

VILLAGE OF VERNON HILLS

ORDINANCE 2016-049

AN ORDINANCE GRANTING CERTAIN APPROVALS FOR PROPERTY COMMONLY KNOWN AS WOODLAND CHASE, A PLANNED UNIT DEVELOPMENT AND TO AMEND THE ZONING CLASSIFICATION FROM R-1, SINGLE FAMILY RESIDENTIAL TO R-5 SINGLE FAMILY RESIDENTIAL PUD LOCATED ON THE SOUTHWEST CORNER OF THE INTERSECTION OF U.S. ROUTE 45 AND BUFFALO GROVE ROAD IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

THE 13th DAY OF DECEMBER 2016

Published in pamphlet form by the Authority of the President and Board of Trustees of the Village of Vernon Hills, Lake County, Illinois, this 19th Day of December 2016

ORDINANCE NO. 2016 -049

AN ORDINANCE GRANTING CERTAIN APPROVALS FOR PROPERTY COMMONLY KNOWN AS WOODLAND CHASE, A PLANNED UNIT DEVELOPMENT AND TO AMEND THE ZONING CLASSIFICATION FROM R-1, SINGLE FAMILY RESIDENTIAL TO R-5 SINGLE FAMILY RESIDENTIAL PUD LOCATED ON THE SOUTHWEST CORNER OF THE INTERSECTION OF U.S. ROUTE 45 AND BUFFALO GROVE ROAD IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

WHEREAS, the Village is a municipal corporation organized and existing under the statutes of the State of Illinois and empowered by statutes and by Home Rule Authority; and

WHEREAS, this Ordinance is adopted pursuant to the Village's municipal and Home Rule authority; and

WHEREAS, Ordinance 2016-048 annexed 32 acres of property previously in unincorporated Lake County and where it is classified in the Residential Zoning District (E-Estate).

WHEREAS, Rick Swanson, representing SA Vernon Land Partners, LLC in regards to property commonly known as Woodland Chase, A Planned Unit Development and legally described in Exhibit A, has petitioned the Village of Vernon Hills for the following:

1. Approval to amend the zoning classification from Lake County E - Estate, to Vernon Hills R-5 Single-family Residential PUD for the property;
2. To approve the Special Use Permit for a Planned Unit Development to allow development of a single-family residential development along with certain variations, including but not limited to F.A.R. and setbacks;
3. Preliminary and final site and landscaping plan approvals;
4. Preliminary and final approval of a Plat of Subdivision; and
5. Preliminary and final approval of the architectural elevations and signage plans.

WHEREAS, the requested approvals would be in general compliance with the following plans:

- Proposed Site & Engineering Plans prepared by Pearson, Brown & Associates, Inc. with a received date of October 20, 2016 and consisting of 28 pages.
- Architectural Elevations prepared RM Swanson Architects with a received date of July 21, 2016 and consisting of 23 pages.
- Signage plan prepared by RM Swanson Architects with a date of February 8, 2016 and consisting of 1 page.

- Plat of Subdivision Plan prepared by R.E. Allen and Associates, Ltd with a date of October 6, 2016 and consisting of 3 pages.
- Woodland Chase Subdivision Design Guidelines prepared by RM Swanson Architects with a date of December 6, 2016 and consisting of 7 pages.
- Proposed Tree Disturbance Plan prepared by RM Swanson Architects with a date of March 30, 2016 and consisting of 1 page.
- Proposed Site Landscaping Plans prepared by McCallum Associates with a received date of September 22, 2016 and consisting of 2 pages.
- FAR Matrix for Woodland Chase Subdivision prepared by RM Swanson Architects with a date of March 31, 2016 and consisting of 2 pages.

Said Plans are attached hereto as Exhibit B; and

WHEREAS, SA Vernon Land Partners, LLC has requested the following variations as a part of the petition:

1. To allow a 20' rear yard setback instead of the required 30'
2. To allow 60 feet ROW dedication en lieu of the required 66 feet ROW dedication.
3. To allow the FAR of Lots 1-51 as described in the attached FAR Matrix for Woodland Chase Subdivision dated March 31, 2016.
4. To allow a 6 feet for detention bounce
5. To allow non-brick or masonry construction

WHEREAS, upon due notice and after public hearing held February 24, 2016 and April 6, 2016 by the Planning and Zoning Commission of the Village of Vernon Hills, and pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, said Planning and Zoning Commission has filed its report concerning said petition as listed above.

WHEREAS, it has been determined that the granting of approval of the zoning amendment will have no serious or depreciating effect upon the value of surrounding property and will have no adverse effect upon the character of the neighborhood, public utility facilities or other matters pertaining to the public health, public safety and general welfare; and

WHEREAS, it has been determined that the granting of approval of the Planned Unit Development will have no serious and depreciating effect upon the value of surrounding property and will have no adverse effect upon the character of the neighborhood, public utility facilities or other matters pertaining to the public health, public safety and general welfare; and

WHEREAS, based upon the evidence adduced at said hearings and in their application, the petitioner has entered into the record evidence and findings of fact that address the conditions in Section 18.3 and 21.7 of the Zoning Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, COUNTY OF LAKE AND STATE OF ILLINOIS:

SECTION I. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, amend the zoning classification from R-1, Single-Family Residential, to R-5 Single Family Residential PUD for properties legally described in Exhibit B is hereby approved.

SECTION II. Pursuant to the Vernon Hills Zoning Ordinance of 1982, approvals of the preliminary and final site and landscaping plans as setforth in Exhibit B are hereby granted subject to the conditions listed in Section V.

SECTION III. Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final approvals of the architectural elevations as setforth in Exhibit B are hereby granted subject to the conditions listed in Section V.

SECTION IV. Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final site improvement plans as setforth in Exhibit B are hereby approved subject to the conditions listed below in Section V.

SECTION V. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, and the recommendations of the Planning and Zoning Commission, the terms and conditions as set forth in Exhibit C are hereby approved and are made a part of the approvals as listed in the Sections above.

SECTION VI. SEVERABILITY. In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

SECTION VII. REPEAL AND SAVINGS CLAUSE. All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this ordinance.

SECTION VIII. SUCCESSORS AND ASSIGNS. All of the provisions of this Ordinance and the attachments hereto are binding on all successors and assigns of the petitioner and property owner.

SECTION IX. EFFECTIVE DATE. This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

SECTION X. ORDINANCE NUMBER. This ordinance shall be known as Ordinance Number 2016-049.

Adopted by roll call vote as follows:

AYES: 4 – Grieb, Koch, Schultz, Williams

NAYS: 2 – Hebda, Marquardt

ABSENT AND NOT VOTING: 0 - None



Roger L. Byrne, Village President

PASSED: 12/13/2016

APPROVED: 12/13/2016

PUBLISHED IN PAMPHLET FORM: 12/19/2016

ATTEST:



John Kalmar, Village Clerk

Exhibit A
Legal Description

Parcel 1:

THAT PART OF THE WEST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A POINT 57.75 FEET WEST OF AND 271.6 FEET NORTH OF THE SOUTHEAST CORNER; THENCE NORTH PARALLEL TO THE EAST LINE 245.74 FEET TO THE CENTER OF THE ROAD; THENCE NORTHWESTERLY ALONG THE ROAD 22.68 FEET; THENCE DEFLECTING 114 DEGREES 51 MINUTES TO THE LEFT 287.8 FEET; THENCE DEFLECTING 31 DEGREES 2 MINUTES TO THE RIGHT 140 FEET; THENCE SOUTHEASTERLY AT RIGHT ANGLES 75 FEET; THENCE NORTHEASTERLY 247 FEET TO THE PLACE OF BEGINNING, IN LAKE COUNTY, ILLINOIS. (PIN: 15-09-300-012)

Parcel 2:

THAT PART OF SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS, TO-WIT: COMMENCING AT A POINT ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION, WHICH IS 24.75 FEET WEST OF THE SOUTHEAST CORNER OF THE WEST HALF OF THE EAST HALF OF SAID QUARTER SECTION; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID QUARTER SECTION, 480.6 FEET TO THE CENTER LINE OF THE OLD HIGHWAY; THENCE NORTHWESTERLY ALONG SAID HIGHWAY AT AN ANGLE OF 41 DEGREES 26 MINUTES TO THE LEFT LAST MENTIONED LINE PRODUCED NORTHERLY 49.64 FEET; THENCE SOUTH PARALLEL WITH SAID EAST LINE 153.9 FEET; THENCE SOUTHWESTERLY 614.65 FEET TO A POINT ON SAID SOUTH LINE 535 FEET WEST OF THE PLACE OF BEGINNING; THENCE EAST ALONG SAID SOUTH LINE 535 FEET TO THE PLACE OF BEGINNING (EXCEPT THAT PART THEREOF DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A POINT 57.75 FEET WEST OF AND 271.6 FEET NORTH OF THE SOUTHEAST CORNER; THENCE NORTH PARALLEL TO THE EAST LINE 245.74 FEET TO THE CENTER OF THE ROAD; THENCE NORTHWESTERLY ALONG THE ROAD 22.68 FEET; THENCE DEFLECTING 114 DEGREES 51 MINUTES TO THE LEFT 287.8 FEET; THENCE DEFLECTING 31 DEGREES 2 MINUTES TO THE RIGHT 140 FEET; THENCE SOUTHEASTERLY AT RIGHT ANGLES 75 FEET; THENCE NORTHEASTERLY 247 FEET TO THE PLACE OF BEGINNING, IN LAKE COUNTY, ILLINOIS. (PIN: 15-09-300-013)

Parcel 3:

LOT 10 IN SCHOOL TRUSTEES' SUBDIVISION OF SECTION 16, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THAT PART DESCRIBED AS FOLLOWS: THAT PART OF THE EAST HALF OF

THE EAST HALF OF THE NORTHWEST QUARTER, SECTION SIXTEEN, TOWNSHIP FORTY-THREE NORTH, RANGE ELEVEN, EAST OF THE THIRD PRINCIPAL MERIDIAN, LAKE COUNTY, ILLINOIS, BEGINNING ON THE EAST LINE OF SAID EAST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER, SECTION 16, AT A POINT 385.50 FEET SOUTH FROM THE NORTHEAST CORNER THEREOF; THENCE SOUTH ALONG SAID EAST LINE 480.00 FEET; THENCE WEST AT RIGHT ANGLES TO SAID EAST LINE OF THE NORTHWEST QUARTER, SECTION SIXTEEN, 455.00 FEET; THENCE NORTH PARALLEL TO SAID EAST LINE OF THE NORTHWEST QUARTER, SECTION SIXTEEN, 480.00 FEET; THENCE EAST 455.00 FEET TO THE PLACE OF BEGINNING) AND (EXCEPT THAT PART OF LOT 10 FALLING IN THE FOLLOWING DESCRIBED PROPERTY: THAT PART OF LOTS 10 AND 19 IN SCHOOL TRUSTEES' SUBDIVISION OF SECTION 16, TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS BEGINNING ON THE EAST LINE OF SAID LOT 10 AT A POINT ON THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION SIXTEEN, 865.50 FEET SOUTH FROM THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER OF SECTION SIXTEEN; THENCE SOUTH ALONG THE EAST LINE OF SAID LOT 10 AND LOT 19, 666.00 FEET; THENCE WEST AT RIGHT ANGLES TO SAID EAST LINE OF THE NORTHWEST QUARTER OF SECTION SIXTEEN, 332.00 FEET; THENCE NORTH PARALLEL TO SAID EAST LINE 666.00 FEET; THENCE EAST 332.00 FEET TO THE PLACE OF BEGINNING IN LAKE COUNTY, ILLINOIS) AND (EXCEPT THAT PART OF LOT 10 FALLING IN EDWARD SCHWARTZ INDIAN CREEK OF BUFFALO GROVE SUBDIVISION RECORDED JANUARY 7, 1994 AS DOCUMENT 3467875), IN LAKE COUNTY, ILLINOIS. (PIN: 15-16-100-027)

Parcel 4:

LOT 5 IN SCHOOL TRUSTEES' SUBDIVISION OF SECTION 16, TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN (EXCEPT THAT PART DESCRIBED AS FOLLOWS: THE NORTH 230.00 FEET OF THE EAST 378.80 FEET OF LOT 5 IN SCHOOL TRUSTEES' SUBDIVISION OF SECTION 16, TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN IN LAKE COUNTY, ILLINOIS) AND (EXCEPT THAT PART DESCRIBED AS FOLLOWS: THAT PART OF THE EAST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER, SECTION SIXTEEN, TOWNSHIP FORTY-THREE NORTH, RANGE ELEVEN, EAST OF THE THIRD PRINCIPAL MERIDIAN, LAKE COUNTY, ILLINOIS, BEGINNING ON THE EAST LINE OF SAID EAST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER, SECTION 16, AT A POINT 385.50 FEET SOUTH FROM THE NORTHEAST CORNER THEREOF; THENCE SOUTH ALONG SAID EAST LINE 480.00 FEET; THENCE WEST AT RIGHT ANGLES TO SAID EAST LINE OF THE NORTHWEST QUARTER, SECTION SIXTEEN, 455.00 FEET; THENCE NORTH PARALLEL TO SAID EAST LINE OF THE NORTHWEST QUARTER, SECTION SIXTEEN, 480.00 FEET; THENCE EAST 455.00 FEET TO THE PLACE OF BEGINNING) IN LAKE COUNTY, ILLINOIS.

AND FURTHER EXCEPTING THEREFROM THAT PART DESCRIBED AS FOLLOWS: BEGINNING ON THE EAST LINE OF SAID LOT 5, AT A POINT 230.00 FEET SOUTH FROM THE NORTHEAST CORNER THEREOF; THENCE SOUTH 00 DEGREES 01 MINUTES 39 SECONDS EAST ALONG THE EAST LINE THEREOF, 155.50 FEET TO A POINT 385.50 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT 5 (BEARINGS ASSUMED FOR DESCRIPTION PURPOSES ONLY); THENCE SOUTH 89 DEGREES 58 MINUTES 21 SECONDS WEST AT A RIGHT ANGLE TO SAID EAST LINE, 112.87 FEET; THENCE NORTH 07 DEGREES 15 MINUTES 18 SECONDS WEST, 50.76 FEET TO A POINT OF CURVATURE; THENCE NORTHERLY 104.86 FEET ON A CURVED TO THE RIGHT HAVING A RADIUS OF 2435.00 FEET, THE CHORD OF SAID CURVE BEARS NORTH 06 DEGREES 01 MINUTES 17 SECONDS WEST, 104.85 FEET TO THE SOUTH LINE OF THE NORTH 230.00 FEET OF SAID LOT 5, AT A POINT 130.20 FEET WESTERLY OF THE SOUTHEAST CORNER THEREOF; THENCE NORTH 89 DEGREES 35 MINUTES 25 SECONDS EAST PARALLEL WITH THE NORTH LINE OF SAID LOT 5, A DISTANCE OF 130.20 FEET, TO THE POINT OF BEGINNING. (PIN: 15-16-100-041)

Parcel 5:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID QUARTER SECTION; THENCE WEST TO THE NORTHWEST CORNER OF LOT 5 OF SECTION 16, TOWNSHIP AND RANGE AFORESAID; THENCE NORTH TO THE CENTER OF THE PUBLIC HIGHWAY; THENCE SOUTHEASTERLY ALONG THE CENTER OF SAID HIGHWAY TO THE EAST LINE OF SAID QUARTER SECTION; THENCE SOUTH 30.7 FEET TO THE POINT OF BEGINNING; EXCEPTING THEREFROM, THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID QUARTER SECTION; THENCE SOUTH 89 DEGREES 35 MINUTES 25 SECONDS WEST ALONG THE SOUTH LINE THEREOF, 138.59 FEET (BEARINGS ASSUMED FOR DESCRIPTION PURPOSES ONLY); THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 73.95 FEET; THENCE NORTH 32 DEGREES 45 MINUTES 13 SECONDS WEST, 76.29 FEET TO THE CENTERLINE OF OLD PUBLIC HIGHWAY; THENCE SOUTH 59 DEGREES 22 MINUTES 29 SECONDS EAST ALONG THE CENTERLINE OF THE OLD PUBLIC HIGHWAY, 209.08 FEET TO A POINT ON THE EAST LINE OF SAID SOUTHWEST QUARTER, 30.61 FEET NORTH OF THE SOUTHEAST CORNER THEREOF; THENCE SOUTH 00 DEGREES 06 MINUTES 46 SECONDS WEST, 30.61 FEET TO THE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS. (PIN: 15-09-300-033)

Parcel 6:

THE NORTH 230.00 FEET OF THE EAST 378.80 FEET OF LOT FIVE, IN SCHOOL TRUSTEES' SUBDIVISION OF SECTION SIXTEEN, TOWNSHIP FORTY-THREE NORTH, RANGE ELEVEN, EAST OF THE THIRD PRINCIPAL MERIDIAN IN

LAKE COUNTY, ILLINOIS. EXCEPTING THEREFROM, THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 5; THENCE SOUTH 00 DEGREES 01 MINUTES 39 SECONDS EAST ALONG THE EAST LINE THEREOF, 230.00 FEET (BEARINGS ASSUMED FOR DESCRIPTION PURPOSES ONLY) TO THE SOUTH LINE OF THE NORTH 230.00 FEET OF SAID LOT 5; THENCE SOUTH 89 DEGREES 35 MINUTES 25 SECONDS WEST ALONG SAID SOUTH LINE, PARALLEL WITH THE NORTH LINE OF LOT 5, AFORESAID, 130.20 FEET TO A POINT ON A NON TANGENT CURVED LINE; THENCE NORTHERLY 203.47 FEET ON A CURVE TO THE RIGHT HAVING A RADIUS OF 2435.00 FEET, THE CHORD OF SAID CURVE OF SAID CURVE BEARS NORTH 02 DEGREES 23 MINUTES 38 SECONDS WEST, 203.41 FEET TO THE POINT OF TANGENCY; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 26.71 FEET TO THE NORTH LINE OF SAID LOT 5, AT A POINT 138.59 FEET WESTERLY OF THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 35 MINUTES 25 SECONDS EAST ALONG THE NORTH LINE OF SAID LOT 5, A DISTANCE OF 138.59 FEET TO THE POINT OF BEGINNING. (PIN: 15-16-100-039)

Parcel 7:

LOT 6 AND THE NORTH HALF OF LOT 9 IN SCHOOL TRUSTEE'S SUBDIVISION OF SECTION 16, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS. (PIN: 15-16-100-003 and 15-16-100-008,)

Parcel 8:

THAT PART OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE SOUTH LINE OF SAID SECTION 9 WHICH IS 29.95 CHAINS EAST OF THE SOUTHWEST CORNER OF SAID SECTION; THENCE NORTH 7 CHAINS TO THE CENTER OF DIAMOND LAKE ROAD; THENCE NORTH 43 DEGREES WEST ALONG THE CENTER OF SAID ROAD, ONE AND ONE HALF RODS; THENCE SOUTH TO THE SOUTH LINE OF SAID SECTION, AND THENCE EAST 1 1/2 TO THE PLACE OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

**Exhibit B
Plans**

General Compliance with the following plans:

- Proposed Site & Engineering Plans prepared by Pearson, Brown & Associates, Inc. with a received date of October 20, 2016 and consisting of 28 pages.
- Architectural Elevations prepared RM Swanson Architects with a received date of July 21, 2016 and consisting of 23 pages.
- Signage plan prepared by RM Swanson Architects with a date of February 8, 2016 and consisting of 1 page.
- Plat of Subdivision Plan prepared by R.E. Allen and Associates, Ltd with a date of October 6, 2016 and consisting of 3 pages.
- Woodland Chase Subdivision Design Guidelines prepared by RM Swanson Architects with a date of December 6, 2016 and consisting of 7 pages.
- Proposed Tree Disturbance Plan prepared by RM Swanson Architects with a date of March 30, 2016 and consisting of 1 page.
- Proposed Site Landscaping Plans prepared by McCallum Associates with a received date of September 22, 2016 and consisting of 2 pages.
- FAR Matrix for Woodland Chase Subdivision prepared by RM Swanson Architects with a date of March 31, 2016 and consisting of 2 pages.

Exhibit C
Terms and Conditions of Approval

Conditions of Approval for the entire Site:

1. The Woodland Chase Subdivision Design Guidelines will be incorporated in the "General Compliance" section of the Ordinance approving the Special Use.
2. Additional landscaped screening shall be added in the side and rear yards adjacent to Route 45 right of way on Lot 32 and the rear lot of Lot 31.
3. An exhibit locating the sales trailer and related parking lot shall be included along with the location of the model homes.
4. Development identification signage shall be identified on the approved landscape plans and comply with the Village's sign regulations.
5. Front, side, and rear building elevations will be required to have design features of architectural significance that includes high quality exterior finished materials such as stone, brick, or masonry veneers. This includes ornamental features such as bay and box bay windows, dormers, covered porches and architectural trims.
6. Final approval of engineering and landscape plans by the Village Engineer and Landscape Technician prior to issuance of a building permit.
7. Compliance with the Village's Street Lighting Poles standards as set forth in the Development Ordinance.
8. Developer contributions shall be made to School Districts 73, 128, 125,103, and Vernon Hills Park District pursuant to Development Ordinance. Fee's will be collected prior to issuance of individual building permits.
9. Compliance with all ordinance and standards of the Village except as otherwise noted.
10. Final Plat of subdivision shall be modified reviewed and approved subject to Village Attorney and Village Engineer approval.
11. Stormwater outflow from the detention pond are subject to Village Engineer approval.
12. Fencing shall be permitted provided that they are wood cedar picket, split rail or decorative aluminum with a maximum height of 36 inches along the side and rear property lines subject to all state and local ordinances.
13. Split rail fencing shall be installed along all lots with side or rear yards adjacent to open space other than Lots 19-32.
14. The landscaped berm along Route 45 shall be installed in a location not impacted by future road improvements.
15. A 6 foot double sided cedar panel fencing shall be installed on the top of the berm along the rear yards of Buffalo Grove Road, and Route 45 and shall be maintained by the HOA.
16. Trees desired to be saved will be noted on the preliminary and final subdivision improvement plans.
17. Building placement and driveway shall be designed in such a way as to avoid unnecessary removal of trees deemed to be in good health by a certified arborist.

18. Parkway tree plantings will be consistent with Village Ordinance and, on the non-sidewalk side, in the equivalent right of way area.
19. During construction, all reasonable steps necessary to prevent damage of trees designated to be preserved shall be taken, but trees designated to be preserved that require removal within landscape maintenance period will be replaced on a 1:1 ratio.
20. Appropriate protective fencing shall be temporarily installed for protection of trees and tree drip lines designated to be preserved. No fencing may be moved, altered, change or removed until completion of work without prior written permission from the Village's Landscape Technician or designee. Fencing shall comply with Section 2.07 of the Village's Development Regulations.
21. A minimum of one oak, maple, or walnut shall be planted in the front yard, but if an existing high quality tree exists, the new tree shall be planted in the rear yard or other location within the development at the discretion of the Village's Landscape Technician.
22. Invasive species shall be removed in coordination with the Village's Landscape Technician in the proposed detention basins, lots, and internal common area open space. Long term maintenance shall be the responsibility of the HOA.
23. A letter will be required to be signed by property owners at the time of closing acknowledging receipt of an exhibit indicating the high school and elementary school district boundary lines in the Woodland Chase development.
24. A letter will be required to be signed at the time of closing for owners of Lots 23-32 acknowledging understanding of IDOT's intent to conduct certain roadway improvements up to and including widening Route 45.
25. The Petitioner agrees to install split rail fence between Lots 18 and 19.
26. Petitioner will work with the Village engineer to comply with the Lake County Watershed Ordinance.
27. The petitioner agrees to prohibit walkout condition on Lots 19-22. Lookouts are permitted.
28. An additional one (oak, maple, or walnut) tree shall be planted in the rear yard of each lot.

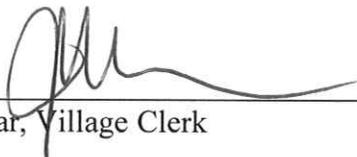
Variations - The following variations are recommended for approval

1. To allow a 20' rear yard setback instead of the required 30'
2. To allow 60 feet ROW dedication en lieu of the required 66 feet ROW dedication.
3. To allow the FAR of Lots 1-51 as described in the attached FAR Matrix for Woodland Chase Subdivision dated March 31, 2016.
4. To allow a 6 feet for detention bounce
5. To allow non-brick or masonry construction

AFFIDAVIT OF SERVICE

STATE OF ILLINOIS)
)
COUNTY OF LAKE)

I, JOHN M. KALMAR, BEING FIRST DULY APPOINTED, DEPOSES AND SAYS ON OATH THAT AS VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, HE DID CAUSE THE FOREGOING CERTIFICATE FOR ORDINANCE 2016-049, AN ORDINANCE GRANTING CERTAIN APPROVALS FOR PROPERTY COMMONLY KNOWN AS WOODLAND CHASE, A PLANNED UNIT DEVELOPMENT AND TO AMEND THE ZONING CLASSIFICATION FROM R-1, SINGLE FAMILY RESIDENTIAL TO R-5 SINGLE FAMILY RESIDENTIAL PUD LOCATED ON THE SOUTHWEST CORNER OF THE INTERSECTION OF U.S. ROUTE 45 AND BUFFALO GROVE ROAD IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY TO BE POSTED IN THE VILLAGE HALL AS REQUIRED BY LAW FROM DECEMBER 19, 2016 TO DECEMBER 29, 2016.

