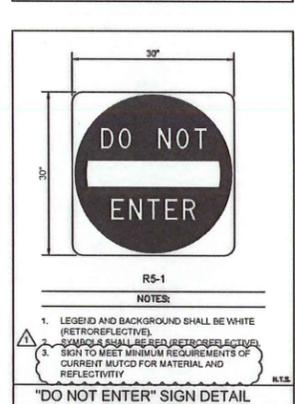
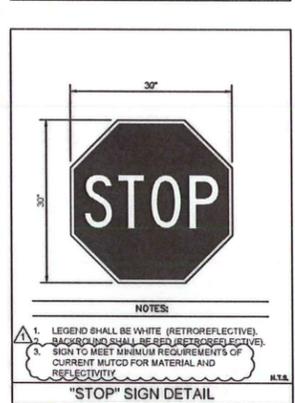
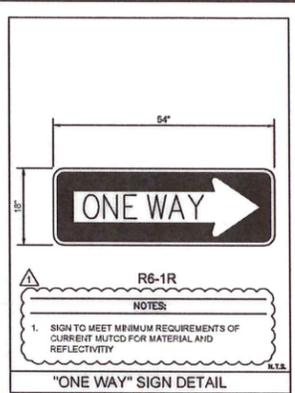
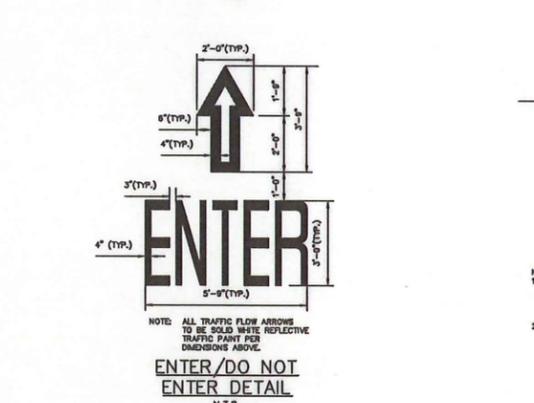
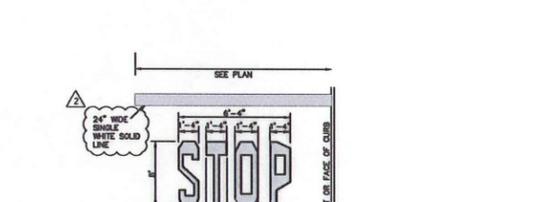
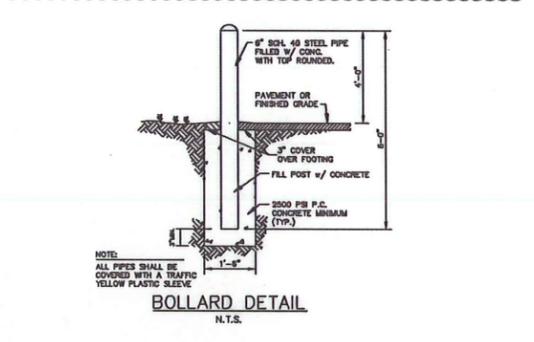
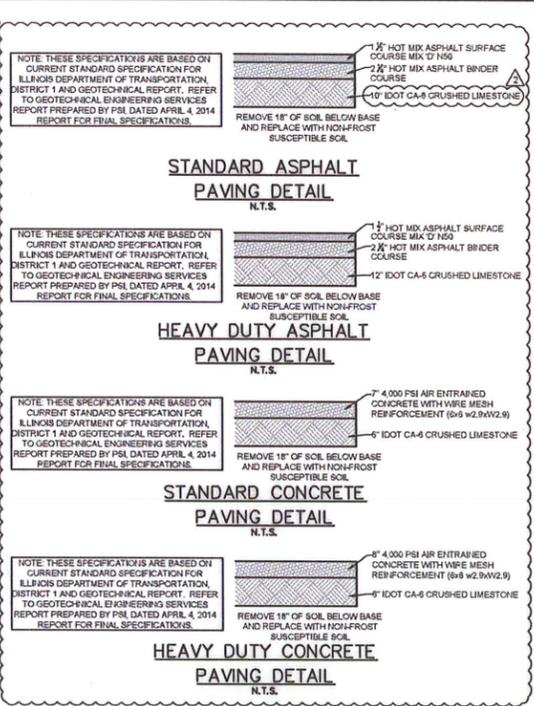
NOTES:
1. CONSTRUCT SEDIMENT FENCE ON LOW SIDE OF TOPSOIL STOCKPILE TO PREVENT SEDIMENT FROM BEING WASHED INTO THE DRAINAGE SYSTEM. FENCE TO EXTEND AROUND APPROXIMATELY 75% OF THE PERIMETER OF THE STOCKPILE.
2. LOCATE FENCE DOWN SLOPE OF FABRIC TO HELP SUPPORT FENCING.
3. BURY 10% OF FENCE APPROXIMATELY 4" DEEP TO PREVENT UNDERCUTTING.
4. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FABRIC AT A SUPPORT POST WITH OVERLAP TO THE NEXT DOCK.
5. FILTER FABRIC TO BE OF NYLON, POLYESTER, PROPYLENE OR ETHYLENE YARN WITH EXTRA STRENGTH, 3/4" TO 1" IN MESH SIZE, AND WITH A FLOW RATE OF AT LEAST 3.3 GALLONS PER MINUTE. FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS.
6. POST TO BE 4" DIAMETER PIPE WITH A MINIMUM LENGTH OF 4 FEET.