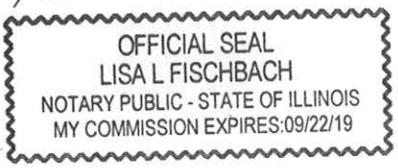


John M. Kalmar, Village Clerk

SUBSCRIBED AND SWORN TO BEFORE
THIS 19th DAY OF DECEMBER 2016

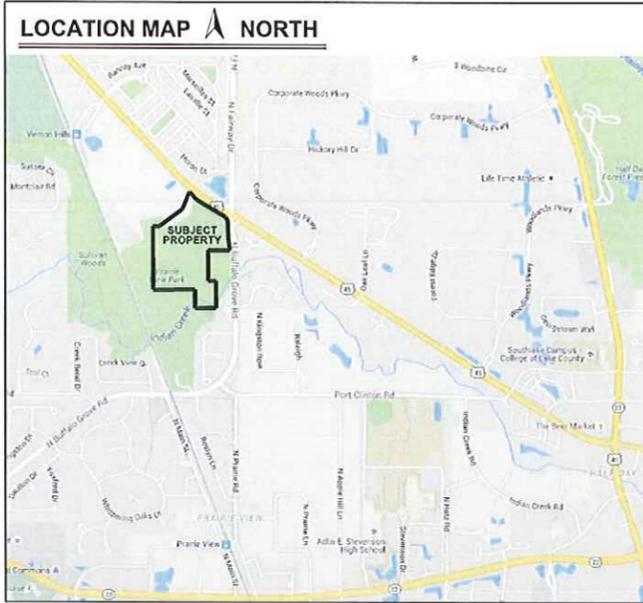


Notary Public



FINAL ENGINEERING FOR WOODLAND CHASE

VERNON HILLS, ILLINOIS



INDEX

1. COVER SHEET
2. SPECIFICATIONS
3. EXISTING CONDITIONS & DEMOLITION PLAN
4. OVERALL SITE LAYOUT
5. GEOMETRICS & LIGHTING (NORTH)
6. GEOMETRICS & LIGHTING (SOUTH)
7. GRADING PLAN (NORTH)
8. GRADING PLAN (SOUTH)
9. EROSION CONTROL PLAN
10. EROSION NOTES & DETAILS
11. UTILITY PLAN (NORTH)
12. UTILITY PLAN (SOUTH)
13. PLAN & PROFILE (SISLOW LANE)
14. PLAN & PROFILE (WOODLAND CHASE LANE STA. 0+00 TO 8+00)
15. PLAN & PROFILE (WOODLAND CHASE LANE STA. 8+00 TO 17+15.77)
16. DETAILS
17. DETAILS
18. DETAILS
19. PAVEMENT MARKINGS - U.S. ROUTE 45
20. PLAN & PROFILE - U.S. ROUTE 45
21. ROUTE 45 ENTRANCE DETAIL
22. CROSS SECTIONS - U.S. ROUTE 45
23. BUFFALO GROVE ROAD PLAN - LCDOT
24. BUFFALO GROVE ROAD PLAN - LCDOT
25. PLAN & PROFILE - BUFFALO GROVE ROAD
26. CROSS SECTIONS - BUFFALO GROVE ROAD
27. STANDARDS

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED

NOTE:

1. CONTACT THE VILLAGE OF VERNON HILLS AT (847) 367-3700 A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
2. CONTACT LAKE COUNTY PUBLIC WORKS AT 847-377-7500 A MINIMUM OF 48 HOURS PRIOR TO THE START OF WATER AND/OR SEWER CONSTRUCTION.
3. LAKE COUNTY PUBLIC WORKS SHALL BE GRANTED ACCESS TO ALL PARTS OF THE CONSTRUCTION SITE AND SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND/OR REJECT ALL WATER MAIN, WATER SERVICES, SANITARY SEWER, AND SANITARY SERVICE IMPROVEMENTS.

CONTACT INFORMATION:

VILLAGE OF VERNON HILLS
780 EVERGREEN DRIVE
VERNON HILLS, ILLINOIS 60051
(847) 367-3700

LAKE COUNTY PUBLIC WORKS
650 W. WINCHESTER ROAD
LIBERTYVILLE, IL 60048
(847) 377-7500

IDOT - DISTRICT 1
201 W. CENTER COURT
SCHAUMBURG, IL 60196
1-847-705-4131

NORTH SHORE GAS
3001 GRAND AVE.
WAUKEGAN, IL 60085
1-847-263-4690

LAKE COUNTY DOT
600 W. WINCHESTER ROAD
LIBERTYVILLE, ILLINOIS 60048
(847) 377-7400

COMED
1500 FRANKLIN BOULEVARD
LIBERTYVILLE, IL. 60048
1-847-816-5254

AT&T
1-847-888-7333

BENCHMARKS:

SOURCE BENCHMARK:
LAKE COUNTY BENCHMARK RECOVERY SHEET
BENCHMARK DESIGNATION B-2
ELEVATION= 678.41 NAVD83

VILLAGE OF VERNON HILLS BENCHMARK:
STATION NO. 0235
AT THE CORNER OF PORT CLINTON ROAD AND BUFFALO GROVE ROAD.
ELEVATION= 683.91 NAVD83

SITE BENCHMARK:
CONTROL POINT CUT CROSS ON SIDEWALK AT THE NORTHEAST CORNER OF THE SITE.
ELEVATION= 696.80 NAVD83

DRAINAGE CERTIFICATE

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS DEVELOPMENT OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE DEVELOPER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THIS DEVELOPMENT.

LCDOT NOTES FOR ALL WORK WITHIN THE LCDOT R.O.W.

The construction, including materials used, of this access-related improvement shall be in accordance with the applicable portions of the most recent editions of the "Standard Specifications for Road and Bridge Construction," "Supplemental Specifications and Recurring Special Provisions," and the "Illinois Manual on Uniform Traffic Control Devices for Streets and Highways," including all amendments and successor documents to the aforementioned documents as published or adopted by the Illinois Department of Transportation and/or LCDOT unless otherwise stated in these engineering plans.

The construction of the access-related improvements shall also be in accordance with the "Lake County Highway Access Regulation Ordinance," latest edition.

The Lake County Division of Transportation shall not be held liable for any errors or omissions in these engineering plans or for any additional work, which may be needed due to errors or omissions in these engineering plans.

The permittee shall be responsible for any additional work, and all costs thereof, required because of errors or omissions in these engineering plans and for the correction of any construction, maintenance, or safety problems, which become apparent during construction or by inspections made by the Resident Engineer or the Lake County Division of Transportation.

The Resident Engineer shall be responsible for establishing the proper lines and grades for all construction work including earthwork, paving, curbing, and drainage. The Resident Engineer shall also be responsible for all other engineering work including inspections and any testing required by the Lake County Division of Transportation. An Inspector, as provided or approved by the Resident Engineer, shall be present during critical phases of the construction work.

The Resident Engineer shall note any changes from these engineering plans and shall notify the Permit Department of the Lake County Division of Transportation about any changes that deviate from the intent of the engineering plans such as changes in drainage, geometric plan, or grading work.

"The review and approval of these final engineering plans and specifications by the Lake County Division of Transportation does not constitute a release from the standards and specifications required in the Lake County Highway Access Regulation Ordinance, latest edition. The owner, the owner's designated representatives, and/or all successors and assigns shall be solely responsible for all work and improvements within the limits of the County Highway right-of-way. Unless otherwise specified, approved in writing by the Lake County County Engineer, and on file with the Lake County Division of Transportation, all work and materials necessary to construct access-related improvements and drainage improvements within the limits of the County Highway right-of-way shall be in conformance with the provisions and requirements of the Lake County Highway Access Regulation Ordinance, latest edition."

PREPARED FOR:

RM SWANSON ARCHITECTS, P.C.
1930 AMBERLEY COURT, LAKE FOREST, ILLINOIS, 60045, (847) 457-6770

CONSULTING ENGINEERS:

PEARSON, BROWN & ASSOCIATES, INC.
A PROFESSIONAL DESIGN FIRM - ILLINOIS PROFESSIONAL ENGINEERING CORPORATION - LICENSE NUMBER 184-001058 EXPIRES 04/30/17
1650 W. WINCHESTER ROAD - SUITE 205 LIBERTYVILLE, IL 60048 (847) 367-6707

CONTACT JULIE AT 8-1-1 OR 800-892-0123

With the following:
County LAKE
City/Township VERNON HILLS / VERNON
Sec 1/4 Sec No. Sec 16 NW 1/4
Call 2 working days BEFORE YOU DIG.

PERMIT	NUMBER	DATE ISSUED	REVISIONS
IEPA - SANITARY	2016-HB-61509	09/20/16	1 08/27/16 ADDED SHEETS 23 - 25 (BUFFALO GROVE RD. LCDOT PLAN)
IEPA - WATER SUPPLY	0229-FY2017	10/04/16	2 03/18/16 REVISED PER LAKE COUNTY PUBLIC WORKS REVIEW COMMENTS
IEPA - NOI			3 02/20/16 REVISED PER LCDOT, IDOT, AND VILLAGE REVIEW COMMENTS
IDOT - ACCESS			4 10/20/16 REVISED PER IDOT REVIEW COMMENTS
LCDOT - ACCESS			5
LCSMC - GP2 LONI	15-44-059	07/27/16	6
VILLAGE			7
			8
			9
			10
			11
			12

NOT FOR CONSTRUCTION

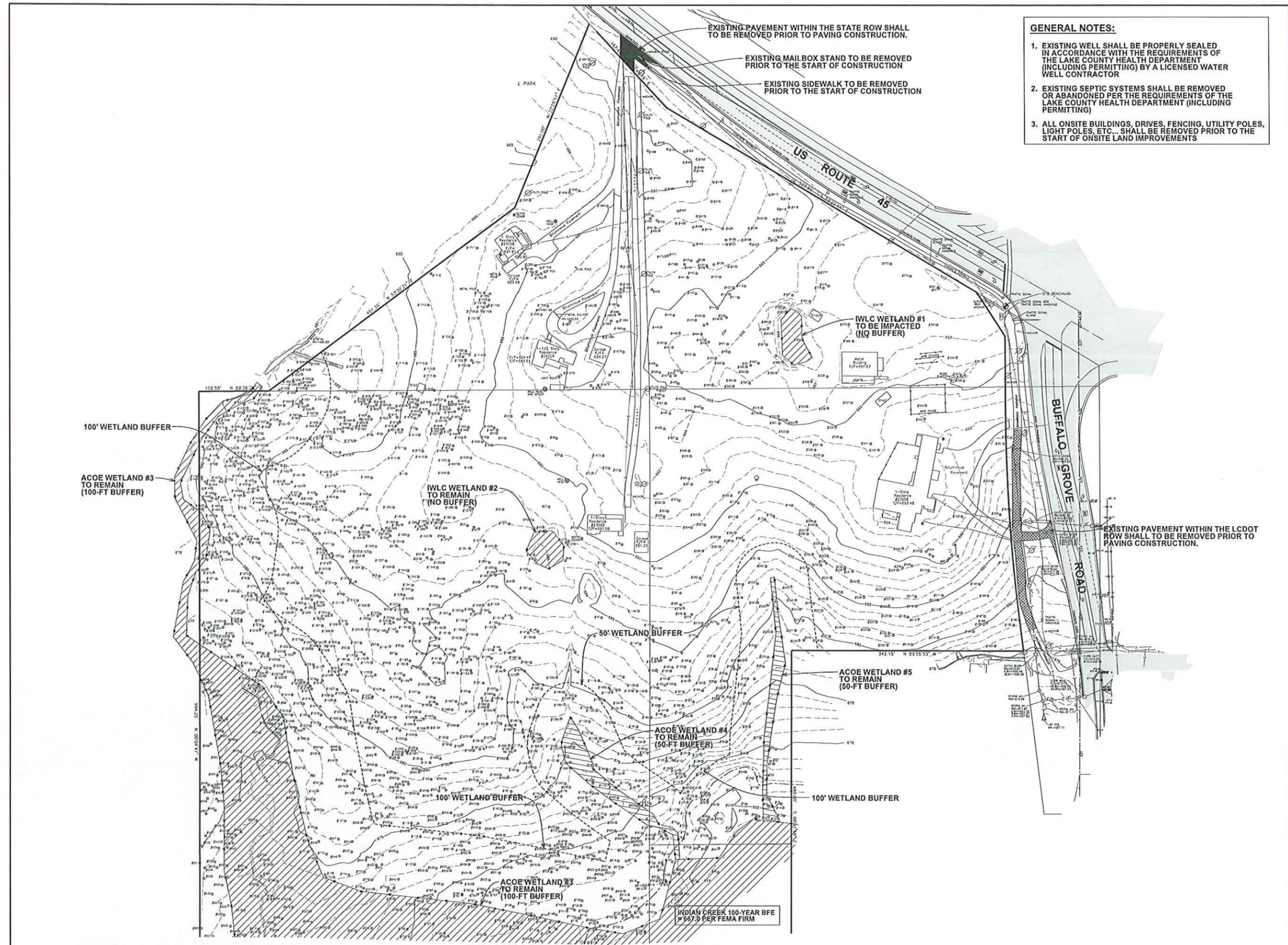
ORIGINAL ISSUE DATE:
06/02/16

SHEET NUMBER

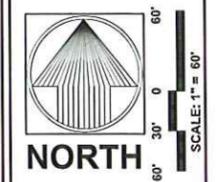
1

OF 28 SHEETS

WOODLAND CHASE



- GENERAL NOTES:**
1. EXISTING WELL SHALL BE PROPERLY SEALED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LAKE COUNTY HEALTH DEPARTMENT (INCLUDING PERMITTING) BY A LICENSED WATER WELL CONTRACTOR
 2. EXISTING SEPTIC SYSTEMS SHALL BE REMOVED OR ABANDONED PER THE REQUIREMENTS OF THE LAKE COUNTY HEALTH DEPARTMENT (INCLUDING PERMITTING)
 3. ALL ONSITE BUILDINGS, DRIVES, FENCING, UTILITY POLES, LIGHT POLES, ETC... SHALL BE REMOVED PRIOR TO THE START OF ONSITE LAND IMPROVEMENTS



WOODLAND CHASE
VERNON HILLS, ILLINOIS

PEARSON, BROWN & ASSOCIATES, INC.
CONSULTING ENGINEERS
1820 W. WINCHESTER ROAD - SUITE 205
LIBERTYVILLE, IL 60468
PHONE: (647) 367-6777
FAX: (647) 367-2557
E-MAIL ADDRESS: pba@pearsonbrown.com
© copyright 2016 Pearson Brown & Associates, Inc. All rights reserved.

DESIGNED BY: D.S.H.
DRAWN BY: R.C.J.
CHECKED BY: A.K.Z.
ORIGINAL ISSUE: 06/02/16

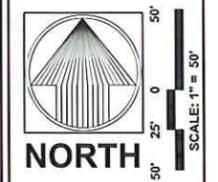
DATE BY	DESCRIPTION
09/20/16 AKZ	REVISED PER VILLAGE REVIEW COMMENTS

EXISTING CONDITIONS & DEMOLITION PLAN

REVISIONS

SHEET NUMBER
3
OF 28 SHEETS

JOB No. 1641



WOODLAND CHASE
VERNON HILLS, ILLINOIS

PEARSON, BROWN & ASSOCIATES, INC.
CONSULTING ENGINEERS
1850 W. WINCHESTER ROAD - SUITE 205
LIBERTYVILLE, IL. 60448
PHONE: (847) 367-4767
FAX: (847) 367-4267
E-MAIL ADDRESS: PEARSON@PEARSONBROWN.COM
© COPYRIGHT 2011 PEARSON, BROWN & ASSOCIATES, INC. ALL RIGHTS RESERVED.

DESIGNED BY: D.S.H.
DRAWN BY: R.C.J.
CHECKED BY: A.K.Z.
ORIGINAL ISSUE: 06/02/15

DATE BY	DESCRIPTION
09/20/16 ANZ	REVISED PER VILLAGE REVIEW COMMENTS
09/20/16 ANZ	REVISED PER DOT REVIEW COMMENTS

REVISIONS

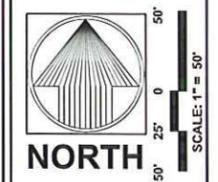
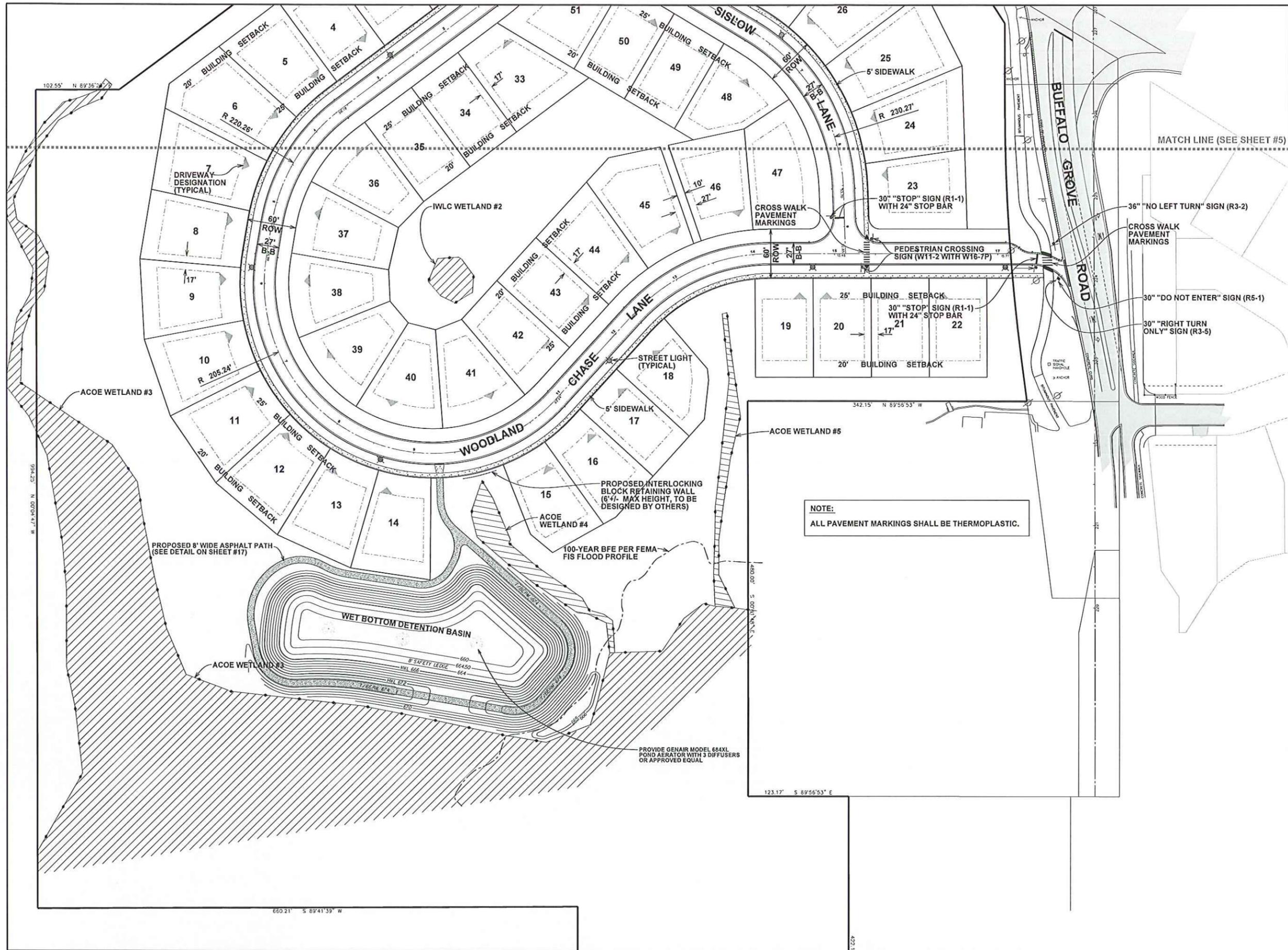
GEOMETRICS & LIGHTING (NORTH)

SHEET NUMBER
5
OF 28 SHEETS

JOB No. 1641

SURVEYOR SHALL INSTALL A VILLAGE BRASS MONUMENT. EXACT LOCATION SHALL BE DETERMINED IN THE FIELD BY THE VILLAGE. (BRASS MONUMENT SHALL BE PROVIDED BY THE VILLAGE)

MATCH LINE (SEE SHEET #6)



WOODLAND CHASE
VERNON HILLS, ILLINOIS

PEARSON, BROWN & ASSOCIATES, INC.
CONSULTING ENGINEERS
1830 W. WINCHESTER ROAD - SUITE 205
LIBERTYVILLE, IL 60448
PHONE: (647) 367-6797
FAX: (647) 367-2557
E-MAIL ADDRESS: pba@pearsonbrown.com

DESIGNED BY: D.S.H.
DRAWN BY: R.C.J.
CHECKED BY: A.K.Z.
ORIGINAL ISSUE: 06/02/15

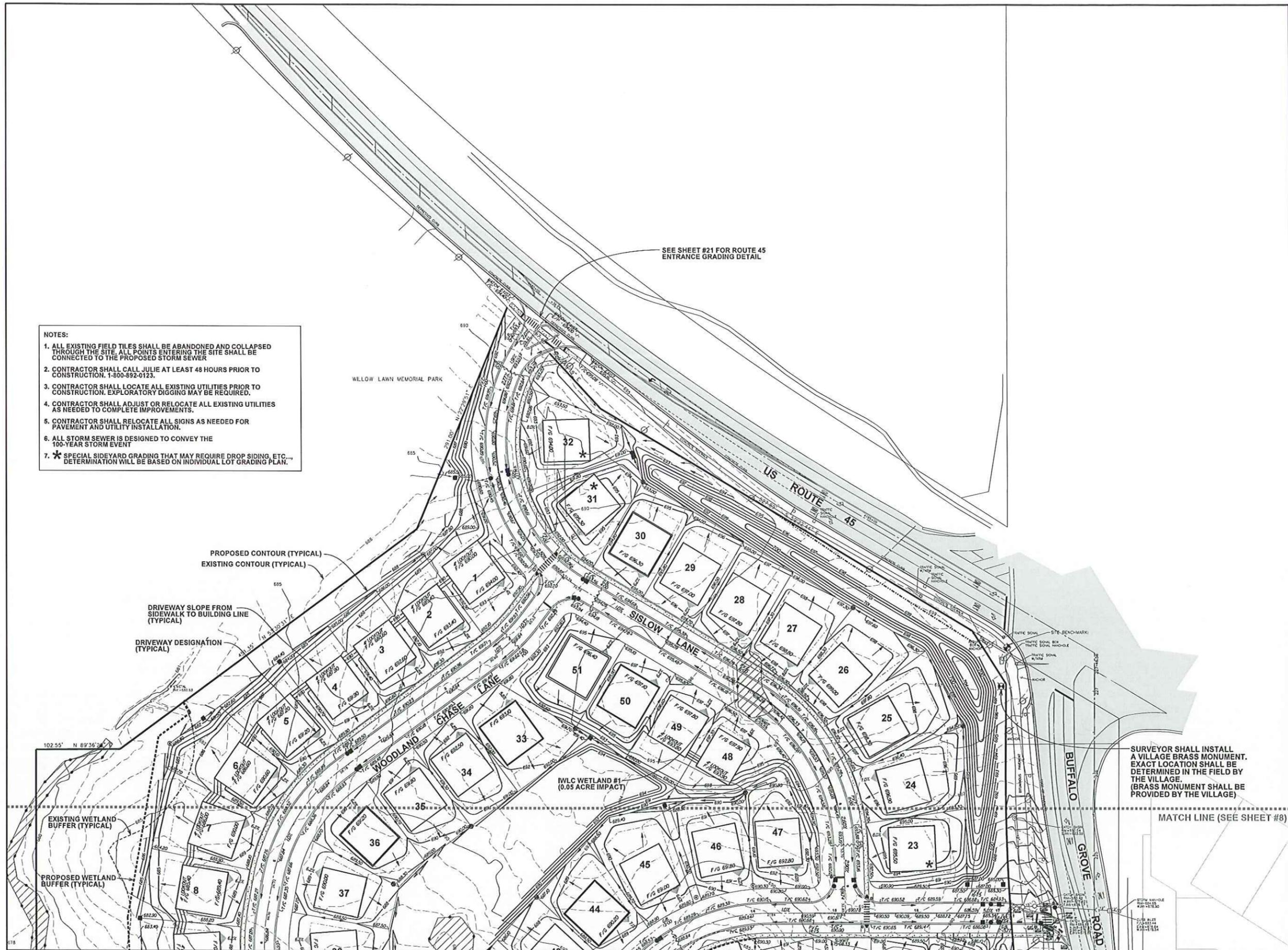
DATE BY	DESCRIPTION
09/20/16	AKZ REVISED PER VILLAGE COMMENTS

REVISIONS

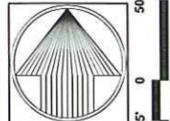
GEOMETRICS & LIGHTING (SOUTH)

SHEET NUMBER
6
OF 28 SHEETS

JOB No. 1641



- NOTES:**
1. ALL EXISTING FIELD TILES SHALL BE ABANDONED AND COLLAPSED THROUGH THE SITE. ALL POINTS ENTERING THE SITE SHALL BE CONNECTED TO THE PROPOSED STORM SEWER
 2. CONTRACTOR SHALL CALL JULIE AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. 1-800-892-0123.
 3. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXPLORATORY DIGGING MAY BE REQUIRED.
 4. CONTRACTOR SHALL ADJUST OR RELOCATE ALL EXISTING UTILITIES AS NEEDED TO COMPLETE IMPROVEMENTS.
 5. CONTRACTOR SHALL RELOCATE ALL SIGNS AS NEEDED FOR PAVEMENT AND UTILITY INSTALLATION.
 6. ALL STORM SEWER IS DESIGNED TO CONVEY THE 100-YEAR STORM EVENT
 7. * SPECIAL SIDYARD GRADING THAT MAY REQUIRE DROP SIDING, ETC., DETERMINATION WILL BE BASED ON INDIVIDUAL LOT GRADING PLAN.



WOODLAND CHASE
VERNON HILLS, ILLINOIS



PEARSON, BROWN & ASSOCIATES, INC.
CONSULTING ENGINEERS
1850 W. WINCHESTER ROAD - SUITE 205
LIBERTYVILLE, IL 60448
PHONE: (847) 307-4707
FAX: (847) 307-2567
E-MAIL ADDRESS: pba@pearsonbrown.com
© COPYRIGHT 2014 PEARSON, BROWN & ASSOCIATES, INC. ALL RIGHTS RESERVED

DESIGNED BY: <u> </u> D.S.H. DRAWN BY: <u> </u> R.C.J. CHECKED BY: <u> </u> A.K.Z. ORIGINAL ISSUE: 06/02/15	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;">DATE BY</th> <th style="width: 85%;">DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>09/20/16 AKZ</td> <td>REVISED PER VILLAGE REVIEW COMMENTS</td> </tr> <tr> <td>10/20/16 AKZ</td> <td>REVISED PER DOT REVIEW COMMENTS</td> </tr> </tbody> </table> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="2" style="text-align: center;">REVISIONS</th> </tr> </thead> <tbody> <tr> <td style="width: 15%;"> </td> <td style="width: 85%;"> </td> </tr> </tbody> </table> <p style="text-align: right;">SURVEYOR SHALL INSTALL A VILLAGE BRASS MONUMENT. EXACT LOCATION SHALL BE DETERMINED IN THE FIELD BY THE VILLAGE. (BRASS MONUMENT SHALL BE PROVIDED BY THE VILLAGE)</p> <p style="text-align: right;">MATCH LINE (SEE SHEET #8)</p> <p style="text-align: center;">GRADING PLAN (NORTH)</p> <p style="text-align: center;">SHEET NUMBER 7 OF 28 SHEETS</p> <p style="text-align: right; font-size: small;">JOB No. 1641</p>	DATE BY	DESCRIPTION	09/20/16 AKZ	REVISED PER VILLAGE REVIEW COMMENTS	10/20/16 AKZ	REVISED PER DOT REVIEW COMMENTS	REVISIONS			
DATE BY	DESCRIPTION										
09/20/16 AKZ	REVISED PER VILLAGE REVIEW COMMENTS										
10/20/16 AKZ	REVISED PER DOT REVIEW COMMENTS										
REVISIONS											

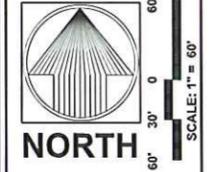


STORMWATER MANAGEMENT COMMISSION

TYPICAL CONSTRUCTION SEQUENCING

- 1) Installation of soil erosion and sediment control SF/SC measures
 - a) Selective vegetation removal for silt fence installation
 - b) Silt fence installation
 - c) Construction fencing around areas not to be disturbed
 - d) Stabilized construction entrance
 - 2) Tree removal when necessary (clear & grub)
 - 3) Construct sediment trapping devices (sediment traps, basins...)
 - 4) Construct detention facilities and outlet control structures with restrictor & temporary perforated riser
 - 5) Strip topsoil, stockpile typical and grade site
 - 6) Temporarily stabilize typical stockpiles (seed and silt fence around toe of slope)
 - 7) Install storm sewer, sanitary sewer, water and associated inlet & outlet protection
 - 8) Permanently stabilize detention basins with seed and erosion control blanket
 - 9) Temporarily stabilize all areas including lots that have reached temporary grade
 - 10) Install roadways
 - 11) Permanently stabilize all outlet areas
 - 12) Install structures and grade individual lots
 - 13) Permanently stabilize lots
 - 14) Remove all temporary SF/SC measures after the site is stabilized with vegetation
- * Soil erosion and sediment control maintenance must occur every two weeks and after every 1/2" or greater rainfall event

U:\Regulatory\Programs\ES&C\Templates\TYPICAL CONSTRUCTION SEQUENCING.dwg



WOODLAND CHASE
VERNON HILLS, ILLINOIS

PEARSON, BROWN & ASSOCIATES, INC.
CONSULTING ENGINEERS
1850 W. WINCHESTER ROAD - SUITE 205
LIBERTYVILLE, IL 60448
PHONE: (618) 387-8707
FAX: (618) 387-8700
E-MAIL ADDRESS: PBA@PEARSONBROWN.COM
© COPYRIGHT 2016 PEARSON, BROWN & ASSOCIATES, INC. ALL RIGHTS RESERVED

DESIGNED BY: D.S.H.
DRAWN BY: R.C.J.
CHECKED BY: A.K.Z.
ORIGINAL ISSUE: 06/02/16

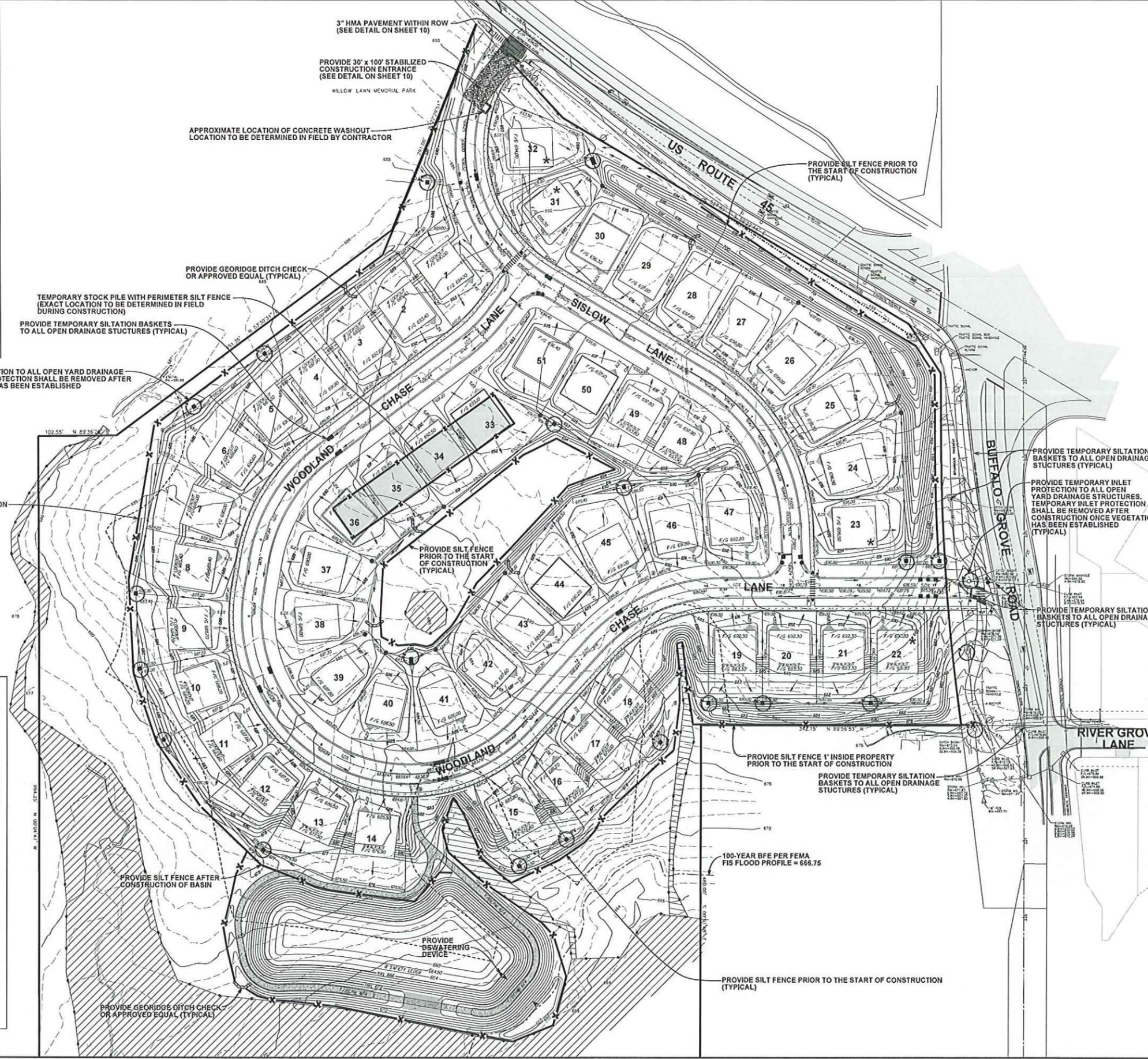
DATE BY	DESCRIPTION
09/20/16	ACZ REVISED PER VILLAGE REVIEW COMMENTS

EROSION CONTROL PLAN

REVISIONS

SHEET NUMBER
9
OF 28 SHEETS

JOB No. 1641



PROVIDE TEMPORARY INLET PROTECTION TO ALL OPEN YARD DRAINAGE STRUCTURES. TEMPORARY INLET PROTECTION SHALL BE REMOVED AFTER CONSTRUCTION ONCE VEGETATION HAS BEEN ESTABLISHED (TYPICAL)

TEMPORARY STOCK PILE WITH PERIMETER SILT FENCE (EXACT LOCATION TO BE DETERMINED IN FIELD DURING CONSTRUCTION)

PROVIDE TEMPORARY SILTATION BASKETS TO ALL OPEN DRAINAGE STRUCTURES (TYPICAL)

APPROXIMATE LOCATION OF CONCRETE WASHOUT LOCATION TO BE DETERMINED IN FIELD BY CONTRACTOR

PROVIDE GEOTEXTILE DITCH CHECK OR APPROVED EQUAL (TYPICAL)

PROVIDE SILT FENCE PRIOR TO THE START OF CONSTRUCTION (TYPICAL)

PROVIDE SILT FENCE PRIOR TO THE START OF CONSTRUCTION (TYPICAL)

PROVIDE SILT FENCE PRIOR TO THE START OF CONSTRUCTION (TYPICAL)

PROVIDE TEMPORARY SILTATION BASKETS TO ALL OPEN DRAINAGE STRUCTURES (TYPICAL)

PROVIDE TEMPORARY INLET PROTECTION TO ALL OPEN YARD DRAINAGE STRUCTURES. TEMPORARY INLET PROTECTION SHALL BE REMOVED AFTER CONSTRUCTION ONCE VEGETATION HAS BEEN ESTABLISHED (TYPICAL)

PROVIDE TEMPORARY SILTATION BASKETS TO ALL OPEN DRAINAGE STRUCTURES (TYPICAL)

PROVIDE SILT FENCE 1' INSIDE PROPERTY PRIOR TO THE START OF CONSTRUCTION

PROVIDE TEMPORARY SILTATION BASKETS TO ALL OPEN DRAINAGE STRUCTURES (TYPICAL)

100-YEAR BFE PER FEMA FIS FLOOD PROFILE = 666.76

PROVIDE SILT FENCE PRIOR TO THE START OF CONSTRUCTION (TYPICAL)

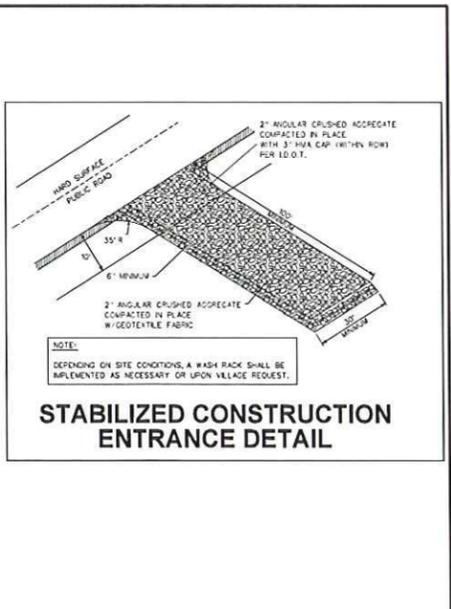
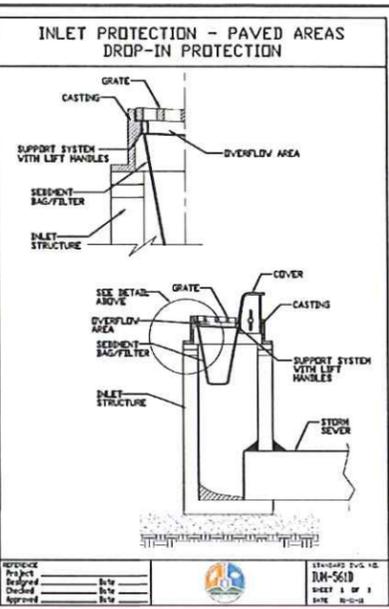
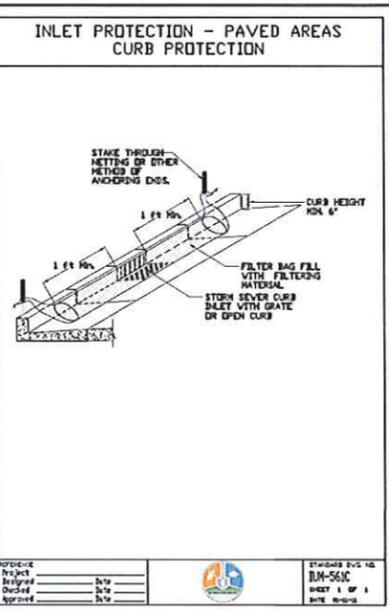
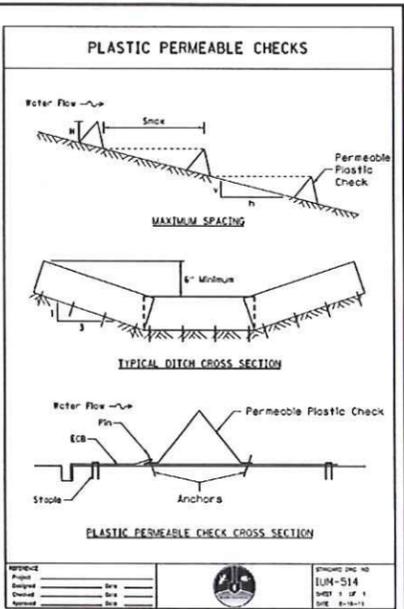
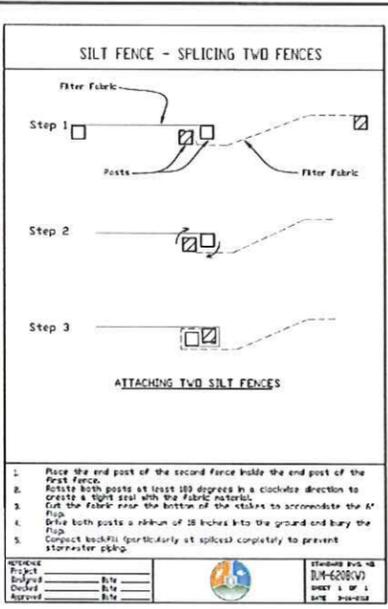
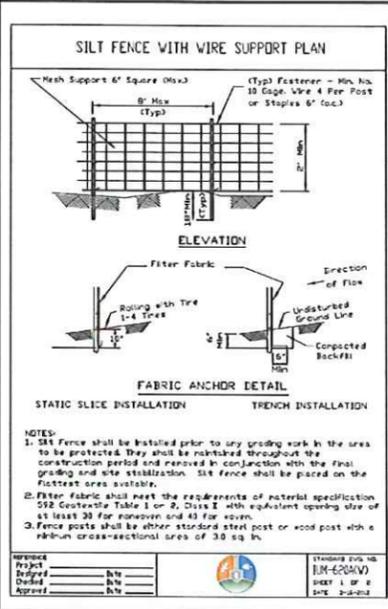
PROVIDE SILT FENCE AFTER CONSTRUCTION OF BASIN

PROVIDE BS WATERING DEVICE

PROVIDE GEOTEXTILE DITCH CHECK OR APPROVED EQUAL (TYPICAL)

LAKE COUNTY STORMWATER MANAGEMENT COMMISSION SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION NOTES

- A. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.
 - B. FOR THOSE DEVELOPMENTS THAT REQUIRE A DESIGNATED EROSION CONTROL INSPECTOR (ECI), INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED AT A MINIMUM:
 - * UPON COMPLETION OF SEDIMENT AND RUNOFF CONTROL MEASURES (INCLUDING PERIMETER CONTROLS AND DIVERSIONS) PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
 - * AFTER EVERY SEVEN (7) CALENDAR DAYS OR STEADY EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID SEDIMENT PRECIPITATION.
 - C. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
 - D. A STABILIZED MAT OF CRUSHED STONE MEETING SLOTTED GRADATION C&L UNDERLAIN WITH FILTER FABRIC AND IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL, OR OTHER APPROPRIATE MEASURES AS APPROVED BY THE ENFORCEMENT OFFICER, SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SIGNATURE OR SIGN READING AS APPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCORDING TO THE MANUAL AND TRANSPORTED TO A CONTROLLED MOUND OR DISPOSAL AREA.
 - E. TEMPORARY EROSION CONTROL SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN.
 - F. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE END OF ACTIVE HYDROLOGIC DISTURBANCE OR REDISTRIBUTION.
 - G. ALL STOCKPILES SHALL HAVE APPROPRIATE MEASURES TO PREVENT EROSION. STOCKPILES SHALL NOT BE PLACED IN FLOOD PRONE AREAS OR WETLANDS AND DESIGNATED BUFFERS.
 - H. SLOPES STEEPER THAN THREE SHALL BE STABILIZED WITH APPROPRIATE MEASURES APPROVED BY THE ENFORCEMENT OFFICER.
 - I. APPROPRIATE EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL INTERIOR DETENTION BASIN SIDE SLOPES BETWEEN THE NORMAL WATER LEVEL AND HIGH WATER LEVEL.
 - J. STORMWATER BASINS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE.
 - K. IF DEWATERING DEVICES ARE USED, ADOPTING PROPERTY AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DISCHARGES SHALL BE ROUTED THROUGH AN APPROVED ANCHOR POLYMER Dewatering SYSTEM OR A SIMILAR MEASURE AS APPROVED BY THE ENFORCEMENT OFFICER. DEWATERING SYSTEMS SHOULD BE PROTECTED DAILY DURING OPERATIONAL PERIODS. THE ENFORCEMENT OFFICER, OR APPROVED REPRESENTATIVE, MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
 - L. IF INSTALLED SOIL EROSION AND SEDIMENT CONTROL MEASURES DO NOT MINIMIZE SEDIMENT LEAVING THE DEVELOPMENT SITE, ADDITIONAL MEASURES SUCH AS ANCHOR POLYMER OR FILTRATION SYSTEMS MAY BE REQUIRED BY THE ENFORCEMENT OFFICER.
 - M. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE PROPERTY OWNER SHALL BE IMMEDIATELY RESPONSIBLE FOR MAINTENANCE AND REPAIR.
 - N. ALL TEMPORARY SEDIMENT CONTROL MEASURES SHOULD BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
 - O. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, ENFORCEMENT OFFICER, OR OTHER GOVERNMENT AGENCY.
- U:\Regulatory\Programs\ES&C\Templates\ES&C Notes 2013 TAC.dwg



WOODLAND CHASE
VERNON HILLS, ILLINOIS

PEARSON, BROWN & ASSOCIATES, INC.
CONSULTING ENGINEERS
1850 W. WINCHESTER ROAD - SUITE 205
LIBERTYVILLE, IL 60948
PHONE: (618) 367-0707
FAX: (618) 367-0707
E-MAIL ADDRESS: pba@pearsonbrown.com

DESIGNED BY: D.S.H.
DRAWN BY: R.G.L.
CHECKED BY: A.K.Z.
ORIGINAL ISSUE: 06/2016

EROTEX THE GROUND CONTROL LEADERS

Welded Wire Monofilament Inlet Protector

Specifications

Description: Welded wire monofilament protector shall consist of three (3) parts:

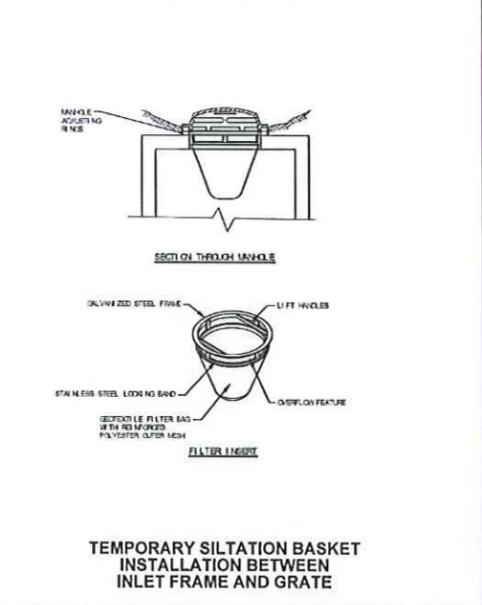
- 36" wide geotextile fabric (Orange or Black) composed of monofilament polypropylene yarns, which are woven into a stable network such that the yarns retain their relative position.
- 6" x 6" welded wire mesh geotextile composite, shall be 30" tall, formed and secured into a 42" minimum diameter circle.
- Fastening rings shall be constructed of wire conforming to ASTM A618, A308, A370 and A338.

Assembly: Geotextile shall be wrapped a minimum of one inch over the top member of the 6" x 6" welded wire mesh and secured with fastening rings at six inches on center. Geotextile shall be secured to the sides of the welded wire mesh with fastening rings at a spacing of one per square foot. The fastening rings shall penetrate both layers of geotextile and securely close around a steel member. The bottom 1/4" of fabric shall be left unsecured to allow for entrenchment.

Geotextile	MARK Values	Unit	Test Method
Structure	Monofilament		
Material	Polypropylene		
Wide Width Tensile Strength	200 (100) x 140 (20)	lb/in	ASTM D1535
Grab Tensile Strength	338 (160) x 208 (20)	lb	ASTM D4232
Grab Tensile Elongation	24 (100) x 40 (20)	%	ASTM D4232
Trapped Soil Strength	115 (140) x 75 (20)	lb/in	ASTM D4233
CSR Particle Strength	975	lb	ASTM D4244
Apparent Opening Size (AOS)	40	µm	ASTM D4718
Permeability	0.1	cm/sec	ASTM D4488
Permeability	2.1	sec	ASTM D4499
Flow Rate	145	cm³/min	ASTM D4499
UV Resistance (at 500 hours)	90	retained	ASTM D4355

Welded Wire Mesh 6" x 6" welded wire mesh shall be formed of 10ga steel conforming to ASTM A-36.

ERO-TEX N54 W14320 Garnett Mace Drive • Monroeville, PA, US 15051
(282) 250-0545 www.erotex.com • 855-437-6833 (Toll Free) • FAX: (856) 437-8833



GEORIDGE INSTALLATION INSTRUCTIONS

FIG. 1 Georidge®

FIG. 2 Georidge®

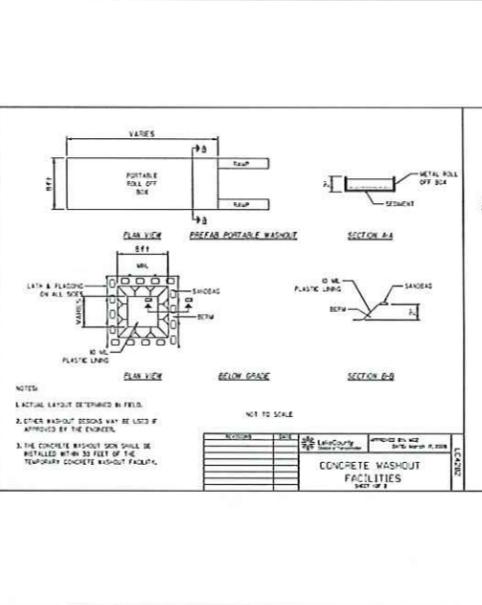
FIG. 3 Georidge®

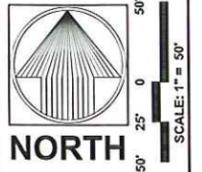
INSTALLATION INSTRUCTIONS

- Roll out Georidge® from the top of the slope in the direction of the down-slope. Anchor the blanket to the slope with staples. The blanket should be secured to the slope with staples at a spacing of 12" (300mm) on center.
- Overlap the blanket by 6" (150mm) in the direction of the down-slope. The overlap should be secured to the slope with staples.
- Secure the blanket to the slope with staples at a spacing of 12" (300mm) on center.
- Secure the blanket to the slope with staples at a spacing of 12" (300mm) on center.

NOTES: If multiple Georidge® blankets are required to cover a slope, the blankets should be secured to the slope with staples at a spacing of 12" (300mm) on center.

nilex.com
1-800-667-4811





WOODLAND CHASE
VERNON HILLS, ILLINOIS

PEARSON, BROWN & ASSOCIATES, INC.
CONSULTING ENGINEERS
1830 W. WINCHESTER ROAD - SUITE 205
LIBERTYVILLE, IL 60048
PHONE: (847) 367-6787
FAX: (847) 367-2587
E-MAIL ADDRESS: pba@pearsonbrown.com
© COPYRIGHT 2010 PEARSON, BROWN & ASSOCIATES, INC. ALL RIGHTS RESERVED

DESIGNED BY: D.S.H.
DRAWN BY: R.C.J.
CHECKED BY: A.K.Z.
ORIGINAL ISSUE: 08/02/10

DATE BY	DESCRIPTION
08/20/10 AKZ	REVISED PER VILLAGE REVIEW COMMENTS

UTILITY PLAN (NORTH)

REVISIONS

SHEET NUMBER
11
OF 28 SHEETS

JOB No. 1041

MATERIAL NOTES

SANITARY SEWER
SANITARY SEWERS AND SEWER SERVICES SHALL BE CONSTRUCTED OF POLYVINYL CHLORIDE PLASTIC GRAVITY SEWER PIPE (PVC) CONFORMING TO ASTM DESIGNATION D-2611 WITH AN SDR OF 21 WITH PUSH-ON ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM DESIGNATION D-3212.

WATER MAIN
WATER MAIN AND FITTINGS SHALL BE POLYVINYL CHLORIDE (PVC) PRESSURE RATED PIPE CONFORMING TO ASTM D1875 AND AWWA C900, HAVING A MINIMUM WALL THICKNESS CORRESPONDING TO A DR OF 18.

CONNECTIONS SHALL BE MADE WITH FLANGED OR PUSH-ON JOINTS CONFORMING TO ASTM D2153 AND ELASTOMERIC GASKET SEALS IN ACCORDANCE WITH ASTM F417. NO SOLVENT CEMENT JOINTS WILL BE ALLOWED. FLANGED JOINTS ARE REQUIRED FOR ALL CONNECTIONS TO PUMPS, VALVES AND OTHER SEPARABLE PIPELINE APPURTENANCES.

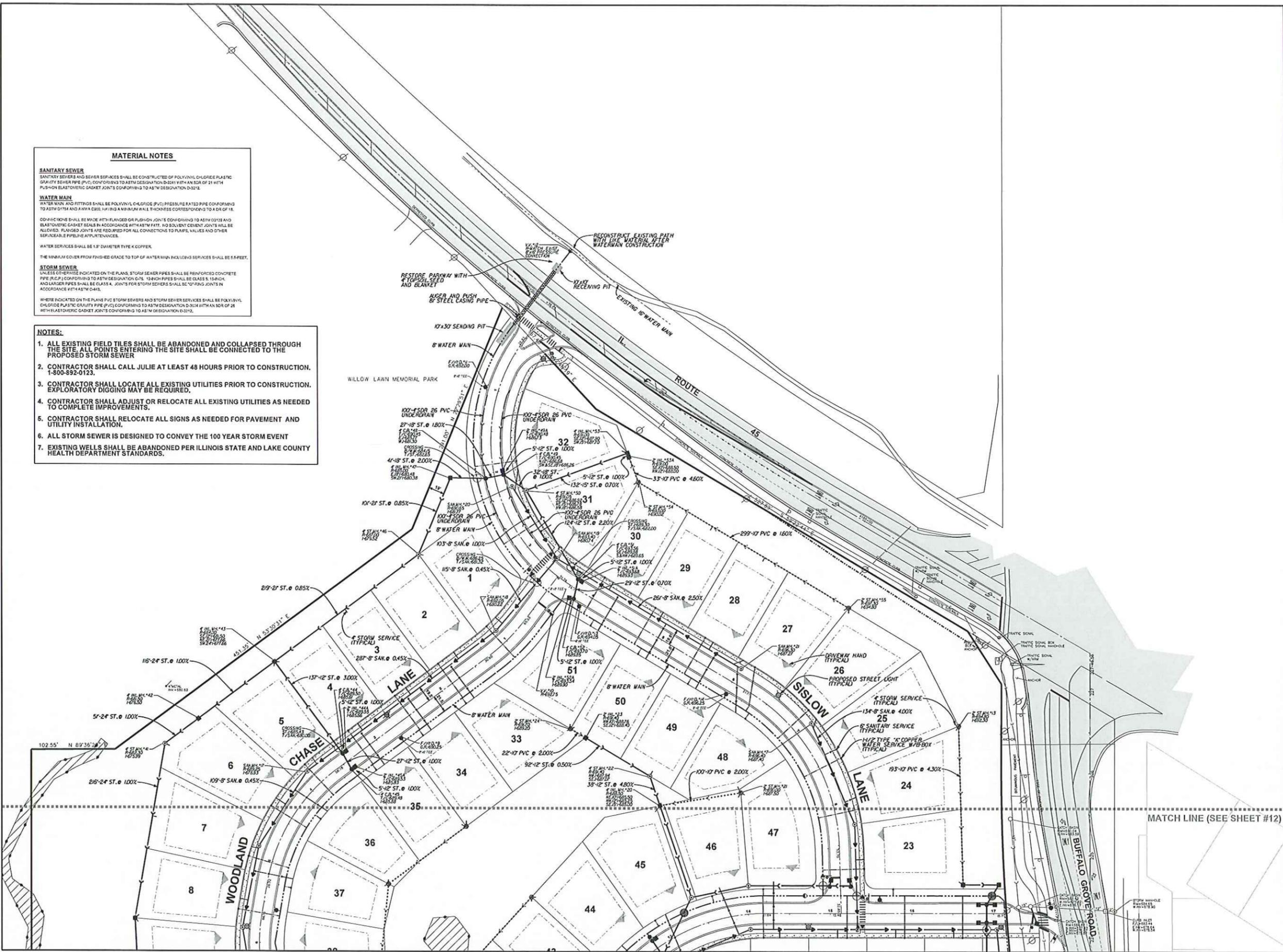
WATER SERVICES SHALL BE 1.5" DIAMETER TYPE K COPPER.