NOTES:
1. THE GC SHALL DESIGNATE AREAS ON THE SITE MAPS FOR EQUIPMENT CLEANING, MAINTENANCE, AND REPAIR. THE GC AND SUBCONTRACTORS SHALL UTILIZE SUCH DESIGNATED AREAS. CLEANING, MAINTENANCE, AND REPAIR AREAS SHALL BE PROTECTED BY A TEMPORARY FIBERGLASS BARRIER SHALL NOT OCCUR WITHIN 150 FEET OF ANY WATERWAY, WATER BODY OR WETLAND, AND SHALL OCCUR IN AREAS LOCATED AS FAR AS PRACTICAL FROM STORM SEWER INLETS. DRIP PAN SHALL BE USED FOR VEHICLE MAINTENANCE ACTIVITIES AND RESISTANT WASTES SHALL BE DISPOSED OF IN ACCORDANCE WITH THE HAZARDOUS MATERIAL, MANAGEMENT AND SPILL REPORTING PLAN NOTES INCLUDED ON THIS PLAN SHEET.
2. USE OF DETERGENTS FOR LARGE SCALE WASHING IS PROHIBITED FOR EXAMPLE, WASHING VEHICLES, BUILDINGS, PAVEMENT SURFACES, ETC.). ALL WASH WATER SHALL BE CAPTURED AND PROPERLY TREATED OR EXPOSED.