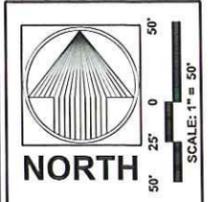
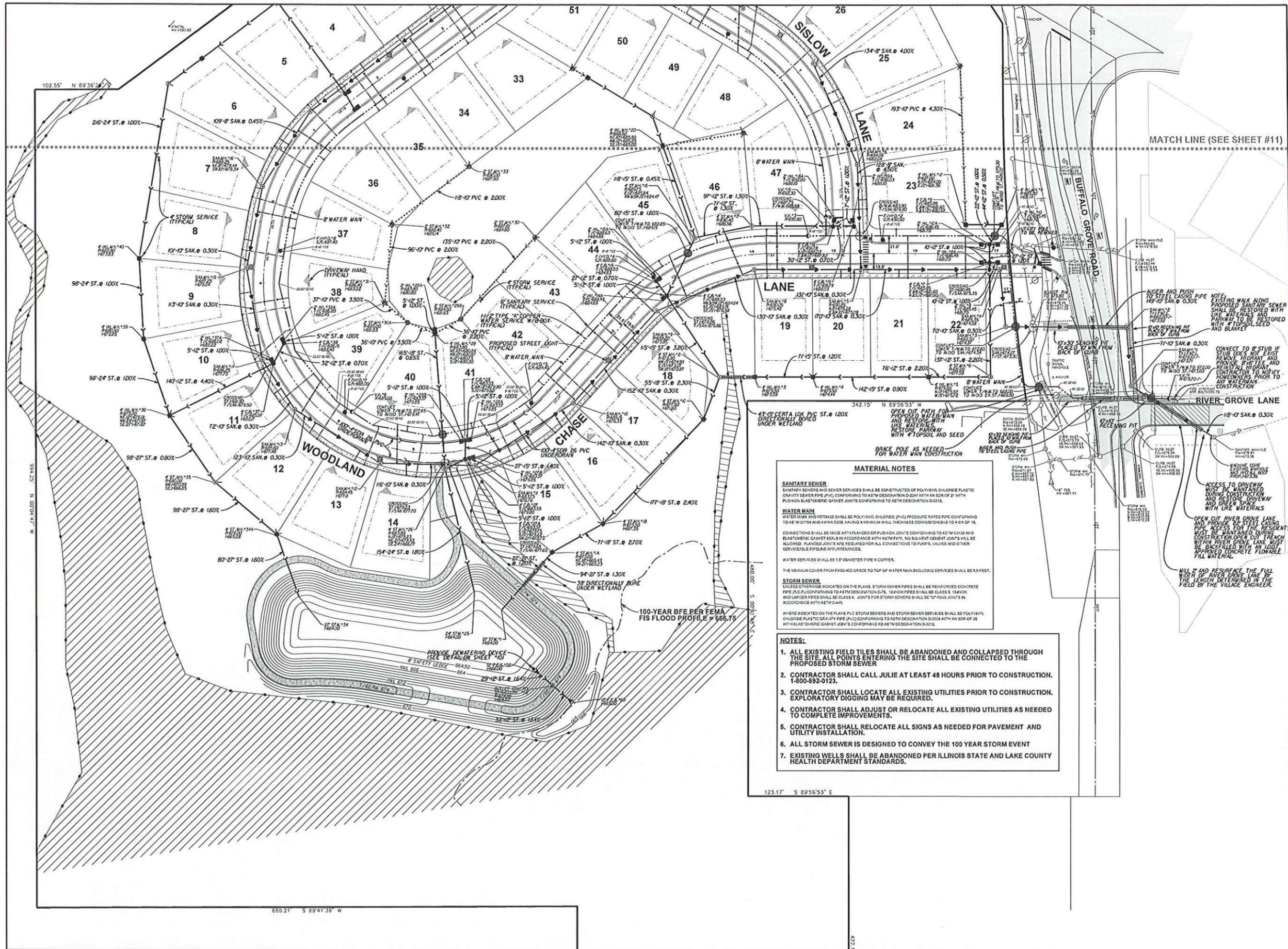
THE MINIMUM COVER FROM FINISHED GRADE TO TOP OF WATER MAIN INCLUDING SERVICES SHALL BE 5 FEET.

STORM SEWER
UNLESS OTHERWISE INDICATED ON THE PLANS, STORM SEWER PIPES SHALL BE REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM DESIGNATION C75. 18" AND PIPES SHALL BE CLASS B, 18" AND LARGER PIPES SHALL BE CLASS A. JOINTS FOR STORM SEWERS SHALL BE TYPING JOINTS IN ACCORDANCE WITH ASTM C443.

WHERE INDICATED ON THE PLANS PVC STORM SEWERS AND STORM SEWER SERVICES SHALL BE POLYVINYL CHLORIDE PLASTIC GRAVITY PIPE (PVC) CONFORMING TO ASTM DESIGNATION D-3034 WITH AN SDR OF 28 WITH ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM DESIGNATION D-3212.

- NOTES:**
1. ALL EXISTING FIELD TILES SHALL BE ABANDONED AND COLLAPSED THROUGH THE SITE. ALL POINTS ENTERING THE SITE SHALL BE CONNECTED TO THE PROPOSED STORM SEWER.
 2. CONTRACTOR SHALL CALL JULIE AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. 1-800-892-0123.
 3. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXPLORATORY DIGGING MAY BE REQUIRED.
 4. CONTRACTOR SHALL ADJUST OR RELOCATE ALL EXISTING UTILITIES AS NEEDED TO COMPLETE IMPROVEMENTS.
 5. CONTRACTOR SHALL RELOCATE ALL SIGNS AS NEEDED FOR PAVEMENT AND UTILITY INSTALLATION.
 6. ALL STORM SEWER IS DESIGNED TO CONVEY THE 100 YEAR STORM EVENT.
 7. EXISTING WELLS SHALL BE ABANDONED PER ILLINOIS STATE AND LAKE COUNTY HEALTH DEPARTMENT STANDARDS.





WOODLAND CHASE
VERNON HILLS, ILLINOIS

PEARSON, BROWN & ASSOCIATES, INC.
CONSULTING ENGINEERS
1850 W. WINCHESTER ROAD - SUITE 205
LIBERTYVILLE, IL 60468
PHONE: (647) 367-0707
FAX: (647) 367-2607
E-MAIL ADDRESS: PEARSON, BROWN & ASSOCIATES, INC. ALL RIGHTS RESERVED
© COPYRIGHT 2010 PEARSON, BROWN & ASSOCIATES, INC.

DESIGNED BY: D.S.M.
DRAWN BY: R.C.M.
CHECKED BY: A.K.Z.
ORIGINAL ISSUE: 06/20/10

DATE BY	DESCRIPTION
09/20/10 AKZ	REVISED PER VILLAGE REVIEW COMMENTS

UTILITY PLAN (SOUTH)

REVISIONS

SHEET NUMBER
12
OF 28 SHEETS

JOB No. 1041

MATERIAL NOTES

SANITARY SEWER
SANITARY SEWERS AND SEWER SERVICES SHALL BE CONSTRUCTED OF POLYVINYL CHLORIDE PLASTIC GRAVITY SEWER PIPE (PVC) CONFORMING TO ASTM DESIGNATION D-241 WITH AN SDR OF 21 WITH PUSH-IN ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM DESIGNATION D-3212.

WATER MAIN
WATER MAIN AND FITTINGS SHALL BE POLYVINYL CHLORIDE (PVC) PRESSURE RATED PIPE CONFORMING TO ASTM D241 AND AN IRON COOL, HAVING A MINIMUM WALL THICKNESS CORRESPONDING TO A CR OF 18.

CONNECTIONS
CONNECTIONS SHALL BE MADE WITH FLANGED OR PUSH-IN JOINTS CONFORMING TO ASTM D3212 AND ELASTOMERIC GASKET SEALS IN ACCORDANCE WITH ASTM F417. NO SOLVENT CEMENT JOINTS WILL BE ALLOWED. FLANGED JOINTS ARE REQUIRED FOR ALL CONNECTIONS TO PUMPS, VALVES AND OTHER SERVICEABLE PIPELINE APPURTENANCES.

WATER SERVICES
WATER SERVICES SHALL BE 1/2" DIAMETER TYPE K COPPER.

STORM SEWER
UNLESS OTHERWISE INDICATED ON THE PLANS, STORM SEWER PIPES SHALL BE REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM DESIGNATION C-76. 18" DIAM PIPES SHALL BE CLASS 5, 18" AND LARGER PIPES SHALL BE CLASS 4. JOINTS FOR STORM SEWERS SHALL BE 10'-0" JOINTS IN ACCORDANCE WITH ASTM C443.

WHERE INDICATED ON THE PLANS PVC STORM SEWERS AND STORM SEWER SERVICES SHALL BE POLYVINYL CHLORIDE PLASTIC GRAVITY PIPE (PVC) CONFORMING TO ASTM DESIGNATION D-3034 WITH AN SDR OF 26 WITH ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM DESIGNATION D-3212.

- NOTES:**
1. ALL EXISTING FIELD TILES SHALL BE ABANDONED AND COLLAPSED THROUGH THE SITE. ALL POINTS ENTERING THE SITE SHALL BE CONNECTED TO THE PROPOSED STORM SEWER.
 2. CONTRACTOR SHALL CALL JULIE AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. 1-800-892-0123.
 3. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXPLORATORY DIGGING MAY BE REQUIRED.
 4. CONTRACTOR SHALL ADJUST OR RELOCATE ALL EXISTING UTILITIES AS NEEDED TO COMPLETE IMPROVEMENTS.
 5. CONTRACTOR SHALL RELOCATE ALL SIGNS AS NEEDED FOR PAVEMENT AND UTILITY INSTALLATION.
 6. ALL STORM SEWER IS DESIGNED TO CONVEY THE 100 YEAR STORM EVENT.
 7. EXISTING WELLS SHALL BE ABANDONED PER ILLINOIS STATE AND LAKE COUNTY HEALTH DEPARTMENT STANDARDS.

NOTE:
UNDER AND PUSH TO STEEL CASING PIPE SHALL BE RESTORED WITH LINE MATERIALS AND PAVEMENT TO BE STORED WITH WIRE MESH AND BLANKET.

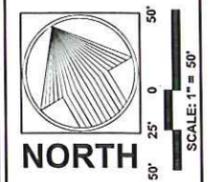
NOTE:
EXISTING WALK ALONG PROPOSED SANITARY SEWER SHALL BE RESTORED WITH LINE MATERIALS AND PAVEMENT TO BE STORED WITH WIRE MESH AND BLANKET.

NOTE:
CONNECT TO 8" STUB IF STUB DOES NOT EXIST REMOVE FITTING AND PROVIDE BRITTEE AND REINFORCING STEEL CONTRACTOR TO NOTIFY HOMEOWNERS PRIOR TO ANY WATER MAIN CONSTRUCTION.

NOTE:
ACCESS TO DRIVEWAY MUST BE MAINTAINED DURING CONSTRUCTION AND RESTORE DRIVEWAY AND GREEN SPACE WITH LIKE MATERIALS.

NOTE:
OPEN CUT RIVER GROVE LANE AND PROVIDE 24" STEEL CASING PIPE ACCESS FOR THE RESIDENTS MUST BE MAINTAINED DURING CONSTRUCTION OPEN CUT TRENCH WITH RIVER GROVE LANE MUST BE BACKFILLED WITH AN ADJ. APPROVED CONCRETE FLOWABLE FILL MATERIAL.

NOTE:
MILL 2" AND RESURFACE THE FULL WIDTH OF RIVER GROVE LANE BY THE LENGTH DETERMINED IN THE FIELD BY THE VILLAGE ENGINEER.



WOODLAND CHASE
VERNON HILLS, ILLINOIS

PEARSON, BROWN & ASSOCIATES, INC.
CONSULTING ENGINEERS
1850 W. WINCHESTER ROAD - SUITE 205
LIBERTYVILLE, IL 60448
PHONE: (847) 367-6797
FAX: (847) 367-6597
E-MAIL ADDRESS: P&B@P&B.COM
© COPYRIGHT 2014 PEARSON, BROWN & ASSOCIATES, INC. ALL RIGHTS RESERVED

DESIGNED BY: D.S.H.
DRAWN BY: R.C.J.
CHECKED BY: A.K.Z.
ORIGINAL ISSUE: 06/02/15

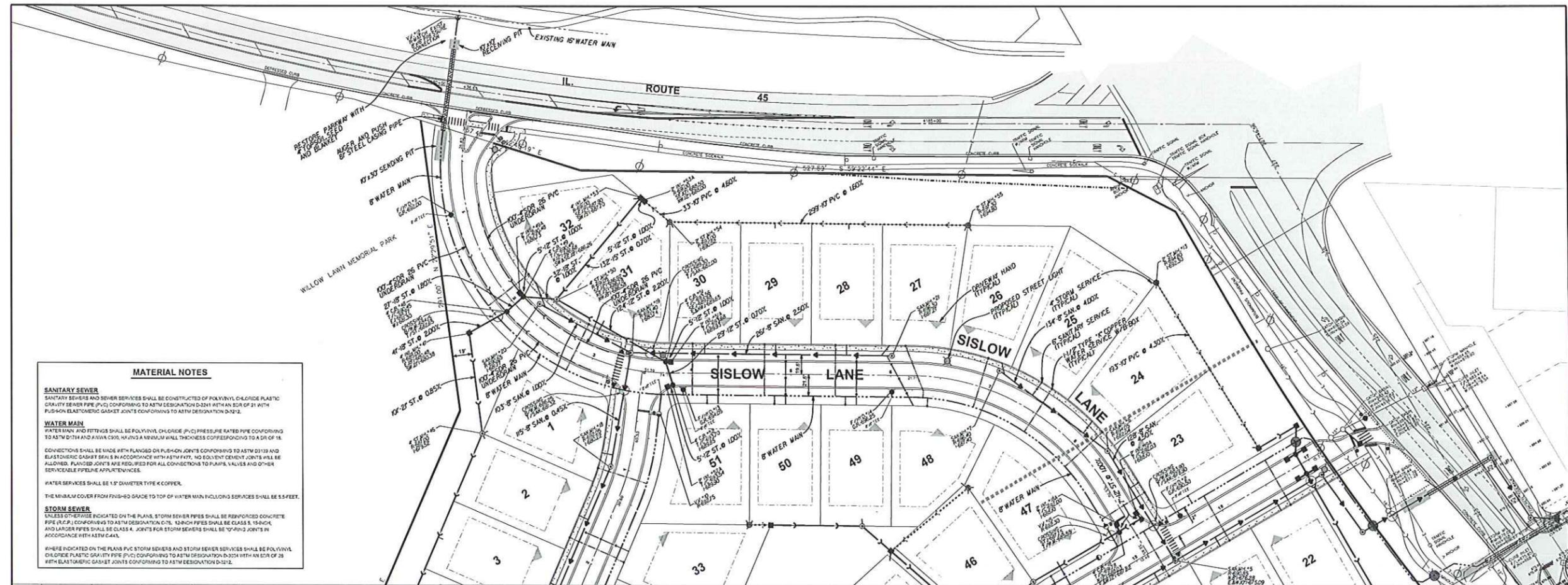
DATE BY	DESCRIPTION
06/02/15	AKZ REVISED PER VILLAGE REVIEW COMMENTS

REVISIONS	

PLAN & PROFILE
(SISLOW LANE)

SHEET NUMBER
13
OF 28 SHEETS

JOB No. 1641



MATERIAL NOTES

SANITARY SEWER
SANITARY SEWERS AND SEWER SERVICES SHALL BE CONSTRUCTED OF POLYVINYL CHLORIDE PLASTIC GRAVITY SEWER PIPE (PVC) CONFORMING TO ASTM DESIGNATION D-3241 WITH AN SDR OF 31 WITH PUSH-ON ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM DESIGNATION D-3242.

WATER MAIN
WATER MAIN AND FITTINGS SHALL BE POLYVINYL CHLORIDE (PVC) PRESSURE RATED PIPE CONFORMING TO ASTM D1784 AND AWWA C900, HAVING A MINIMUM WALL THICKNESS CORRESPONDING TO A DR OF 14.

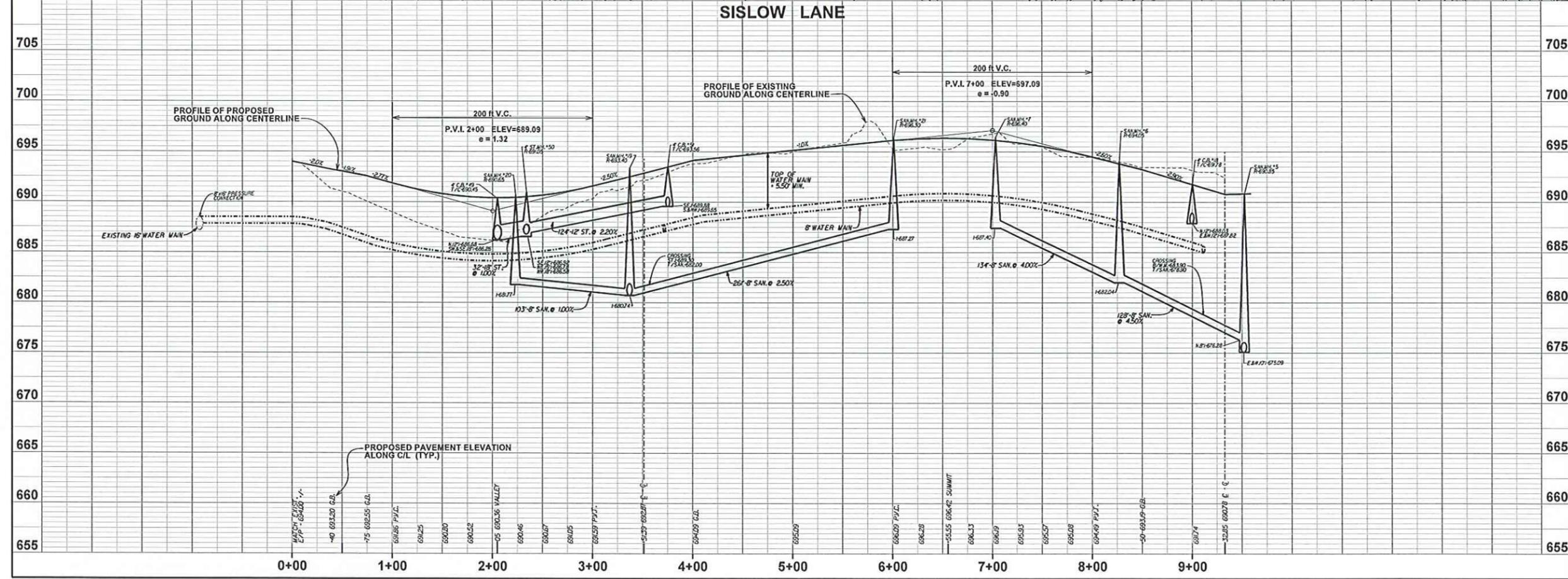
CONNECTIONS SHALL BE MADE WITH FLANGED OR PUSH-ON JOINTS CONFORMING TO ASTM D1113 AND ELASTOMERIC GASKET SEALS IN ACCORDANCE WITH ASTM F477. NO SOLVENT CEMENT JOINTS WILL BE ALLOWED. FLANGED JOINTS ARE REQUIRED FOR ALL CONNECTIONS TO PUMPS, VALVES AND OTHER SERVICEABLE PIPELINE APPLIANCE.

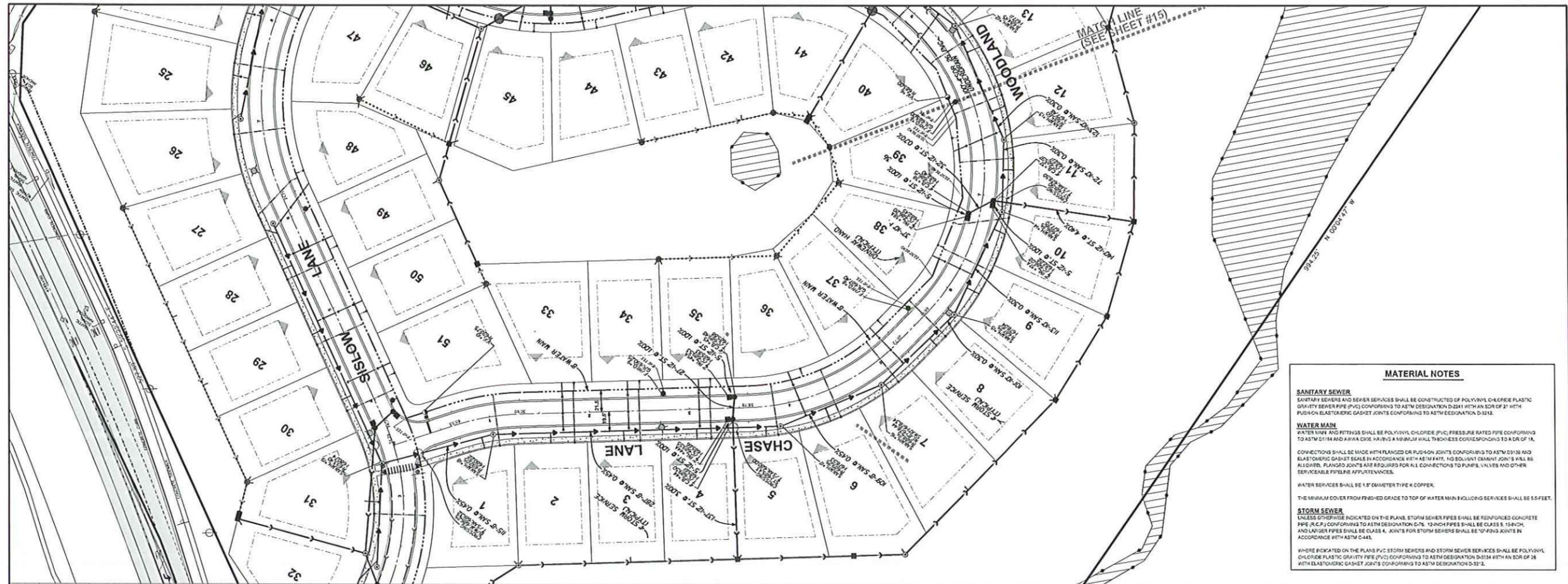
WATER SERVICES SHALL BE 1/2" DIAMETER TYPE K COPPER.

THE MINIMUM COVER FROM FINISHED GRADE TO TOP OF WATER MAIN INCLUDING SERVICES SHALL BE 5.5 FEET.

STORM SEWER
UNLESS OTHERWISE INDICATED ON THE PLANS, STORM SEWER PIPES SHALL BE REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM DESIGNATION C-75. 12 INCH PIPES SHALL BE CLASS R, 15 INCH AND LARGER PIPES SHALL BE CLASS K. JOINTS FOR STORM SEWERS SHALL BE TYPING JOINTS IN ACCORDANCE WITH ASTM C-443.

WHERE INDICATED ON THE PLANS PVC STORM SEWERS AND STORM SEWER SERVICES SHALL BE POLYVINYL CHLORIDE PLASTIC GRAVITY PIPE (PVC) CONFORMING TO ASTM DESIGNATION D-3241 WITH AN SDR OF 26 WITH ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM DESIGNATION D-3242.





MATERIAL NOTES

SANITARY SEWER
 SANITARY SEWERS AND SEWER SERVICES SHALL BE CONSTRUCTED OF POLYVINYL CHLORIDE PLASTIC GRAVITY SEWER PIPE (PVC) CONFORMING TO ASTM DESIGNATION D2411 WITH AN SDR OF 21 WITH PUSH ON ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM DESIGNATION D3212.

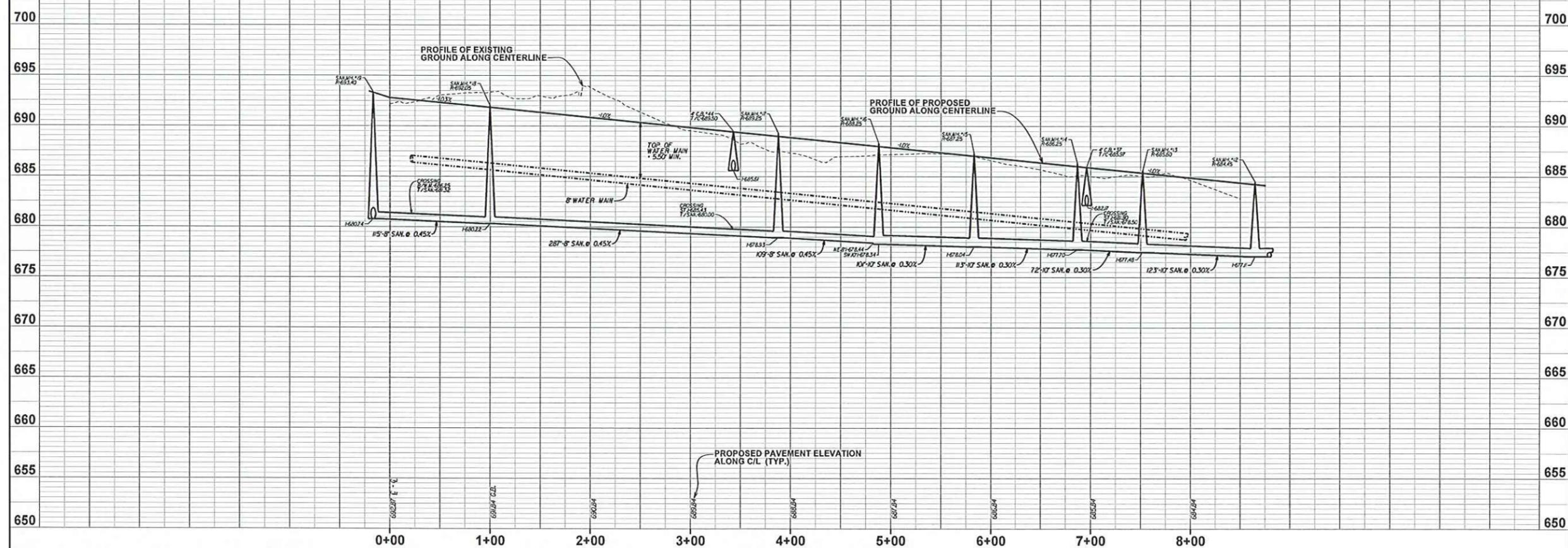
WATER MAIN
 WATER MAIN AND FITTINGS SHALL BE POLYVINYL CHLORIDE (PVC) PRESSURE RATED PIPE CONFORMING TO ASTM D1114 AND AWWA C900, HAVING A MINIMUM WALL THICKNESS CORRESPONDING TO A DR OF 18. CONNECTIONS SHALL BE MADE WITH FLANGED OR PUSH ON JOINTS CONFORMING TO ASTM D1138 AND ELASTOMERIC GASKET SEALS IN ACCORDANCE WITH AWWA F401. NO SOLVENT CEMENT JOINTS SHALL BE ALLOWED. FLANGED JOINTS ARE REQUIRED FOR ALL CONNECTIONS TO PUMPS, VALVES AND OTHER SERVICEABLE PIPELINE APPLIANCES.

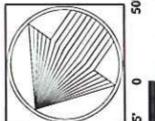
WATER SERVICES SHALL BE 1.5" DIAMETER TYPE K COPPER.
 THE MINIMUM COVER FROM FINISHED GRADE TO TOP OF WATER MAIN INCLUDING SERVICES SHALL BE 5.5 FEET.

STORM SEWER
 UNLESS OTHERWISE INDICATED ON THE PLANS, STORM SEWER PIPES SHALL BE REINFORCED CONCRETE PIPE (R.C.P.) CONFORMING TO ASTM DESIGNATION C-76. 12-INCH PIPES SHALL BE CLASS 5, 15-INCH AND LARGER PIPES SHALL BE CLASS 4. JOINTS FOR STORM SEWERS SHALL BE 10-FING JOINTS IN ACCORDANCE WITH ASTM C-441.

WHERE INDICATED ON THE PLANS P.V.C. STORM SEWERS AND STORM SEWER SERVICES SHALL BE POLYVINYL CHLORIDE PLASTIC GRAVITY PIPE (PVC) CONFORMING TO ASTM DESIGNATION D2411 WITH AN SDR OF 26 WITH ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM DESIGNATION D-3212.

WOODLAND CHASE LANE





NORTH

SCALE: 1" = 50'

WOODLAND CHASE
 VERNON HILLS, ILLINOIS

PEARSON, BROWN & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 1830 W. WINCHESTER ROAD - SUITE 205
 LIBERTYVILLE, IL. 60048
 PHONE: (647) 367-6707
 FAX: (647) 367-2667
 E-MAIL ADDRESS: pba@pearsonbrown.com
 © COPYRIGHT 2016 PEARSON, BROWN & ASSOCIATES, INC. ALL RIGHTS RESERVED

DESIGNED BY: D.S.M.
 DRAWN BY: R.C.J.
 CHECKED BY: A.K.Z.
 ORIGINAL ISSUE: 08/02/16

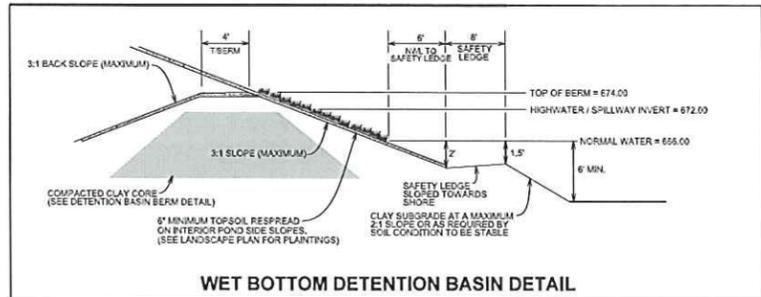
DATE BY	DESCRIPTION
09/20/16	AKZ REVISED PER VILLAGE COMMENTS

REVISIONS

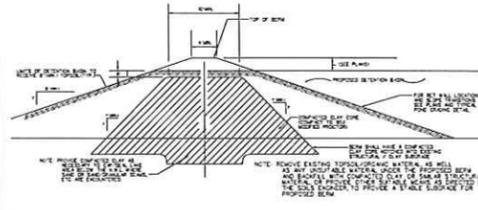
PLAN & PROFILE
 (WOODLAND CHASE LANE)

SHEET NUMBER
14
 OF 28 SHEETS

JOB No. 1641



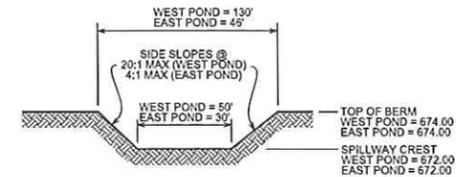
WET BOTTOM DETENTION BASIN DETAIL



A QUALIFIED SOILS ENGINEER SHALL REGULARLY INSPECT THE EXCAVATION OF THE LAKE AREAS TO INSURE THAT THE LAKES WILL BE CAPABLE OF MAINTAINING DESIGNED NORMAL WATER LEVELS. GRAVEL OR SAND SEAMS OR OTHER CONDITIONS WHICH MAY BE ENCOUNTERED, AND WHICH MIGHT TEND TO DE-WATER THE LAKES, SHALL BE REMEDIATED AS DIRECTED BY THE SOILS ENGINEER (I.E. LINNS, CLAY BLANKET, BENTONITE, ETC.).

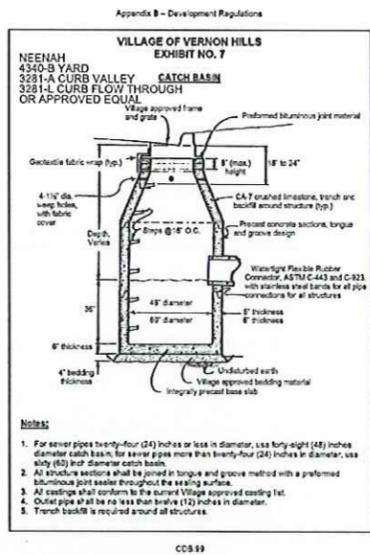
NOTE: ALSO SEE COMPACTION STANDARDS ON SHEET 2, NOTE III. B.

DETENTION BASIN BERM DETAIL



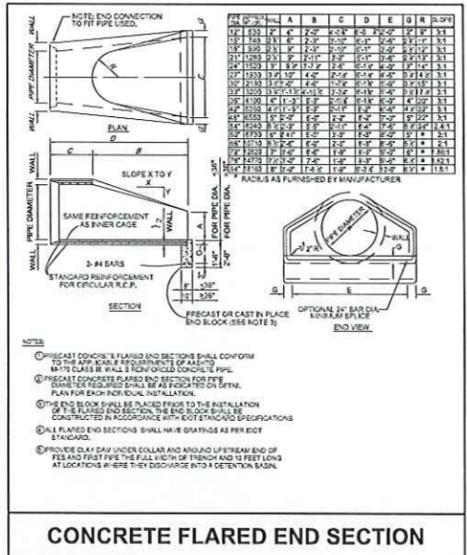
NOTE: PROVIDE NAG SC1508N BLANKET WITHIN SPILLWAY CREST AND ALONG DOWNSTREAM SLOPE TO THE TOE OF BERM.

DETENTION POND SPILLWAY CREST DETAIL

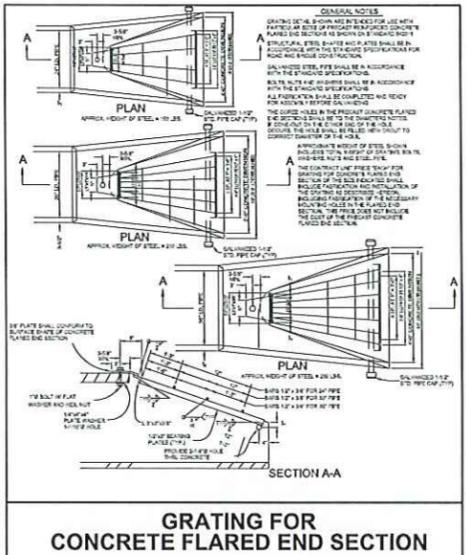


- Notes:**
- For sewer pipes twenty-four (24) inches or less in diameter, use forty-eight (48) inches diameter catch basin. For sewer pipes more than twenty-four (24) inches in diameter, use sixty (60) inch diameter catch basin.
 - All structure sections shall be joined in tongue and groove method with a preformed continuous joint sealant throughout the sealing surface.
 - All castings shall conform to the current Village approved casting list.
 - Outlet pipe shall be no less than twelve (12) inches in diameter.
 - French drain is required around all structures.

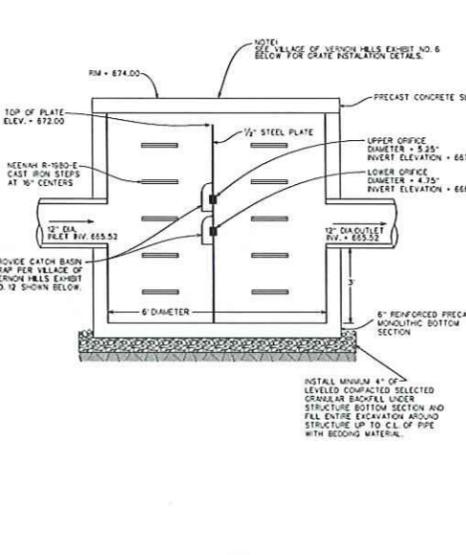
CCS 99



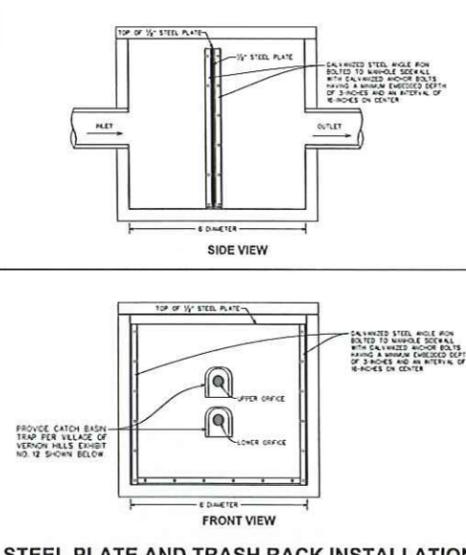
CONCRETE FLARED END SECTION



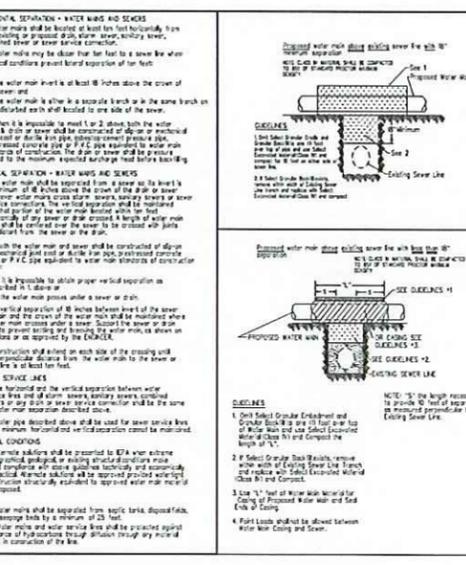
GRATING FOR CONCRETE FLARED END SECTION



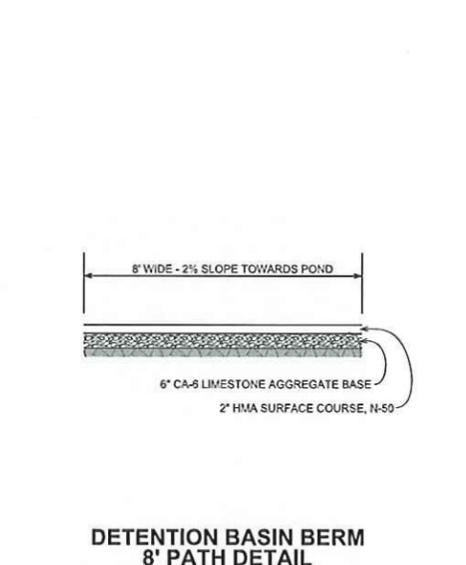
OUTLET CONTROL STRUCTURE



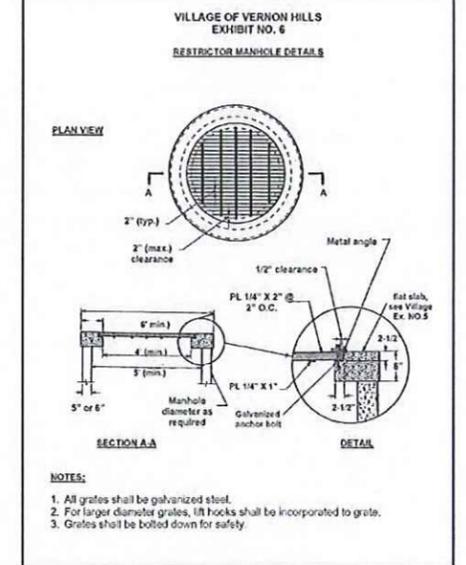
STEEL PLATE AND TRASH RACK INSTALLATION FOR OUTLET CONTROL STRUCTURE



WATER AND SEWER SEPARATION REQUIREMENTS (VERTICAL SEPARATION)

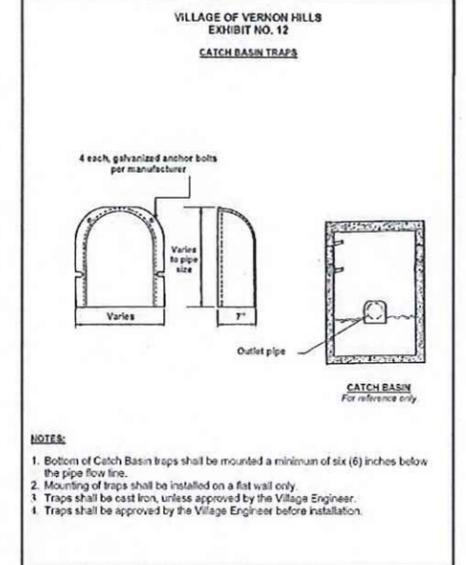


DETENTION BASIN BERM 8' PATH DETAIL



NOTES:

- All grates shall be galvanized steel.
- For larger diameter grates, lift hooks shall be incorporated to grates.
- Grates shall be bolted down for safety.



NOTES:

- Bottom of Catch Basin traps shall be mounted a minimum of six (6) inches below the pipe flow line.
- Mounting of traps shall be installed on a flat wall only.
- Traps shall be cast iron, unless approved by the Village Engineer.
- Traps shall be approved by the Village Engineer before installation.

WOODLAND CHASE
VERNON HILLS, ILLINOIS

PEARSON, BROWN & ASSOCIATES, INC.
CONSULTING ENGINEERS
1850 W. WINCHESTER ROAD - SUITE 205
LIBERTYVILLE, IL 60048
PHONE: (847) 307-0707
FAX: (847) 367-0700
E-MAIL ADDRESS: pba@pba.com

DESIGNED BY: D.S.H.
DRAWN BY: R.G.J.
CHECKED BY: A.K.Z.
ORIGINAL ISSUE: 06/02/15

DATE BY: 06/02/15 (AKZ) REVISED PER VILLAGE REVIEW COMMENTS

DESCRIPTION

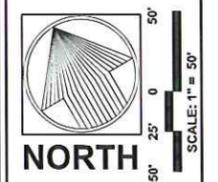
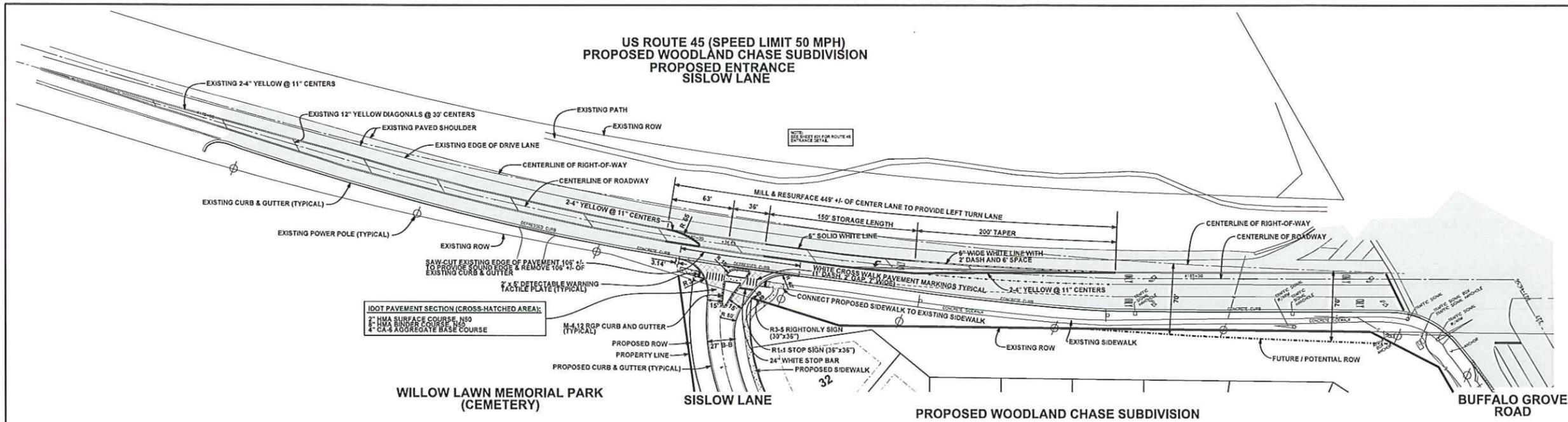
REVISIONS

DETAILS

SHEET NUMBER
17

OF 28 SHEETS

JOB NO. 1641



WOODLAND CHASE
VERNON HILLS, ILLINOIS

PEARSON, BROWN & ASSOCIATES, INC.
CONSULTING ENGINEERS
1820 W. WINCHESTER ROAD - SUITE 205
LIBERTYVILLE, IL 60468
PHONE: (618) 367-0707
FAX: (618) 367-0667
E-MAIL ADDRESS: pba@pba.com

DESIGNED BY: D.S.M.
DRAWN BY: R.C.J.
CHECKED BY: A.K.Z.
ORIGINAL ISSUE: 060212E

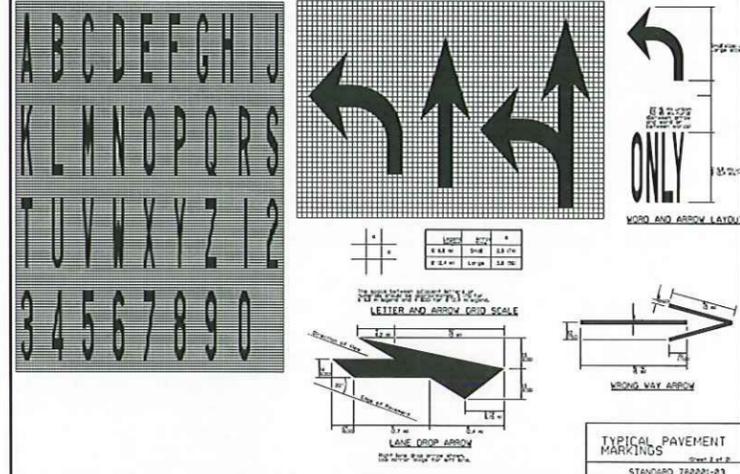
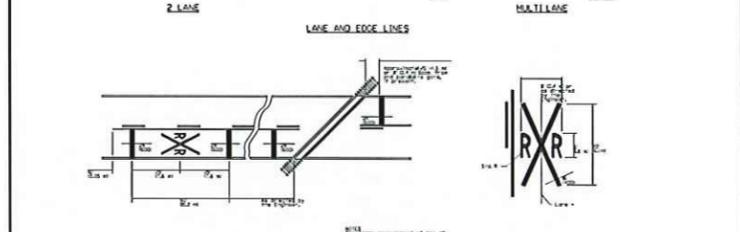
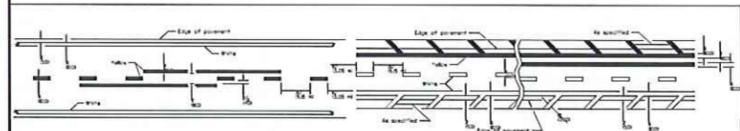


TABLE 1
LETTERS
2 1/2" (6.4 cm)

Size	A	B	C	D	E	F	G	H	I
1 1/2"	0.37	0.37	0.37	0.37	0.37	0.37	0.37	0.37	0.37
2 1/2"	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50
3 1/2"	0.63	0.63	0.63	0.63	0.63	0.63	0.63	0.63	0.63
4 1/2"	0.76	0.76	0.76	0.76	0.76	0.76	0.76	0.76	0.76
5 1/2"	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89
6 1/2"	1.02	1.02	1.02	1.02	1.02	1.02	1.02	1.02	1.02
7 1/2"	1.15	1.15	1.15	1.15	1.15	1.15	1.15	1.15	1.15
8 1/2"	1.28	1.28	1.28	1.28	1.28	1.28	1.28	1.28	1.28
9 1/2"	1.41	1.41	1.41	1.41	1.41	1.41	1.41	1.41	1.41
10 1/2"	1.54	1.54	1.54	1.54	1.54	1.54	1.54	1.54	1.54

NUMBERS
2 1/2" (6.4 cm)

Size	1	2	3	4	5
1 1/2"	0.37	0.37	0.37	0.37	0.37
2 1/2"	0.50	0.50	0.50	0.50	0.50
3 1/2"	0.63	0.63	0.63	0.63	0.63
4 1/2"	0.76	0.76	0.76	0.76	0.76
5 1/2"	0.89	0.89	0.89	0.89	0.89
6 1/2"	1.02	1.02	1.02	1.02	1.02
7 1/2"	1.15	1.15	1.15	1.15	1.15
8 1/2"	1.28	1.28	1.28	1.28	1.28
9 1/2"	1.41	1.41	1.41	1.41	1.41
10 1/2"	1.54	1.54	1.54	1.54	1.54

NUMBERS
3 1/2" (9.1 cm)

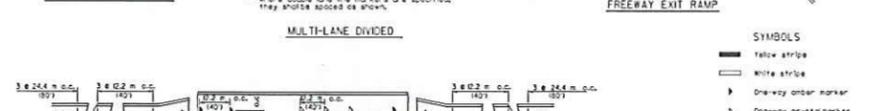
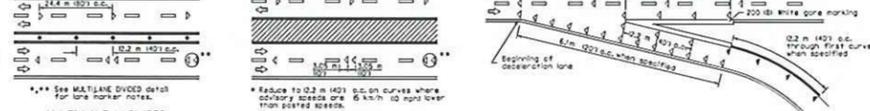
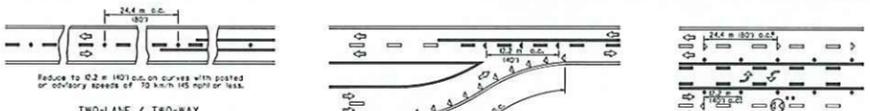
Size	1	2	3	4	5
1 1/2"	0.50	0.50	0.50	0.50	0.50
2 1/2"	0.63	0.63	0.63	0.63	0.63
3 1/2"	0.76	0.76	0.76	0.76	0.76
4 1/2"	0.89	0.89	0.89	0.89	0.89
5 1/2"	1.02	1.02	1.02	1.02	1.02
6 1/2"	1.15	1.15	1.15	1.15	1.15
7 1/2"	1.28	1.28	1.28	1.28	1.28
8 1/2"	1.41	1.41	1.41	1.41	1.41
9 1/2"	1.54	1.54	1.54	1.54	1.54
10 1/2"	1.67	1.67	1.67	1.67	1.67

NUMBERS
4 1/2" (11.4 cm)

Size	1	2	3	4	5
1 1/2"	0.63	0.63	0.63	0.63	0.63
2 1/2"	0.76	0.76	0.76	0.76	0.76
3 1/2"	0.89	0.89	0.89	0.89	0.89
4 1/2"	1.02	1.02	1.02	1.02	1.02
5 1/2"	1.15	1.15	1.15	1.15	1.15
6 1/2"	1.28	1.28	1.28	1.28	1.28
7 1/2"	1.41	1.41	1.41	1.41	1.41
8 1/2"	1.54	1.54	1.54	1.54	1.54
9 1/2"	1.67	1.67	1.67	1.67	1.67
10 1/2"	1.80	1.80	1.80	1.80	1.80

NUMBERS
5 1/2" (14.0 cm)

Size	1	2	3	4	5
1 1/2"	0.76	0.76	0.76	0.76	0.76
2 1/2"	0.89	0.89	0.89	0.89	0.89
3 1/2"	1.02	1.02	1.02	1.02	1.02
4 1/2"	1.15	1.15	1.15	1.15	1.15
5 1/2"	1.28	1.28	1.28	1.28	1.28
6 1/2"	1.41	1.41	1.41	1.41	1.41
7 1/2"	1.54	1.54	1.54	1.54	1.54
8 1/2"	1.67	1.67	1.67	1.67	1.67
9 1/2"	1.80	1.80	1.80	1.80	1.80
10 1/2"	1.93	1.93	1.93	1.93	1.93



PAVEMENT MARKING
SECTION 700 PAVEMENT MARKING
700.01 Description. This work shall consist of furnishing and applying pavement marking.
700.02 Materials. Materials shall be according to the following Articles of Section 1000 - Materials:
101 Thermoplastic Pavement Markings 1055
102 Painted Pavement Markings 1055
103 Preformed Plastic Pavement Markings 1055
104 Epoxy Pavement Markings 1055
105 Thermoplastic Hand Operated (Hot) 1055
106 Epoxy 1055

700.03 Equipment. Equipment shall be according to the following Articles of Section 1000.
101 Thermoplastic Truck Mounted (Hot) 1055.01
102 Thermoplastic Hand Operated (Hot) 1055.01
103 Epoxy 1055.02

Note: 1. A mechanical beader approved by the Engineer shall be used.