NOTES:
1. PERMANENT STABILIZATION SHALL BE ACCOMPLISHED IN ALL DISTURBED AREAS BY COVERING THE SOIL WITH PAVEMENT, BUILDING STRUCTURES, VEGETATION, OR OTHER FORMS OF SOIL STABILIZATION.
2. THE GC IS REQUIRED TO INITIATE PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY UPON REACHING FINAL GRADE. FOR THOSE AREAS NOT AT FINAL GRADE THAT WILL NOT BE DISTURBED FOR GREATER THAN 14 DAYS, THE CONTRACTOR SHOULD INITIATE TEMPORARY STABILIZATION PER THE TEMPORARY SEEDING OR STABILIZATION DETAIL.
3. THE GC HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETE SOIL PREPARATION, SEEDING, MULCHING, AND ANY OTHER REQUIRED ACTIVITIES RELATED TO THE PLANTING AND ESTABLISHMENT OF VEGETATION. THE GC ALSO HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETELY INSTALL HIGH-VEGETATED MEASURES, IF UTILIZED.
SOILS MUST BE PREPARED BEFORE INSTALLATION OF SOD OR SEED. SEE 02500 SPECIFICATION FOR INSTRUCTION ON PROPER SEEDING REQUIREMENTS.
4. AT THE COMPLETION OF GROUND-DISTURBING ACTIVITIES, THE ENTIRE SITE MUST HAVE PERMANENT VEGETATIVE COVER MEETING VEGETATIVE DENSITY REQUIREMENTS OF THE GENERAL PERMIT, OR MULCH PER LANDSCAPE PLAN, IN ALL AREAS NOT COVERED BY HARDSCAPE (PAVEMENT, BUILDINGS, ETC.).
5. SEEDING AREAS SHALL BE PROTECTED WITH STRAW MULCH, HYDRAULIC MULCH OR ROLLED EROSION CONTROL PRODUCT. STRAW MULCH MUST BE ANCHORED OR CRIMPED BY DISC OR OTHER MACHINERY, AND ROLLED EROSION CONTROL PRODUCTS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. ONLY ROLLED EROSION CONTROL PRODUCTS ARE PERMITTED TO BE USED IN FLOW CONVEYANCES.
6. ALL AREAS TO BE SEEDED MUST MEET TOPSOIL DEPTH, PH AND ORGANIC CONTENT REQUIREMENTS. SEE 02500 SPECIFICATION FOR INSTRUCTION ON PROPER SEEDING REQUIREMENTS.
7. FINAL SITE STABILIZATION IS ACHIEVED WHEN PERENNIAL VEGETATIVE COVER PERMANENT ESTABLISHMENT WITH A UNIFORM DENSITY GREATER THAN 80 PERCENT OVER THE ENTIRE AREA TO BE STABILIZED BY VEGETATIVE COVER. THE AREA IS INCLUDED IN AREAS THAT ARE COVERED WITH ROCK COULSED GRANITE, GRAVEL, ETC.) OR LANDSCAPE MULCH, PAVED OR HAVE A BUILDING OR OTHER PERMANENT STRUCTURE ON THEM.

NOTES:
1. PERMANENT STABILIZATION SHALL BE ACCOMPLISHED IN ALL DISTURBED AREAS BY COVERING THE SOIL WITH PAVEMENT, BUILDING STRUCTURES, VEGETATION, OR OTHER FORMS OF SOIL STABILIZATION.
2. THE GC IS REQUIRED TO INITIATE PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY UPON REACHING FINAL GRADE. FOR THOSE AREAS NOT AT FINAL GRADE THAT WILL NOT BE DISTURBED FOR GREATER THAN 14 DAYS, THE CONTRACTOR SHOULD INITIATE TEMPORARY STABILIZATION PER THE TEMPORARY SEEDING OR STABILIZATION DETAIL.
3. THE GC HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETE SOIL PREPARATION, SEEDING, MULCHING, AND ANY OTHER REQUIRED ACTIVITIES RELATED TO THE PLANTING AND ESTABLISHMENT OF VEGETATION. THE GC ALSO HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETELY INSTALL HIGH-VEGETATED MEASURES, IF UTILIZED.
SOILS MUST BE PREPARED BEFORE INSTALLATION OF SOD OR SEED. SEE 02500 SPECIFICATION FOR INSTRUCTION ON PROPER SEEDING REQUIREMENTS.
4. AT THE COMPLETION OF GROUND-DISTURBING ACTIVITIES, THE ENTIRE SITE MUST HAVE PERMANENT VEGETATIVE COVER MEETING VEGETATIVE DENSITY REQUIREMENTS OF THE GENERAL PERMIT, OR MULCH PER LANDSCAPE PLAN, IN ALL AREAS NOT COVERED BY HARDSCAPE (PAVEMENT, BUILDINGS, ETC.).
5. SEEDING AREAS SHALL BE PROTECTED WITH STRAW MULCH, HYDRAULIC MULCH OR ROLLED EROSION CONTROL PRODUCT. STRAW MULCH MUST BE ANCHORED OR CRIMPED BY DISC OR OTHER MACHINERY, AND ROLLED EROSION CONTROL PRODUCTS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. ONLY ROLLED EROSION CONTROL PRODUCTS ARE PERMITTED TO BE USED IN FLOW CONVEYANCES.
6. ALL AREAS TO BE SEEDED MUST MEET TOPSOIL DEPTH, PH AND ORGANIC CONTENT REQUIREMENTS. SEE 02500 SPECIFICATION FOR INSTRUCTION ON PROPER SEEDING REQUIREMENTS.
7. FINAL SITE STABILIZATION IS ACHIEVED WHEN PERENNIAL VEGETATIVE COVER PERMANENT ESTABLISHMENT WITH A UNIFORM DENSITY GREATER THAN 80 PERCENT OVER THE ENTIRE AREA TO BE STABILIZED BY VEGETATIVE COVER. THE AREA IS INCLUDED IN AREAS THAT ARE COVERED WITH ROCK COULSED GRANITE, GRAVEL, ETC.) OR LANDSCAPE MULCH, PAVED OR HAVE A BUILDING OR OTHER PERMANENT STRUCTURE ON THEM.