CONSTRUCTION REQUIREMENTS
700.04 General. Thermoplastic and epoxy pavement markings shall be applied by Contractors on the list of Approved Contractors maintained by the Engineer of Operations and in effect on the date of advertisement for bids.
700.05 Thermoplastic. Thermoplastic material shall not be applied over existing pavement markings. The Contractor shall remove all markings on roads other than those which may be placed with other truck-mounted or hand-applied equipment.
700.06 Epoxy. Epoxy pavement markings shall be applied by hand. The Contractor shall remove all markings on roads other than those which may be placed with other truck-mounted or hand-applied equipment.
700.07 Thermoplastic. Thermoplastic material shall not be applied over existing pavement markings. The Contractor shall remove all markings on roads other than those which may be placed with other truck-mounted or hand-applied equipment.
700.08 Preformed Thermoplastic. The pavement markings shall be capable of being applied on either asphalt surfaces or portland cement concrete surfaces by using a propane blower.
700.09 Epoxy. The pavement shall be cleaned by a method approved by the Engineer to remove dirt, grease, oil, or any other material that would reduce the adhesion of the markings with minimum or no damage to the pavement surface. The Contractor shall be responsible for the removal of markings on roads other than those which may be placed with other truck-mounted or hand-applied equipment.
700.10 Inspection. The epoxy, thermoplastic, preformed thermoplastic, and preformed plastic Type A, B, or C pavement markings will be inspected following installation, but no later than October 15 for preformed plastic markings, November 15 for thermoplastic and preformed thermoplastic markings, and December 15 for epoxy markings. In addition, there will be inspection following a winter performance period that extends 180 days from November 1.

The markings placed on the pavement shall be rolled and compacted onto the pavement with a roller or tamper not approved by the manufacturer. The roller shall be loaded with or weigh at least 50 kg (100 lbs.). The Contractor shall tamp and roll the material sufficiently to prevent any removal or peeling of the markings. The roller shall be loaded with or weigh at least 50 kg (100 lbs.). The roller shall be loaded with or weigh at least 50 kg (100 lbs.). The roller shall be loaded with or weigh at least 50 kg (100 lbs.).

The markings shall be applied at a minimum thickness of 1.5 mm (0.06 inch). The markings shall be applied at a minimum thickness of 1.5 mm (0.06 inch). The markings shall be applied at a minimum thickness of 1.5 mm (0.06 inch). The markings shall be applied at a minimum thickness of 1.5 mm (0.06 inch).

The markings shall be placed on the pavement by means of a mechanical applicator or by hand. The markings shall be placed on the pavement by means of a mechanical applicator or by hand. The markings shall be placed on the pavement by means of a mechanical applicator or by hand. The markings shall be placed on the pavement by means of a mechanical applicator or by hand.

The markings shall be placed on the pavement by means of a mechanical applicator or by hand. The markings shall be placed on the pavement by means of a mechanical applicator or by hand. The markings shall be placed on the pavement by means of a mechanical applicator or by hand. The markings shall be placed on the pavement by means of a mechanical applicator or by hand.

SYMBOLS
Yellow stripe
White stripe
One-way arrow marker
Two-way arrow marker
Two-way arrow marker

TYPICAL APPLICATIONS RAISED REFLECTIVE PAVEMENT MARKERS
STANDARD 701021-01

700.06 Point. Prior to application of the point pavement marking, the Contractor shall make certain the pavement surface is dry and free of dirt or grease and, if necessary, clean the surface to the satisfaction of the Engineer.
700.07 Preformed Plastic. The markings shall be capable of being applied on either newly placed asphalt concrete surfaces or on existing asphalt concrete surfaces. The markings shall be applied on either newly placed asphalt concrete surfaces or on existing asphalt concrete surfaces. The markings shall be applied on either newly placed asphalt concrete surfaces or on existing asphalt concrete surfaces. The markings shall be applied on either newly placed asphalt concrete surfaces or on existing asphalt concrete surfaces.

700.11 Method of Measurement. The requirements for the use of contract quantities shall be according to Article 201.01(a).
700.12 Measured Quantities. The lines will be measured for payment in meters (feet) of the thermoplastic, preformed plastic, epoxy, or epoxy pavement markings. The lines will be measured for payment in meters (feet) of the thermoplastic, preformed plastic, epoxy, or epoxy pavement markings. The lines will be measured for payment in meters (feet) of the thermoplastic, preformed plastic, epoxy, or epoxy pavement markings. The lines will be measured for payment in meters (feet) of the thermoplastic, preformed plastic, epoxy, or epoxy pavement markings.

DESIGNED BY: D.S.M.
DRAWN BY: R.C.J.
CHECKED BY: A.K.Z.
ORIGINAL ISSUE: 060212E

DATE BY	DESCRIPTION
06/02/12	ISSUE FOR PERIODIC REVIEW COMMENTS
06/02/12	ISSUE FOR PERIODIC REVIEW COMMENTS

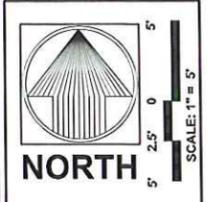
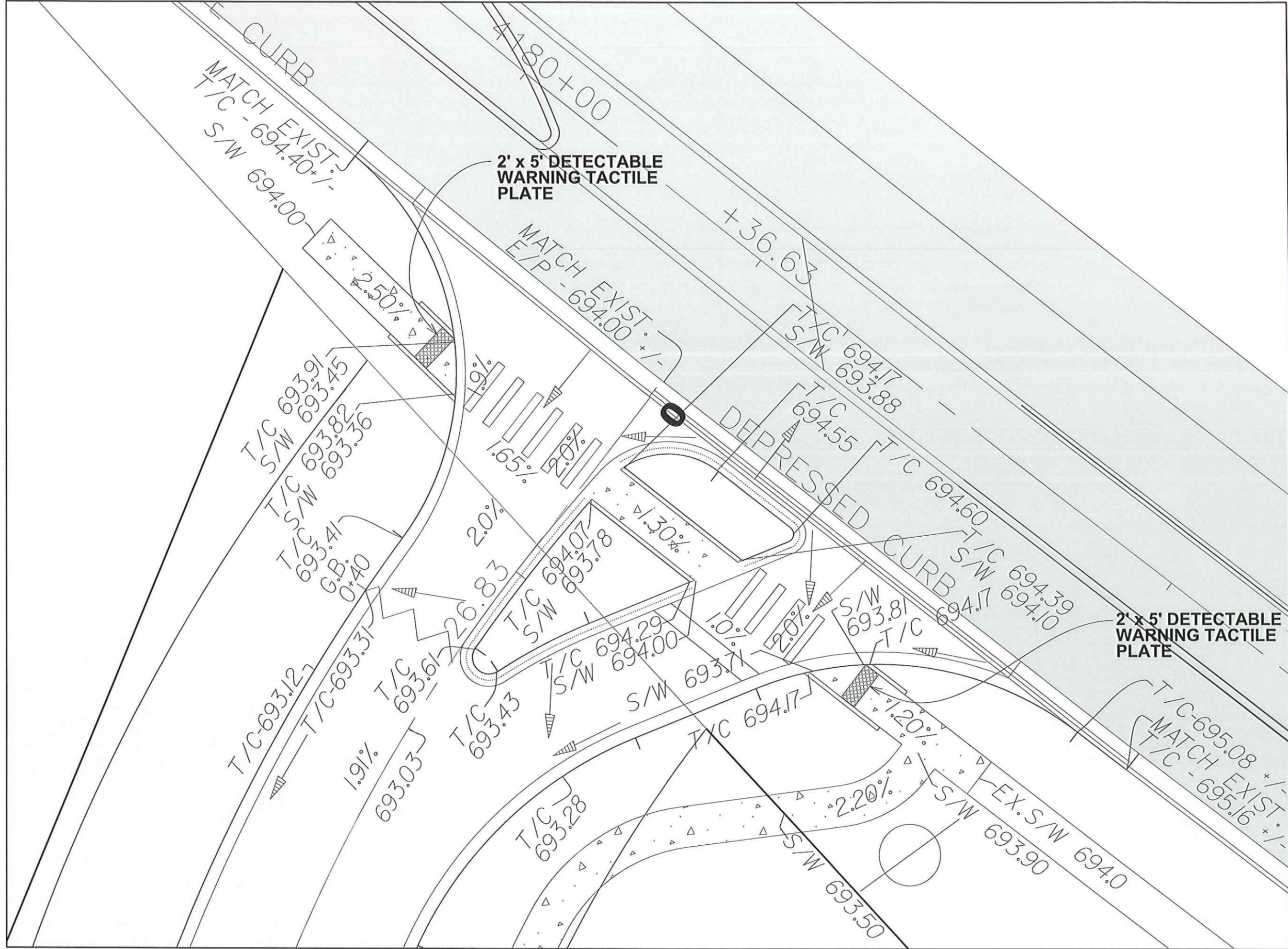
PAVEMENT MARKINGS
U.S. ROUTE 45

REVISIONS

SHEET NUMBER
19

OF 28 SHEETS

JOB No. 1641



WOODLAND CHASE
 VERNON HILLS, ILLINOIS

PEARSON, BROWN & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 1820 W. WINCHESTER ROAD - SUITE 205
 LIBERTYVILLE, IL. 60048
 PHONE: (647) 367-6797
 FAX: (647) 367-2600
 E-MAIL ADDRESS: pba@pearsonbrown.com
 © COPYRIGHT 2016 PEARSON, BROWN & ASSOCIATES, INC. ALL RIGHTS RESERVED

DESIGNED BY: D.S.M.
 DRAWN BY: R.C.J.
 CHECKED BY: A.K.Z.
 ORIGINAL ISSUE: 06/02/16

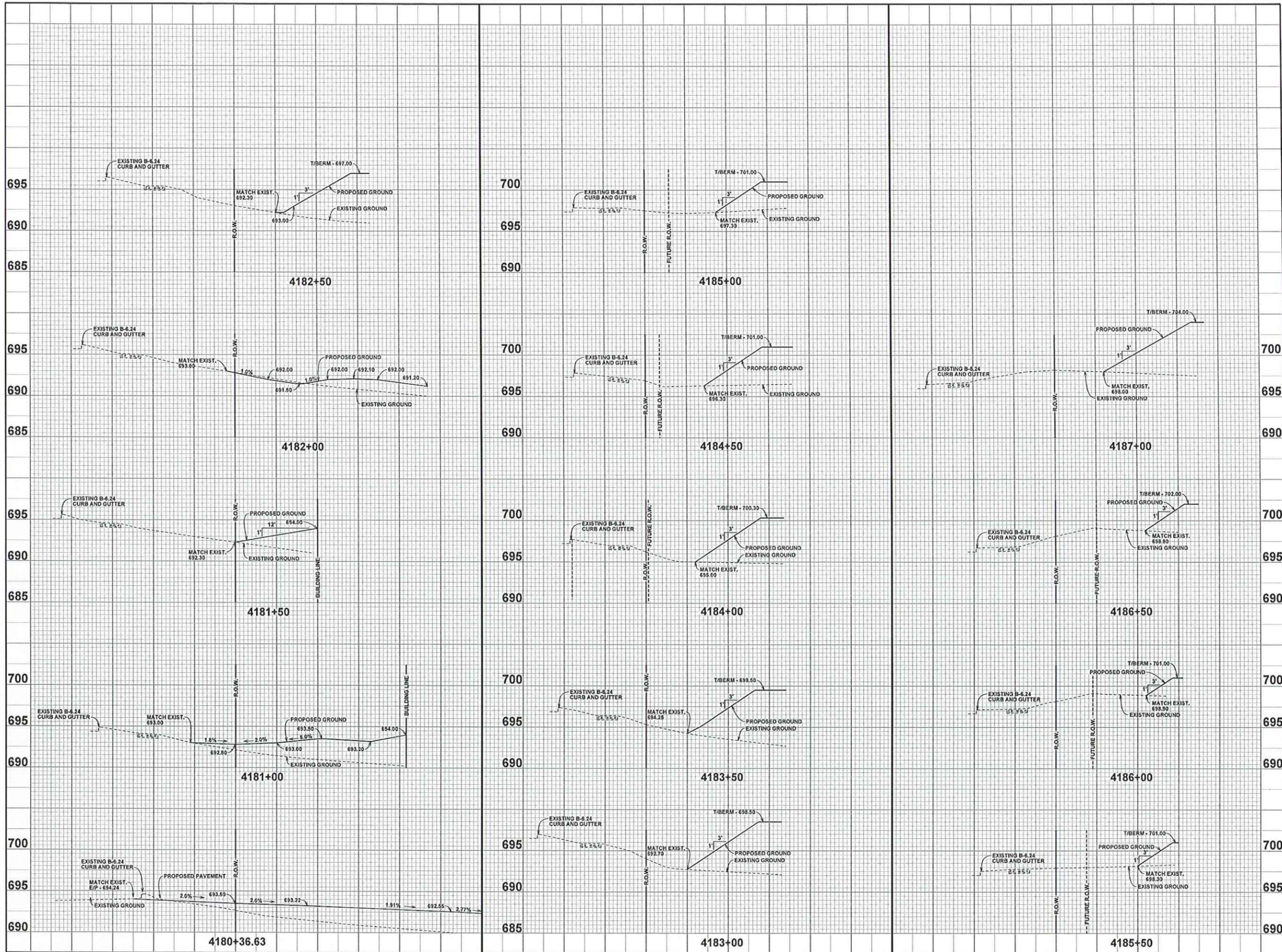
DATE BY	DESCRIPTION
10/20/16 ACZ	ADDED THIS SHEET PER IDOT REVIEW COMMENTS

ROUTE 45 ENTRANCE DETAIL

SHEET NUMBER
21

OF 28 SHEETS

JOB No. 1641



WOODLAND CHASE
VERNON HILLS, ILLINOIS

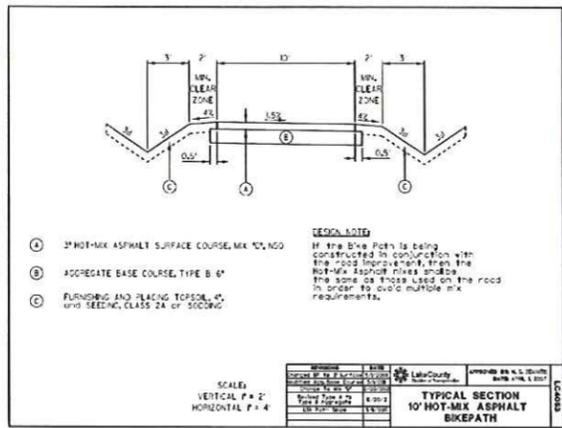
PEARSON, BROWN & ASSOCIATES, INC.
CONSULTING ENGINEERS
1850 W. WINCHESTER ROAD - SUITE 205
LIBERTYVILLE, IL 60048
PHONE: (847) 387-4707
FAX: (847) 387-4567
E-MAIL ADDRESS: pba@pbai.com
© COPYRIGHT 2014 PEARSON, BROWN & ASSOCIATES, INC. ALL RIGHTS RESERVED

VERT. SCALE: 1" = 5'
HORIZ. SCALE: 1" = 10'

DESIGNED BY:	D.S.M.	DRAWN BY:	R.C.J.	CHECKED BY:	A.K.Z.
REVISIONS					
DATE BY	DESCRIPTION	PER VILLAGE AND IDOT REVIEW COMMENTS	PER IDOT REVIEW COMMENTS		

CROSS SECTIONS - U.S. ROUTE 45

SHEET NUMBER
22
OF 28 SHEETS



SPECIAL CONDITIONS FOR CONSTRUCTION WITHIN A COUNTY HIGHWAY RIGHT-OF-WAY

WORK NOTIFICATION
Prior to starting construction the Permit Section, (547) 377-7400, shall be called and given the construction start date.

SPECIFICATIONS
The construction and restoration methods and procedures, materials used and construction signing and traffic control shall, when applicable, conform to or meet the standards and requirements set forth in the current Manual on Uniform Traffic Control Devices for Street and Highways, "Standard Specifications for Road and Bridge Construction", "Standard Specification for Traffic Control Signs" and the "Highway Standards" manual as published or adopted by the Illinois Department of Transportation.

FIELD CHANGES FOR WATERMAIN OR SEWER LOCATION
No changes to the depth or location of the watermain or sewer as shown on these plans due to unforeseen field conditions or conflicts can be made unless prior approval has been obtained from the Permit Section of the Lake County Division of Transportation.

ADDITIONS, EXTENSIONS OR DELETIONS FOR THE WATERMAIN OR SEWER
No additions, extensions or deletions can be made to the watermain or sewer as shown on these plans unless prior approval has been obtained from the Permit Section of the Lake County Division of Transportation.

APPROVAL OF MATERIALS
The Lake County Division of Transportation Permit Section, (547) 377-7400, shall be called for approval of any materials (i.e. trench backfill, sand, gravel or other granulated materials) that will be placed within the County Highway right-of-way that are not on the approved engineering plans.

HAZARDS TO THE PUBLIC
Measures shall be taken to prevent or protect the public from hazards caused by the construction operations.

PARKING OF VEHICLES, EQUIPMENT AND STORAGE OF MATERIALS
Construction worker's vehicles and construction equipment shall be parked in areas outside of the County Highway right-of-way or in areas where there will be no interference with the normal use of the highway or vehicle sight distance. Construction materials shall be located at least 10 feet from a through traffic lane or outside of the County Highway right-of-way.

MAINTAINING EXISTING TRAFFIC CONTROL DEVICES
Existing traffic control devices that are removed shall be re-installed as soon as possible. Damaged or lost traffic control signs shall be reported to the Sign Shop, (547) 377-7501, of the Lake County Division of Transportation for replacement. Regulatory and warning traffic signs shall be kept in view of the highway traffic.

EXISTING DRAINAGE AND ACCESS
Disturbed highway drainage facilities shall be re-established at the close of each work day. Occupants of adjacent properties having access to the County Highway shall be notified prior to being blocked and suitable arrangements made with the occupants. Adjacent property access shall be re-established as soon as possible.

HIGHWAY PAVEMENTS
Care shall be taken not to break, crack or damage the highway pavement with equipment operating on it. Also, any dirt or debris tracked onto the highway pavement shall be removed. Equipment with grouser pads, cleats or studs are not permitted to operate on the highway pavement.

If, due to construction operations, the highway pavement becomes damaged or undermined, all construction work in that area shall be stopped and the highway pavement repaired as directed by the Lake County Division of Transportation. Alternate construction measures shall then be used to prevent further highway pavement damage.

EXCAVATIONS, TRENCHES AND BORE PITS
Excavated material shall, when practical, be filled on the near traffic side of the excavation, trench or bore pit. Open excavations, trenches or bore pits remaining after working hours shall not exceed 50 feet in length and shall be properly protected (fencing, covered, etc.) and marked (Type I or II barricades). If barricades are used in series, only steady burning lights shall be used. Bore pits shall be located no closer than 10 feet to the highway pavement, back of curb or gutter, or shoulder break line, whichever is further. If casing pipes are used, the voids in the casing pipe shall be filled and/or the ends sealed so there will be no siltation into the casing pipe.

BACKFILLING
Backfilling operations shall be simultaneous with the construction operations and shall be in accordance with the "Standard Specifications for Road and Bridge Construction". Any excavation, trench, bore pit or portion thereof within a 1:1 slope of the pavement edge or back of curb shall be backfilled with Trench Backfill (sand). In addition, Trench Backfill (sand) shall be used for all access crossings and pavement areas and shall extend two feet beyond the edge of the access or pavement area. Areas between the pavement edge and shoulder break line shall be backfilled with Aggregate Base Course (gravel). Backfill of shoulder areas shall not extend above the existing ground and any settlement shall be promptly filed.

MANHOLES, VALVES, VALVE VAULTS AND APPURTENANCES
The top of the frame and lid or cover of a manhole, valve, or valve vault shall be flush and contoured to the surrounding ground. If this is not possible due to an excessive slope, the surrounding ground shall be regraded or the frame and lid or cover partially buried to provide for a gradual transition slope so the area can be safely moved and no hazard to the public will result. The top of the frame and lid or cover that is located within the gravel shoulder shall have a bituminous apron installed around the frame or cover as directed by the Lake County Division of Transportation. Any frame and lid or cover located in a pavement area shall be contoured and 1/4 inch below the surface of the surrounding pavement. The top of the frame and lid or cover shall not be located within the area of 87.5 feet to 30.5 feet from the highway pavement centerline.

Surface appurtenances that extend above the surrounding ground surface shall be located within 2' of the County Highway right-of-way.

TILE LINES AND STORM SEWERS
Existing tile lines and storm sewers that are encountered during construction operations shall be replaced if broken with like size and kind of material. Tile line and storm sewer crossings of the excavation shall be bridged with rigid material such as wood or steel. The location and depth of any encountered tile lines and storm sewers shall be recorded and a copy given to the Lake County Division of Transportation.

WINTER CONSTRUCTION WORK
Snow and ice removal operations of the Lake County Division of Transportation shall have precedence over the construction operations. A 12-foot wide (minimum) clear area from the highway pavement edge shall be maintained for the roadside storage of snow and ice. No construction equipment or materials shall be stored in this 12-foot wide (minimum) clear area nor shall any piles of dirt or excavated materials be left in this area.

RESTORATION AND CLEAN-UP
The area of the County Highway right-of-way disturbed by construction operations shall be kept to a minimum and shall be restored as promptly as weather and soil conditions permit. If restoration is not accomplished voluntarily, the Lake County Division of Transportation may take final action for the completion of the restoration work.

Turf areas of the right-of-way disturbed by construction operations shall be compacted and regraded to an equal or better condition than existed before construction. Also an average 3-inch depth of topsoil, fertilizer, seed and mulch shall be used. Hydro seeding is also acceptable. Sod shall be used in high erosion areas. This restoration work will not be considered completed until the turf cover is established.

Gravel and paved shoulders that are damaged shall be replaced as directed by the Lake County Division of Transportation. Driveways, side roads and other accesses, which are damaged, shall be restored with similar materials and thickness. The edges of excavated paved surfaces shall be sawcut prior to repair. Curb/s, storm sewer systems and other drainage facilities including ditch lines shall be cleaned of siltation and debris due to the construction operations.

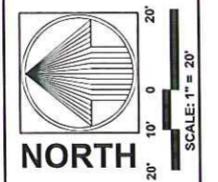
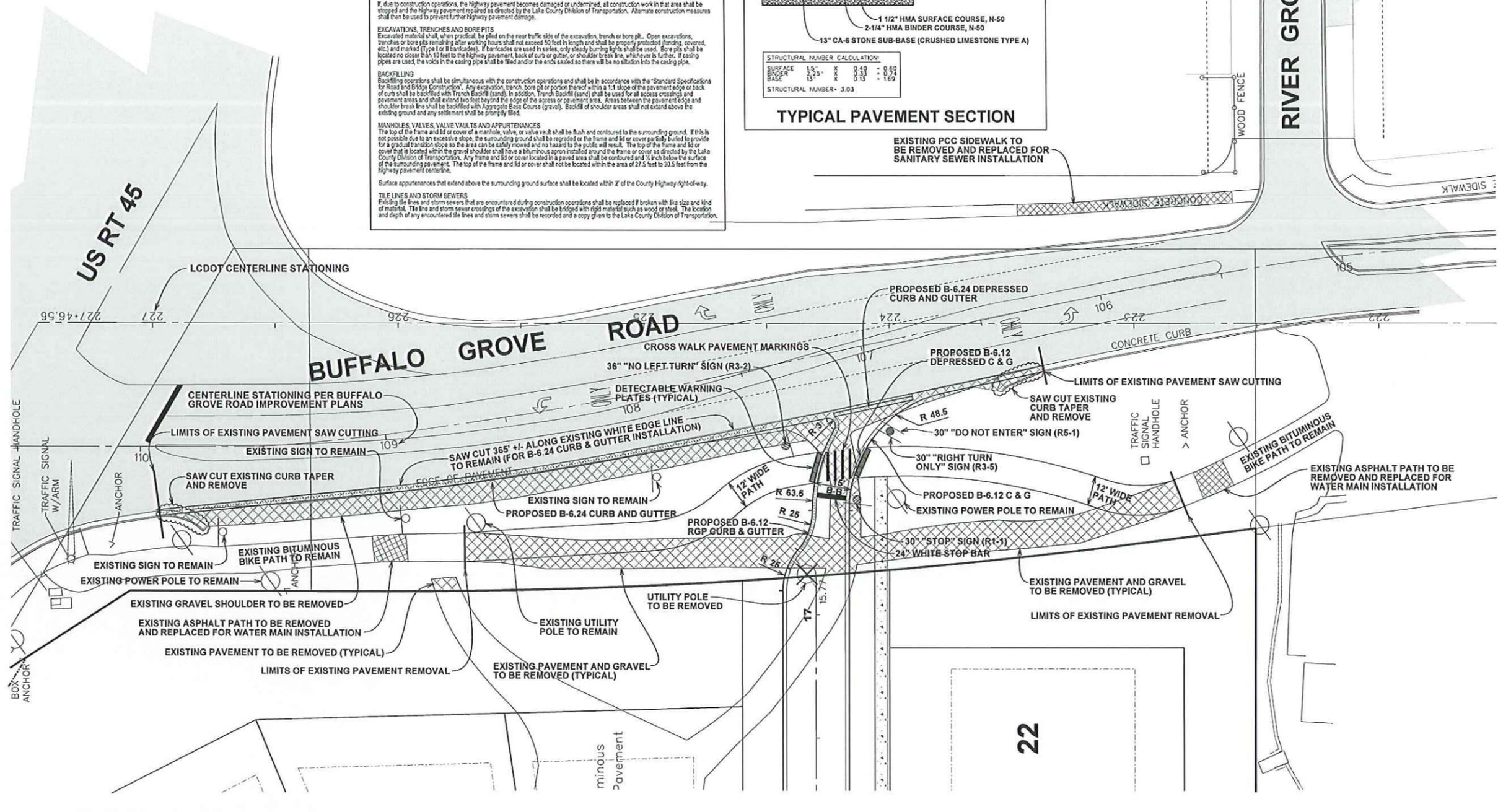
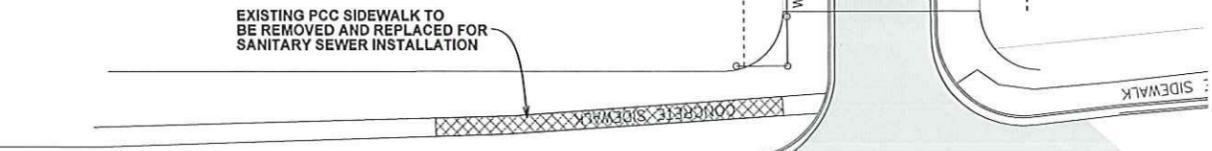
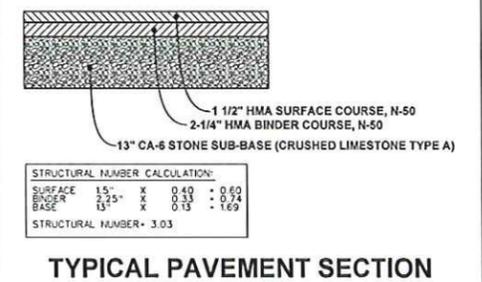
Other areas of the right-of-way that have been disturbed such as curb and gutters shall be restored with similar materials.