NOTES:
1. CONSTRUCT SEDIMENT FENCE ON LOW SIDE OF TOPSOIL STOCKPILE TO PREVENT SEDIMENT FROM BEING WASHED INTO THE DRAINAGE SYSTEM. FENCE TO EXTEND AROUND APPROXIMATELY 75% OF THE PERIMETER OF THE STOCKPILE.
2. LOCATE FENCE DOWN SLOPE OF FABRIC TO HELP SUPPORT FENCING.
3. BURY 10% OF FENCE APPROXIMATELY 4" DEEP TO PREVENT UNDERCUTTING.
4. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FABRIC AT A SUPPORT POST WITH OVERLAP TO THE NEXT DOCK.
5. FILTER FABRIC TO BE OF NYLON, POLYESTER, PROPYLENE OR ETHYLENE YARN WITH EXTRA STRENGTH, 3/4" TO 1" IN MESH SIZE, AND WITH A FLOW RATE OF AT LEAST 3.3 GALLONS PER MINUTE. FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS.
6. POST TO BE 4" DI



REVISIONS	DATE
1. VILLAGE COMMENTS	9/25/2015
2. VILLAGE COMMENTS	11/24/2015

CORE STATES

30 CHANDLER DRIVE
PHOENIX, AZ 85028
PH: 602.998.8888
FAX: 602.998.8889

CONTRACTORS INC.
CORPORATE REGIONAL OFFICE
FARRELL BENNETT
308-05872

FARRELL BENNETT, P.E.
PROFESSIONAL ENGINEER - IL
LICENSE No. 083-05872

FUELING STATION AT SAM'S CLUB #6228
335 N. MILWAUKEE AVE., VERNON HILLS, LAKE COUNTY, IL
SAM'S REAL ESTATE BUSINESS TRUST
2001 SE 10TH STREET
BENTONVILLE, AR 72716

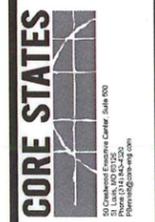


DRAWN	SM
CHECKED	DK
DATE	07/24/2015
SCALE	AS NOTED
SHEET NO.	13 OF 14
SHEET	SAM-14308
CORE STATES	INC.
CONSTRUCTION DETAILS	C-10
11 OF 14 SHEETS	



THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

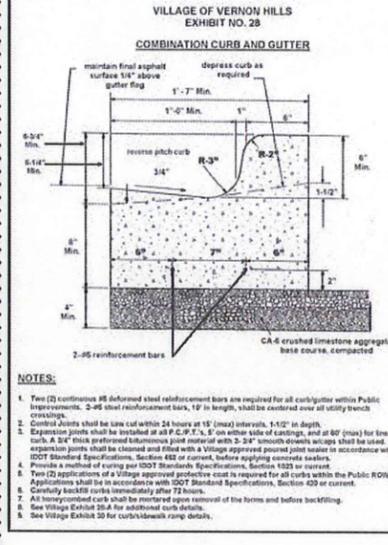
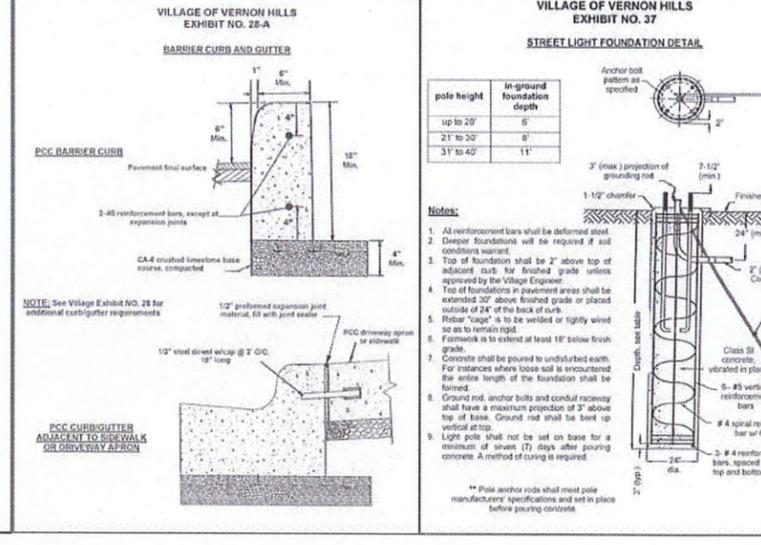
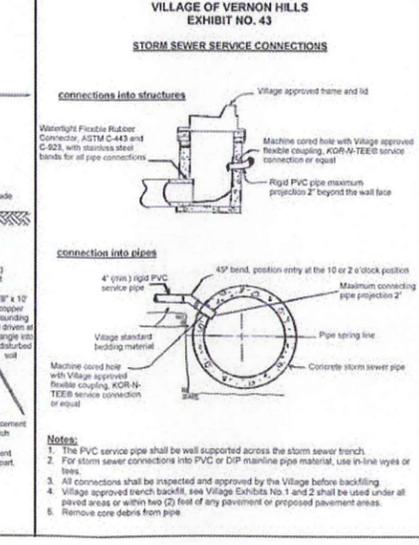
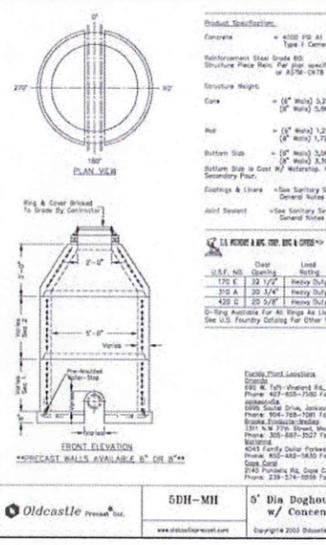
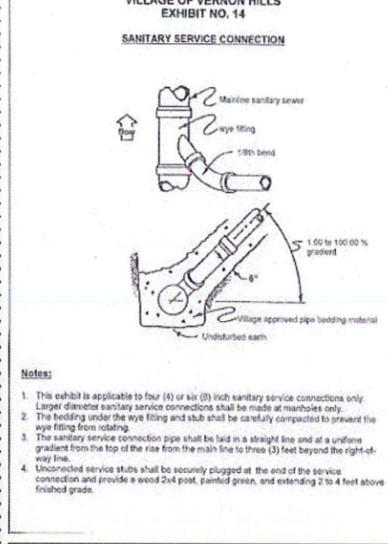
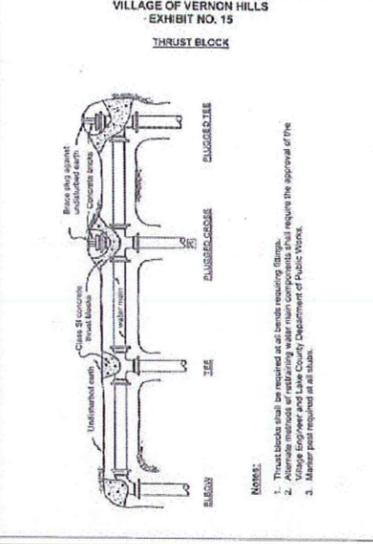
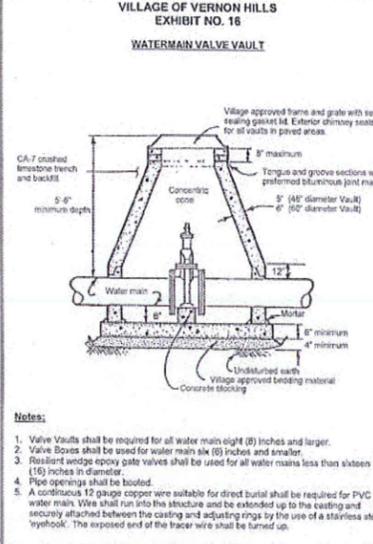
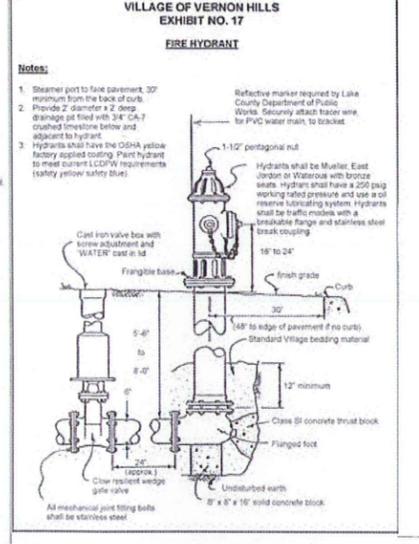
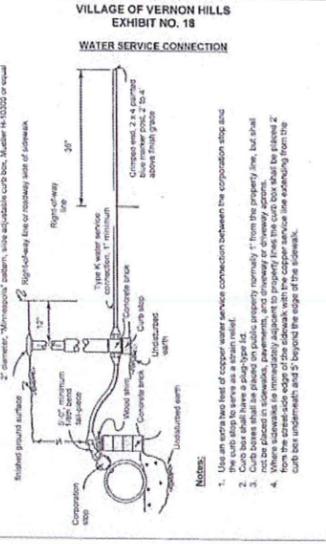
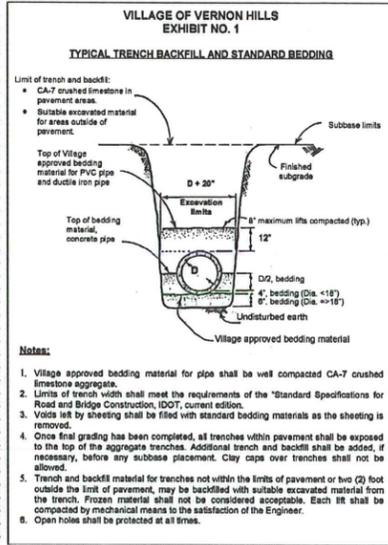
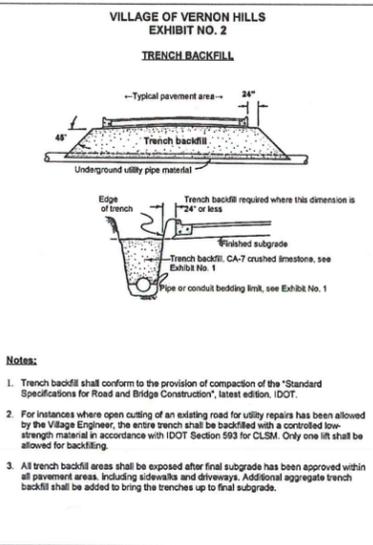
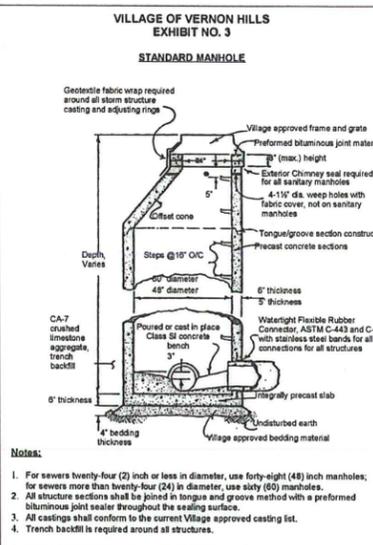
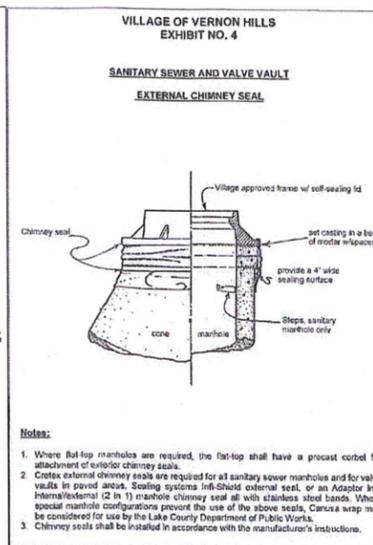