Any damaged property of the County of Lake, its Division of Transportation, or of others (including utility companies) shall be repaired or replaced or the owner of the damaged property reimbursed for the costs of repairing the damaged property by the owner.

RESTORATION GUARANTEE
Any restoration work that falls within one year of completion shall be redone. Also, any settlement that occurs within one year of completion of the surface restoration work shall be filled and the surface area restored.

KEEPING ROADS OPEN TO TRAFFIC
All roads shall remain open to traffic. The Contractor may close one lane because of construction only between the hours of 9:00 a.m. and 3:00 p.m. The person in charge shall notify the Lake County Division of Transportation - Transportation Management Center, (547) 377-7000, of any lane closure and when the lane re-opens. This information will be broadcast on the Lake County Passage website and Highway Advisory Radio. The Contractor shall maintain traffic during these restricted hours as shown on the Traffic Control Standards. Two lanes of traffic will be maintained between 3:00 p.m. and 9:00 a.m. and when no construction activities are being carried out. Traffic routed around construction areas shall be over paved surfaces and not over gravel shoulders.

- GENERAL NOTES:**
1. CONTRACTOR SHALL CALL JULIE AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. 1-800-892-0123.
 2. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXPLORATORY DIGGING MAY BE REQUIRED.
 3. CONTRACTOR SHALL ADJUST OR RELOCATE ALL EXISTING UTILITIES AS NEEDED TO COMPLETE IMPROVEMENTS.
 4. CONTRACTOR SHALL RELOCATE ALL SIGNS AS NEEDED FOR PAVEMENT AND UTILITY INSTALLATION.
 5. ALL DISTURBED AREAS SHALL BE RESTORED WITH A MINIMUM OF 4-IN OF TOPSOIL, SEED WITH IDOT CLASS 2A SEED MIX AND HYDROMULCHED OR APPROVED EQUAL.
 6. RESTORE ALL EXISTING PAVEMENT DISTURBED BY PROPOSED UTILITY CONSTRUCTION WITH LIKE MATERIAL.



WOODLAND CHASE
VERNON HILLS, ILLINOIS

PEARSON, BROWN & ASSOCIATES, INC.
CONSULTING ENGINEERS
1850 W. WINCHESTER ROAD - SUITE 205
LIBERTYVILLE, IL 60946
PHONE: (618) 367-6707
FAX: (618) 367-6708
E-MAIL ADDRESS: pbr@pearsonbrown.com
© COPYRIGHT 2014 PEARSON, BROWN & ASSOCIATES, INC. ALL RIGHTS RESERVED

DESIGNED BY: D.S.H.
DRAWN BY: R.C.J.
CHECKED BY: A.K.Z.
ORIGINAL ISSUE: 06/27/16

DATE BY	DESCRIPTION
06/27/16 ANZ	REVISED PER LCDOT REVIEW COMMENTS

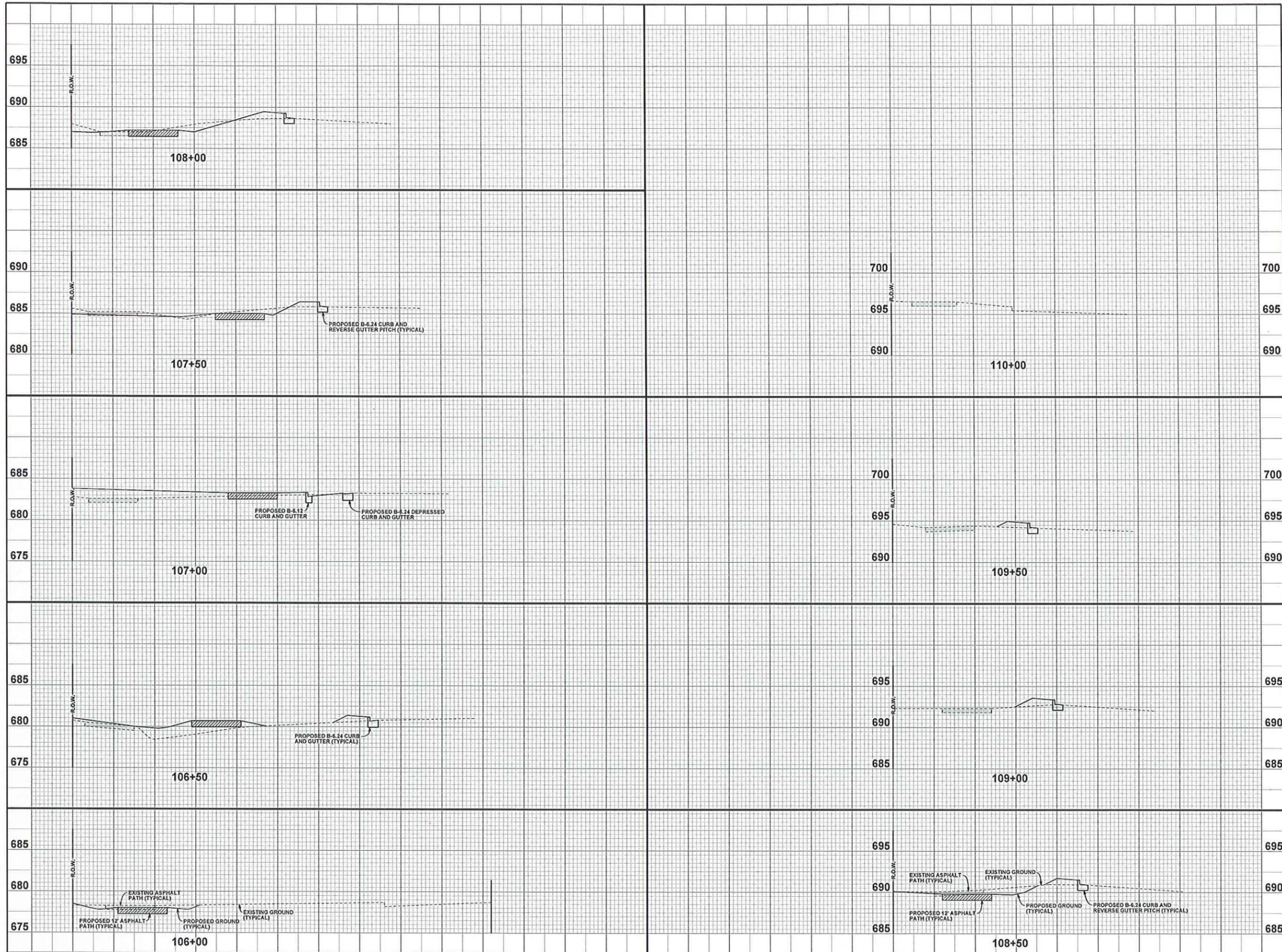
REVISIONS

BUFFALO GROVE RD. PLAN

SHEET NUMBER
23

OF 28 SHEETS

JOB No. 1641



WOODLAND CHASE
VERNON HILLS, ILLINOIS

PEARSON, BROWN & ASSOCIATES, INC.
CONSULTING ENGINEERS
1850 W. WINCHESTER ROAD - SUITE 205
LIBERTYVILLE, IL 60048
PHONE: (647) 367-6797
FAX: (647) 367-2267
E-MAIL ADDRESS: info@pearsonbrown.com
© COPYRIGHT 2016 PEARSON, BROWN & ASSOCIATES, INC. ALL RIGHTS RESERVED

DESIGNED BY: D.S.H.
DRAWN BY: R.C.J.
CHECKED BY: A.K.Z.
ORIGINAL ISSUE: 06/02/15

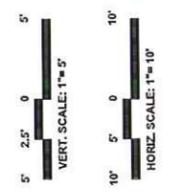
DATE BY	DESCRIPTION
09/20/16 AKZ	REVISED PER LCDOT REVIEW COMMENTS

REVISIONS

CROSS SECTIONS - BUFFALO GROVE RD

SHEET NUMBER
26
OF 28 SHEETS

JOB No. 1641



PROPOSED
WOODLAND CHASE
SUBDIVISION

ARCHITECTURAL DESIGN PATTERN

RM
SWANSON
ARCHITECTS

1930 AMBERLEY COURT
LAKE FOREST, ILLINOIS 60045
PHONE: (847) 457-6770
FAX: (847) 615-8851



FRONT ELEVATION

7/21/16

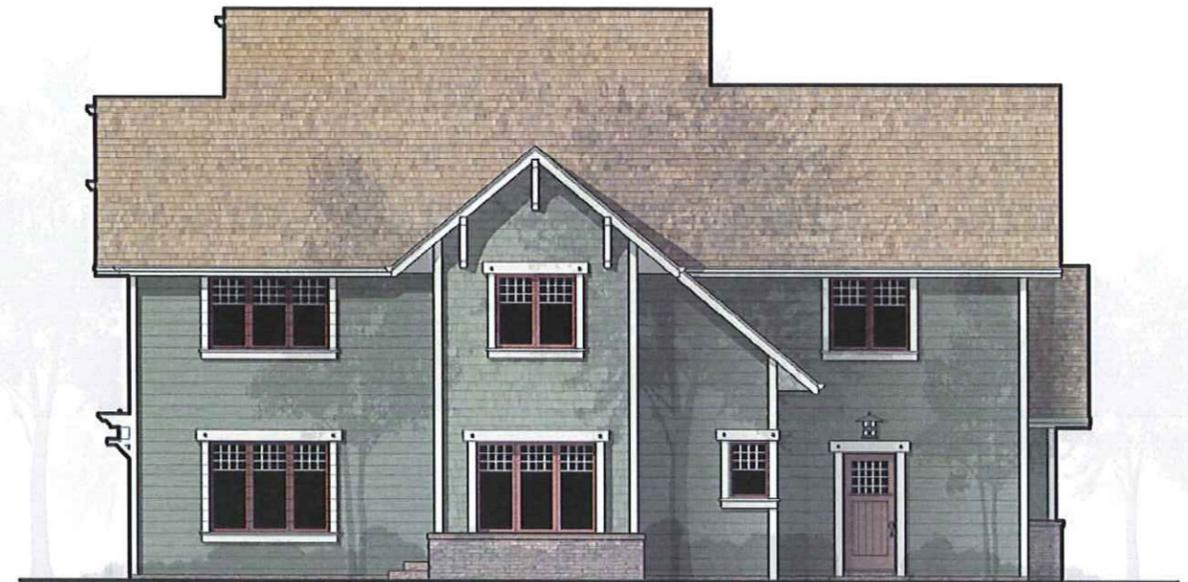
WOODLAND CHASE SUBDIVISION
BRIDGE VIEW MODEL "ARTS AND CRAFTS"

Vernon Hills, Illinois

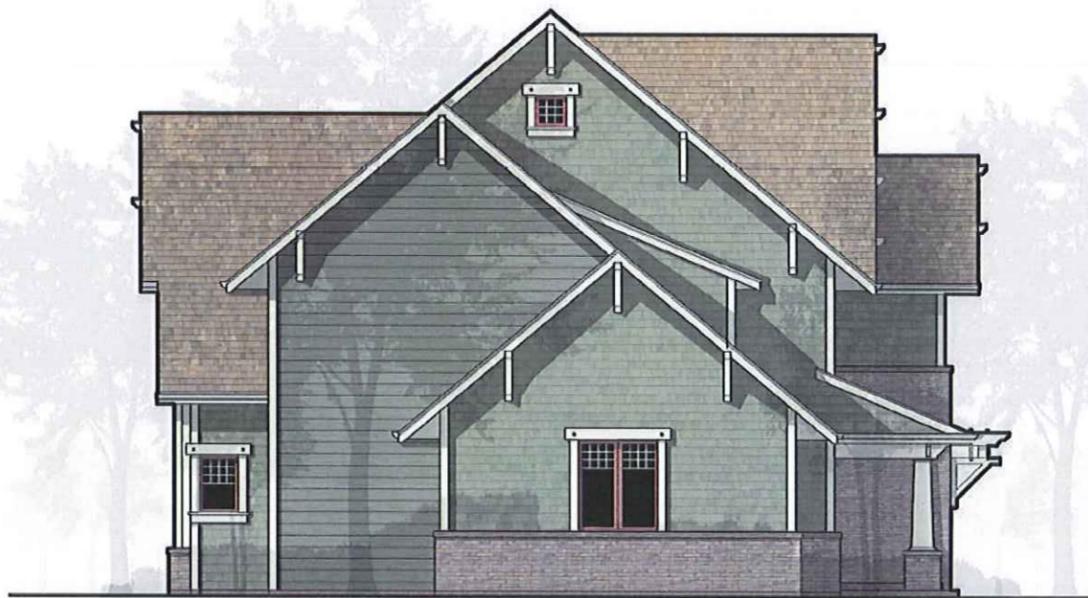




FRONT ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

7/21/16

WOODLAND CHASE SUBDIVISION
BRIDGE VIEW MODEL "ARTS AND CRAFTS"

Vernon Hills, Illinois

RM
SWANSON
ARCHITECTS
1938 HARBORLY COURT
LAKE FOREST, ILLINOIS 60045
PHONE: (847) 637-6779
WWW.RMARCHITECTS.COM



CEMENT FIBER VERTICAL SIDING

FIBERGLASS CARRIAGE STYLE
OVERHEAD GARAGE DOOR

ASPHALT ARCHITECTURAL LAMINATE SHINGLES

CEMENT FIBER FASCIA & SOFFIT

CEMENT FIBER HORIZONTAL CLAPBOARD SIDING

URETHANE LOUVERED SHUTTERS

CEMENT FIBER CORNER BOARDS

ASPHALT OR METAL ROOF ON BAY

ALUMINUM CLAD WINDOWS

BRICK VENEER

FRONT ELEVATION

7/21/16

WOODLAND CHASE SUBDIVISION
BRIDGE VIEW MODEL "FARMHOUSE STYLE"

Vernon Hills, Illinois

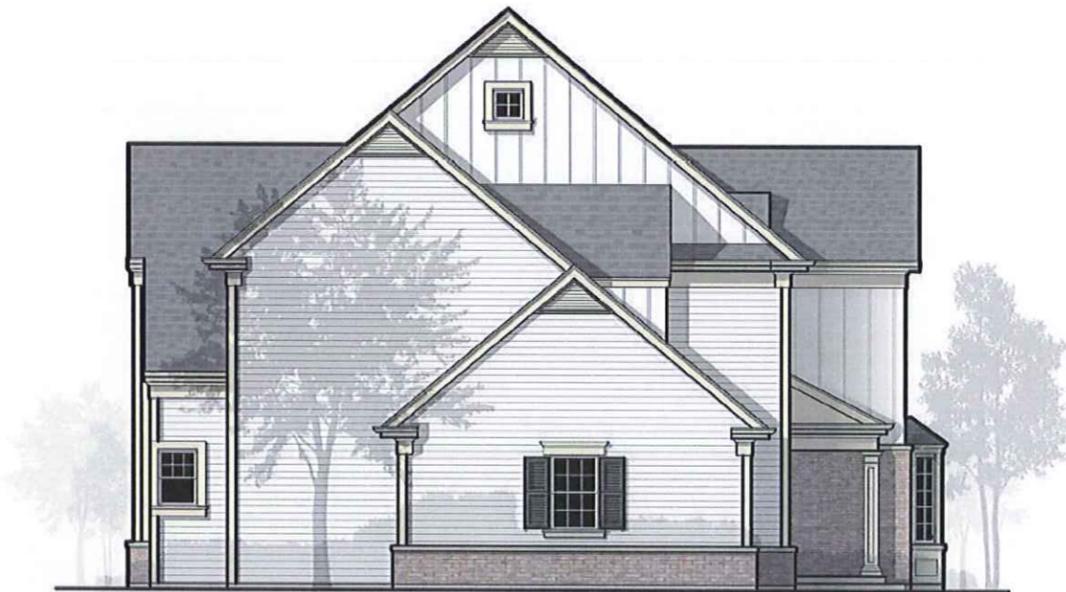
RM
SWANSON
ARCHITECTS
1910 AMBERLEY COURT
LAKE FOREST, ILLINOIS 60045
PHONE (847) 437-8770
WWW.SWANSONARCH.COM



FRONT ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

7/21/16

WOODLAND CHASE SUBDIVISION
BRIDGE VIEW MODEL "FARMHOUSE STYLE"

Vernon Hills, Illinois

RM
SWANSON
ARCHITECTS
1104 ARBORLEY COURT
LAKE FOREST, ILLINOIS 60045
PHONE: (847) 637-6729
WWW.SWANSONARCH.COM



FRONT ELEVATION

7/21/16

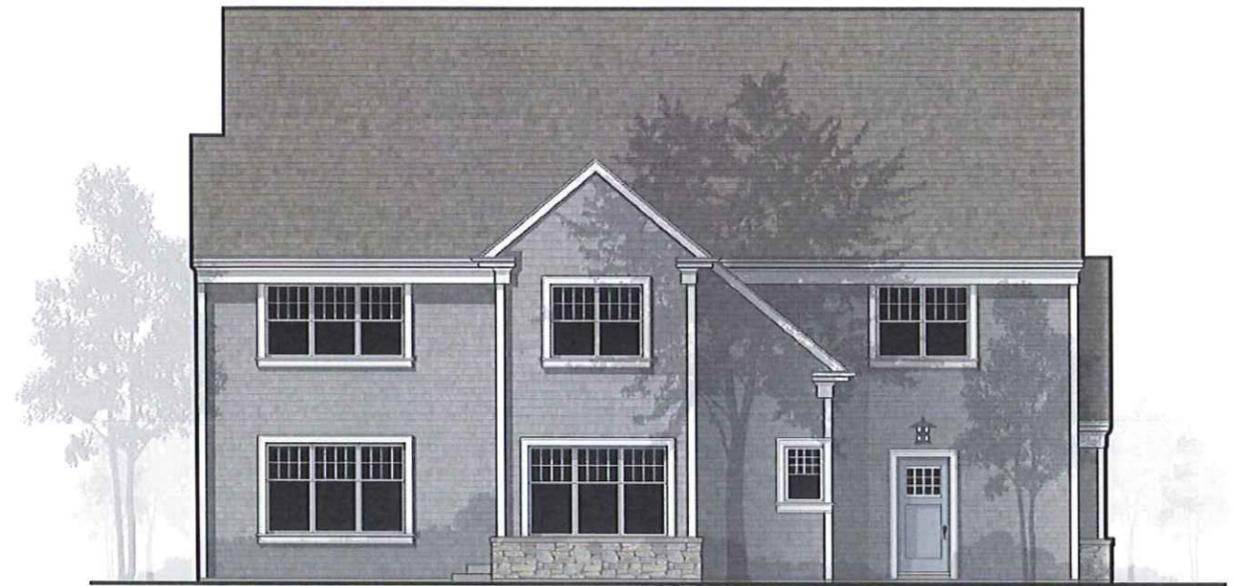
WOODLAND CHASE SUBDIVISION
BRIDGE VIEW MODEL "SHINGLE STYLE"

Vernon Hills, Illinois

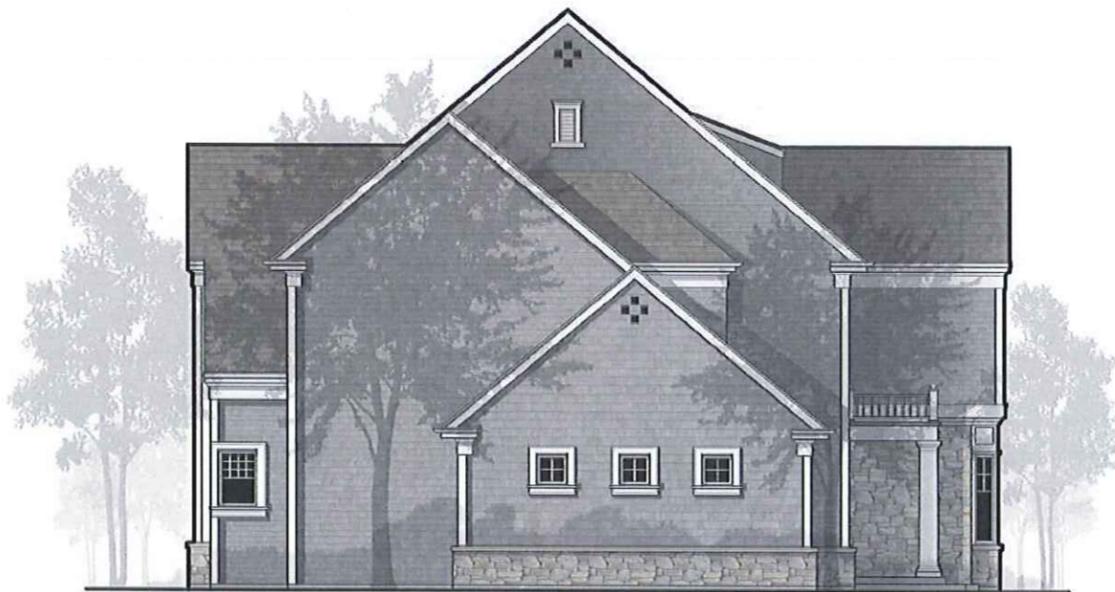




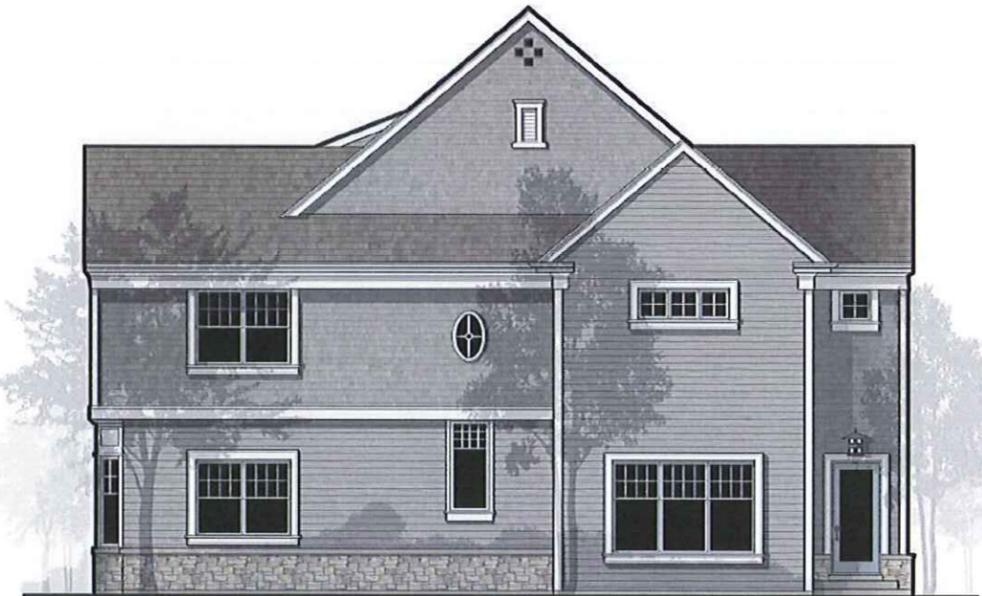
FRONT ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

7/21/16

WOODLAND CHASE SUBDIVISION
BRIDGE VIEW MODEL "SHINGLE STYLE"

Vernon Hills, Illinois

RM
SWANSON
ARCHITECTS
1000 AMHERST COURT
LAKE FOREST, ILLINOIS 60045
PHONE: (847) 837-8778
WWW.ARTSWANSON.COM



FRONT ELEVATION

7/7/16

WOODLAND CHASE SUBDIVISION
MELROSE MODEL "ARTS AND CRAFTS MODEL"

Vernon Hills, Illinois

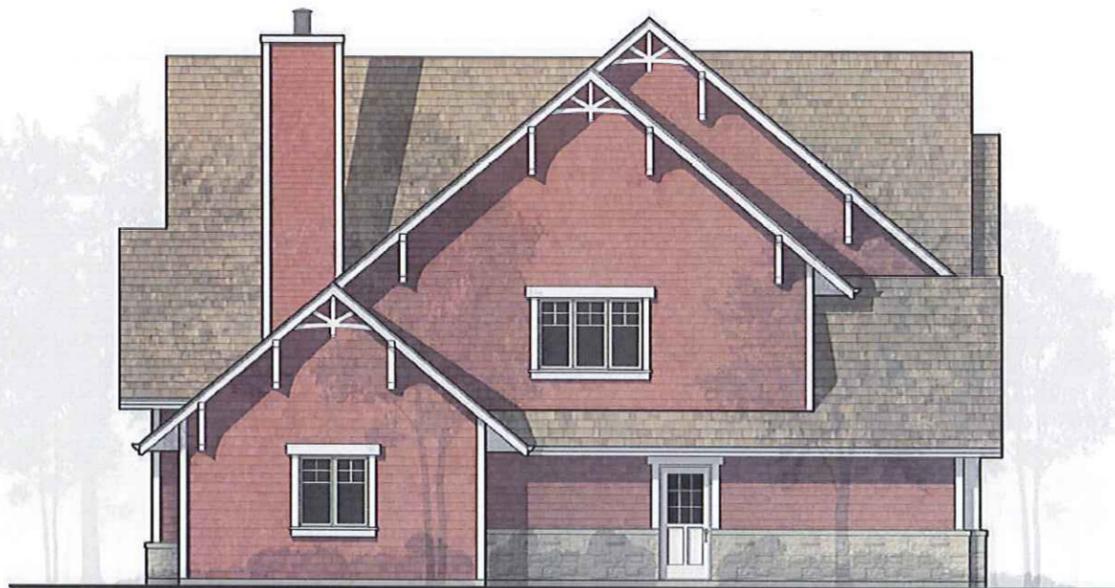
RM
SWANSON
ARCHITECTS
1930 AMBERLEY COURT
LAKE FOREST, ILLINOIS 60045
PHONE: (847) 417-6770
WWW.SWANSON.COM



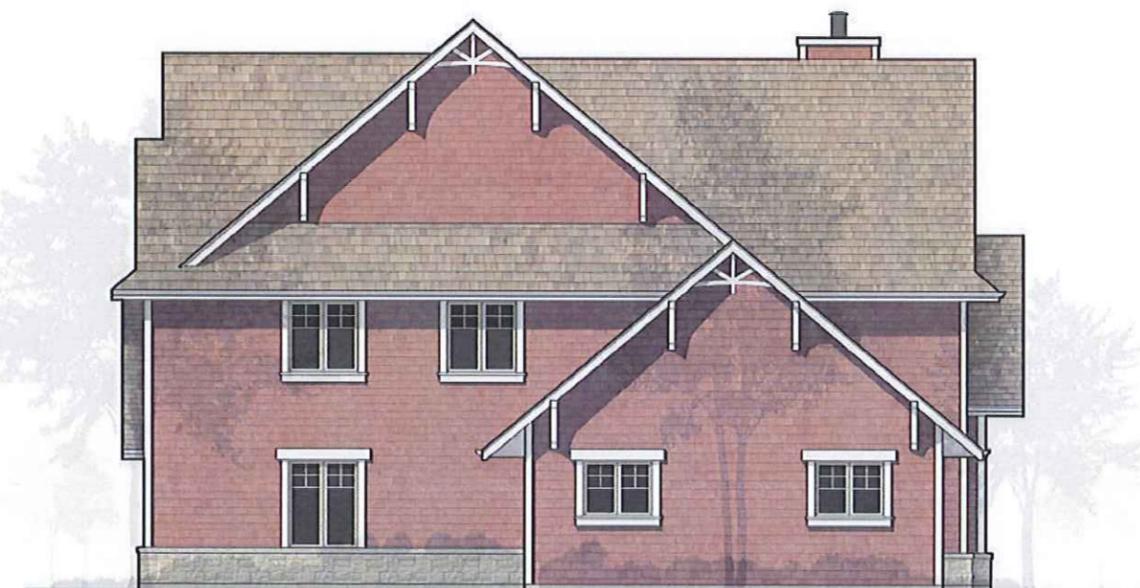
FRONT ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