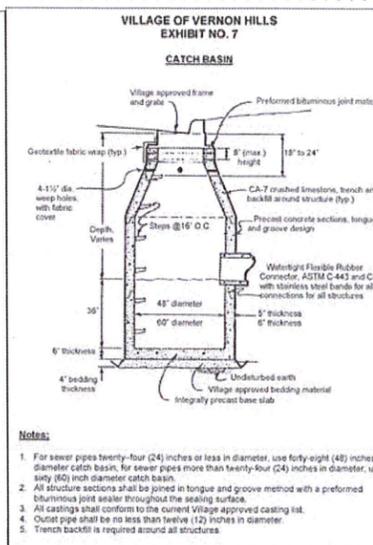
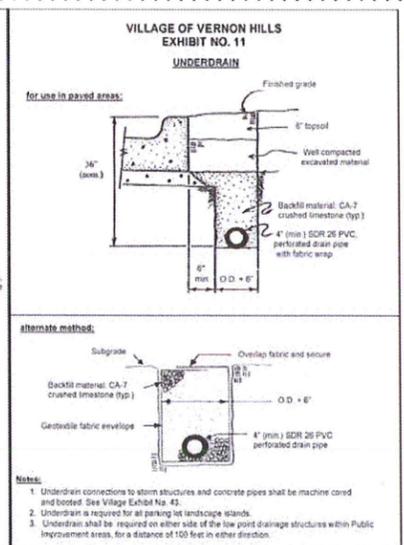
REVISIONS	DATE
1. VILLAGE COMMENTS	9/25/2015
2. VILLAGE COMMENTS	1/24/2015



FUELING STATION AT SAM'S CLUB #6228
 335 N. MILWAUKEE AVE., VERNON HILLS, LAKE COUNTY, IL
 SAM'S REAL ESTATE BUSINESS TRUST
 2001 SE 10TH STREET
 BENTONVILLE, AR 72716



DRAWN BY	SM
CHECKED BY	DK
DATE	07/24/2015
SCALE	AS NOTED
SHEET NO.	SAM-14308
SHEET	CONSTRUCTION DETAILS
	C-11
	12 OF 14 SHEETS



Documents prepared by CoreStates, Inc. are intended for the specific project and site for which they were prepared. Any reference to other projects, records or drawings is for information only and does not constitute a part of these drawings. It is the user's responsibility to verify the accuracy of all information and drawings. CoreStates, Inc. is not responsible for any errors or omissions in these drawings. It is the user's responsibility to verify the accuracy of all information and drawings. CoreStates, Inc. is not responsible for any errors or omissions in these drawings.



THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORESTATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