7/21/16

WOODLAND CHASE SUBDIVISION
MELROSE MODEL "ARTS AND CRAFTS MODEL"

Vernon Hills, Illinois

RM
SWANSON
ARCHITECT
100 AMBERLEY COURT
LAKE FOREST, ILLINOIS 60045
PHONE (847) 637-6770
WWW.SWANSON.COM



FRONT ELEVATION

7/7/16

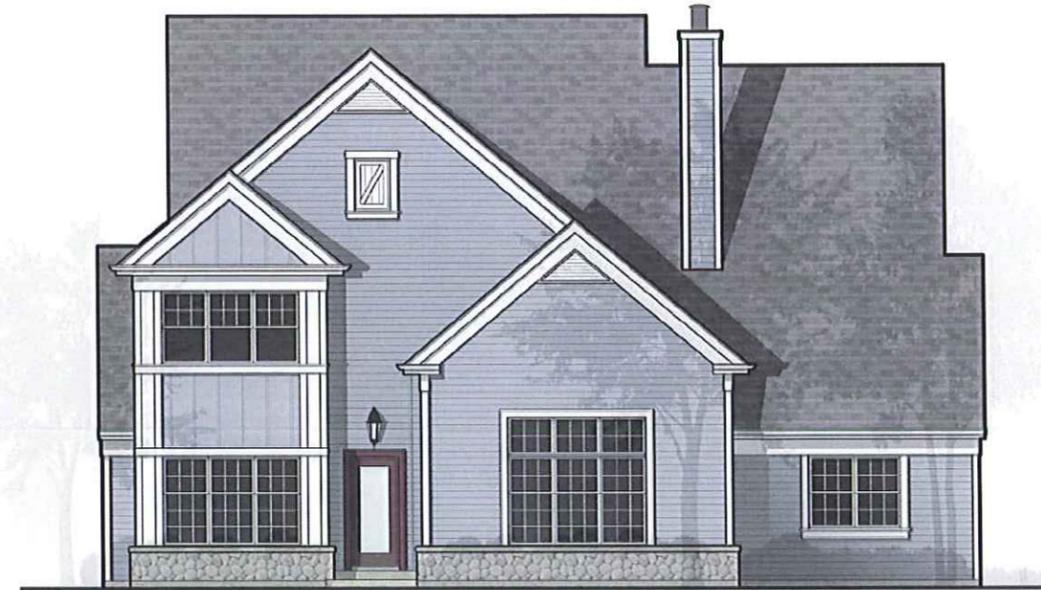
WOODLAND CHASE SUBDIVISION
MELROSE MODEL "FARMHOUSE STYLE"

Vernon Hills, Illinois

RM
SWANSON
ARCHITECTS
1939 AMBERLEY COURT
LAKE FOREST, ILLINOIS 60045
PHONE (847) 457-6770
www.rmtswanson.com



FRONT ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

7/21/16

WOODLAND CHASE SUBDIVISION
MELROSE MODEL "FARMHOUSE STYLE"

Vernon Hills, Illinois

RM
SWANSON
ARCHITECTS
1708 WASHINGTON COURT
LAKE FOREST, ILLINOIS 60045
PHONE (847) 437-4770
WWW.SWANSONARCH.COM



FRONT ELEVATION

7/7/16

WOODLAND CHASE SUBDIVISION
MELROSE MODEL "SHINGLE STYLE"

Vernon Hills, Illinois

RM
SWANSON
ARCHITECTS
1939 AMBERLEY COURT
LAKE FOREST, ILLINOIS 60045
PHONE: (847) 437-6370
www.rmswanson.com



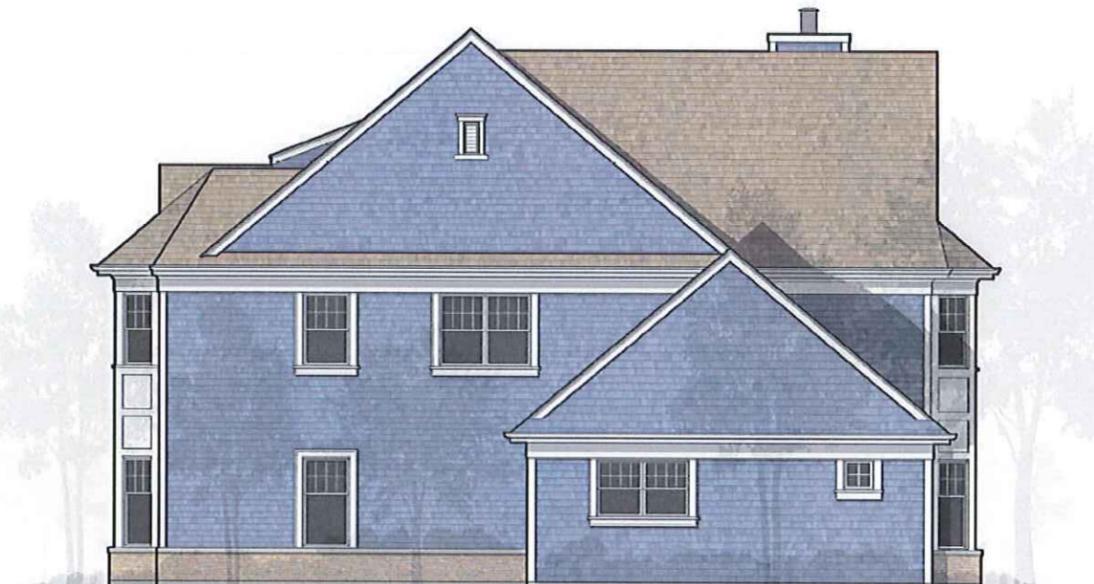
FRONT ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

7/21/16

WOODLAND CHASE SUBDIVISION
MELROSE MODEL "SHINGLE STYLE"

Vernon Hills, Illinois

RM SWANSON
ARCHITECTS
1531 AUBREY COURT
LAKE FOREST, ILLINOIS 60045
PHONE: (847) 637-6779
www.rmswanson.com



FRONT ELEVATION

7/15/16

WOODLAND CHASE SUBDIVISION
 WILLWOOD MODEL "ARTS AND CRAFTS"

Vernon Hills, Illinois

RM
SWANSON
 ARCHITECTS
1930 AMBERLEY COURT
 LAKE FOREST, ILLINOIS 60045
 PHONE: (847) 457-6770
 WWW.RM1313SWANSON.COM



FRONT ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

7/21/16

WOODLAND CHASE SUBDIVISION
WILLWOOD MODEL "ARTS AND CRAFTS"

Vernon Hills, Illinois

RM
SWANSON
ARCHITECTS
100 AMBERLEY COURT
LAKE FOREST, ILLINOIS 60045
PHONE (847) 637-6729
WWW.SWANSONARCH.COM



FRONT ELEVATION

7/15/16

WOODLAND CHASE SUBDIVISION
 WILLWOOD MODEL "FARMHOUSE STYLE"

Vernon Hills, Illinois

RM
SWANSON
 ARCHITECTS
 1930 AMBERLEY COURT
 LAKE FOREST, ILLINOIS 60045
 PHONE: (847) 457-6770
 WWW.RMSWANSON.COM



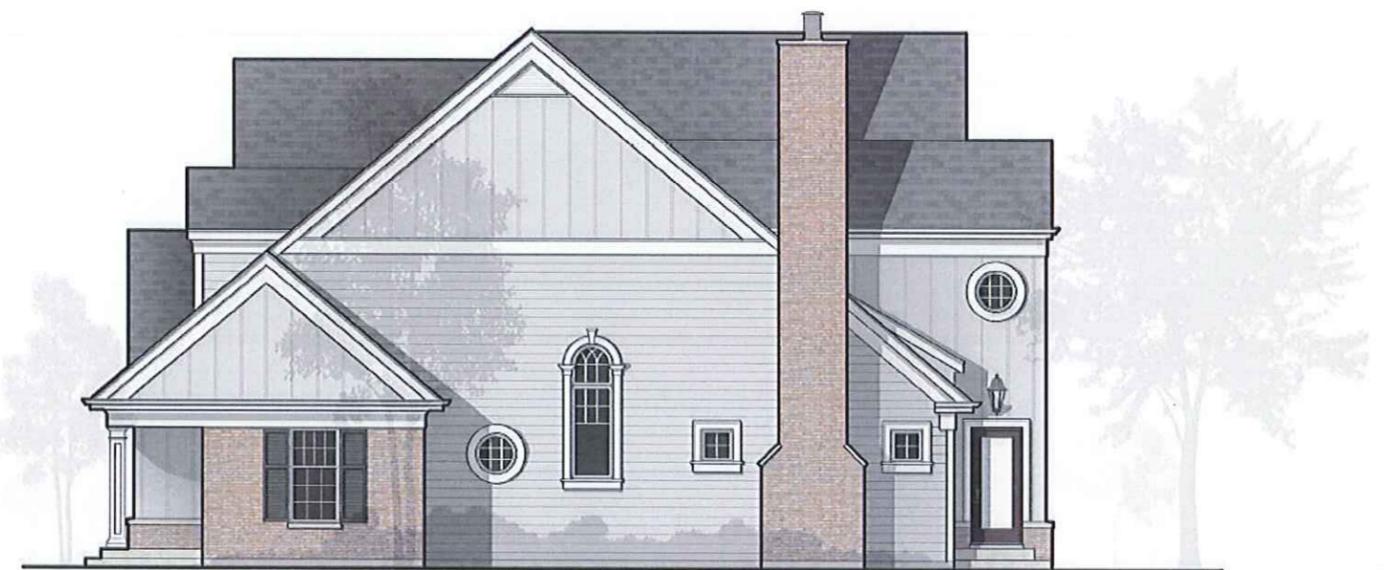
FRONT ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



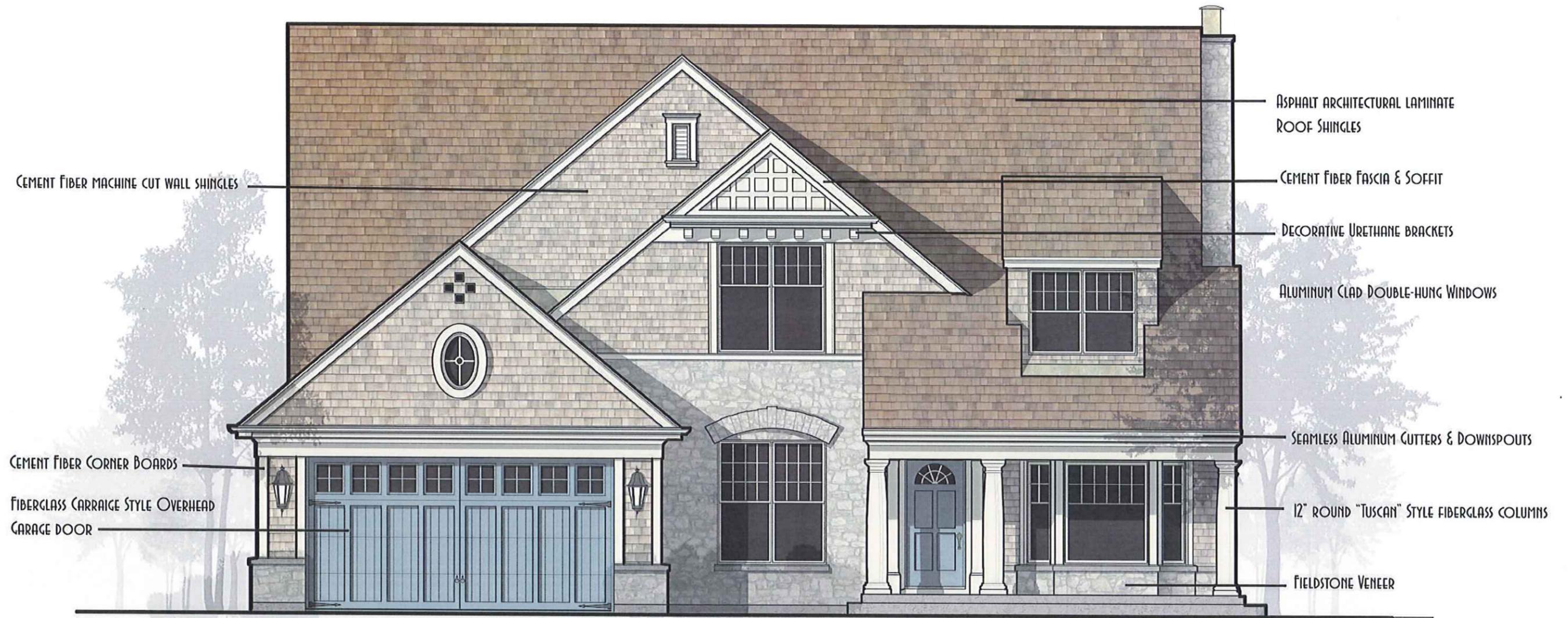
RIGHT SIDE ELEVATION

7/21/16

WOODLAND CHASE SUBDIVISION
WILLWOOD MODEL "FARMHOUSE STYLE"

Vernon Hills, Illinois

RM
SWANSON
ARCHITECTS
9300 AUBREY COURT
LAKE FOREST, ILLINOIS 60045
PHONE (847) 437-4770
www.swanson.com



FRONT ELEVATION

7/15/16

WOODLAND CHASE SUBDIVISION
WILLWOOD MODEL "SHINGLE STYLE"

Vernon Hills, Illinois

RM
SWANSON
ARCHITECTS
1330 AMBERLEY COURT
LAKE FOREST, ILLINOIS 60045
PHONE: (847) 457-6770
www.rmswanson.com



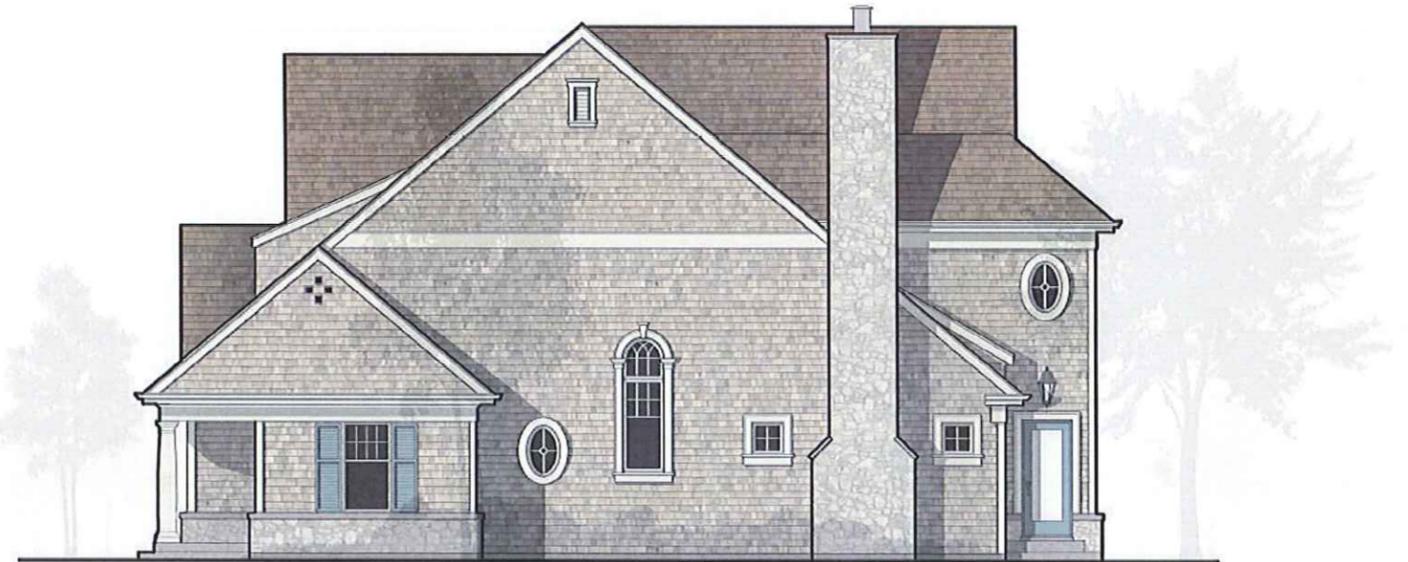
FRONT ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

7/21/16

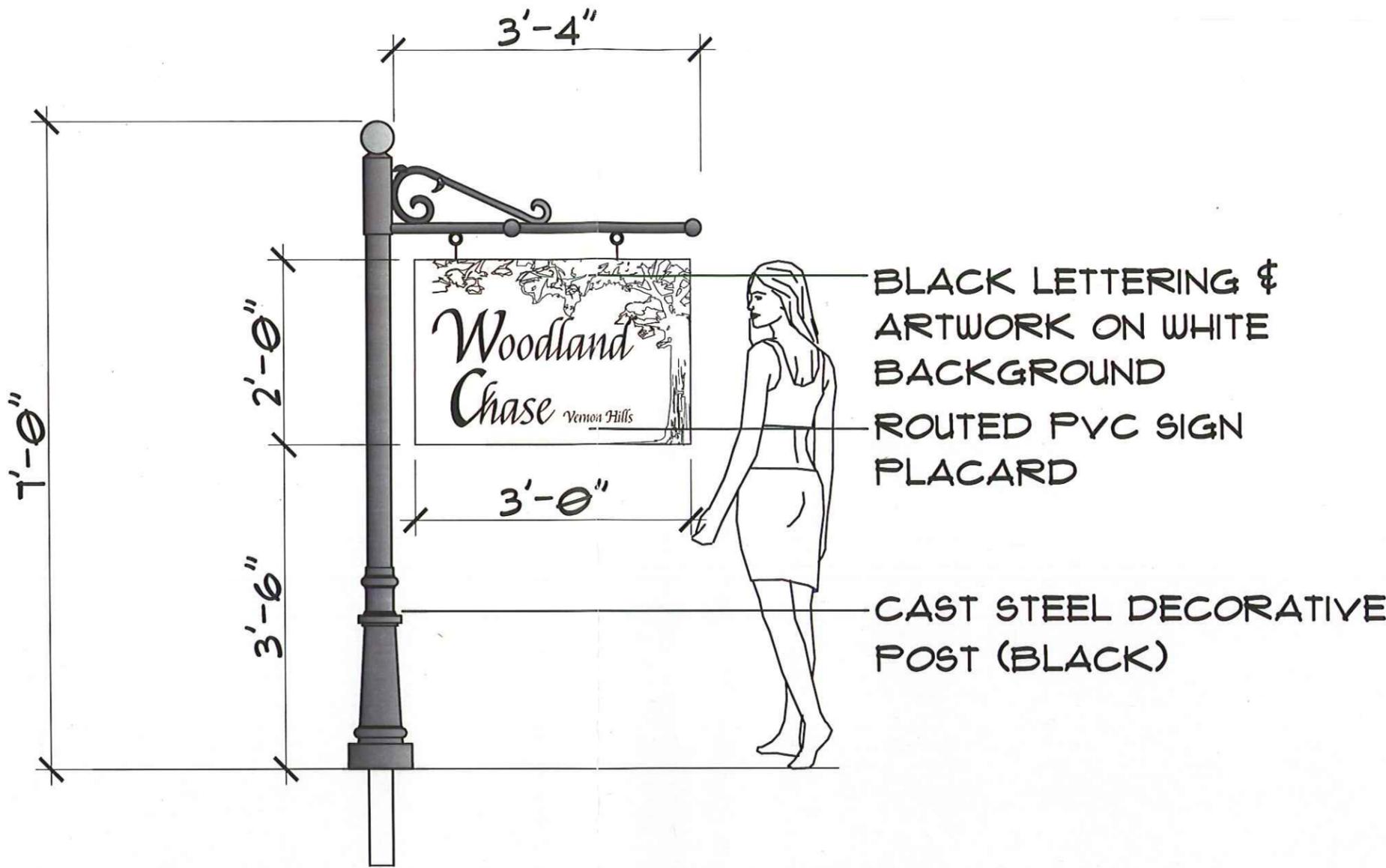
WOODLAND CHASE SUBDIVISION
WILLWOOD MODEL "SHINGLE STYLE"

Vernon Hills, Illinois

RM
SWANSON
ARCHITECTS
1920 AMBERLEY COURT
LAKE FOREST, ILLINOIS 60045
PHONE: (847) 637-6778
WWW.PLANETARCH.COM

WOODLAND CHASE SUBDIVISION, VERNON HILLS, ILLINOIS

RM SWANSON ARCHITECTS PC



ENTRANCE SIGN ELEVATION

NOT TO SCALE

Proposed Subdivision Entrance Signage

2/8/16

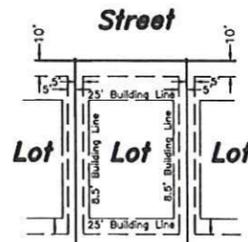
WOODLAND CHASE SUBDIVISION

Vernon Hills, Illinois

'FINAL PLAT' OF WOODLAND CHASE IN SECTION 16, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN IN LAKE COUNTY, ILLINOIS.

DATA TABLE: LOTS 1-51 10.997 ACRES, 479,030 SQ.FT. ROAD DEDICATIONS 3.478 ACRES, 151,497 SQ.FT. OUTLOT A 0.980 ACRES, 42,674 SQ.FT. OUTLOT B 1.010 ACRES, 44,007 SQ.FT. OUTLOT C 15.092 ACRES, 657,403 SQ.FT. TOTAL AREA 31.557 ACRES, 1,374,611 SQ.FT.

ORDINANCE 2016-049 Exhibit B4 Plat of Subdivision Plan prepared by R.E. Allen and Associates, Ltd with a date of October 6, 2016 and consisting of 3 pages.

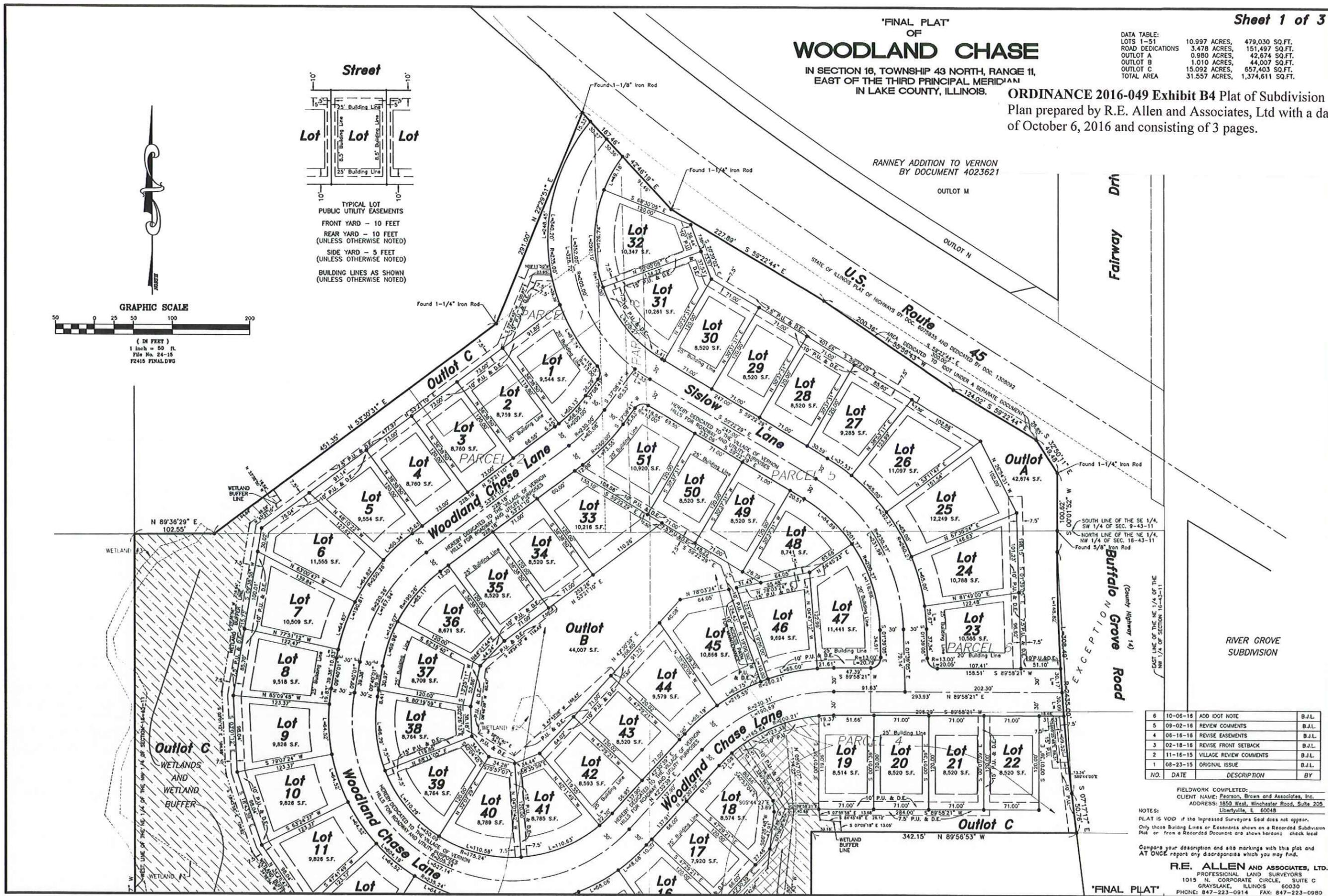


TYPICAL LOT PUBLIC UTILITY EASEMENTS FRONT YARD - 10 FEET REAR YARD - 10 FEET SIDE YARD - 5 FEET BUILDING LINES AS SHOWN

GRAPHIC SCALE



(IN FEET) 1 inch = 50 ft. File No. 24-15 P2415 FINAL.DWG



Revision table with columns: NO., DATE, DESCRIPTION, BY. Includes entries for ADD 100' NOTE, REVIEW COMMENTS, REVISE EASEMENTS, REVISE FRONT SETBACK, VILLAGE REVIEW COMMENTS, ORIGINAL ISSUE.

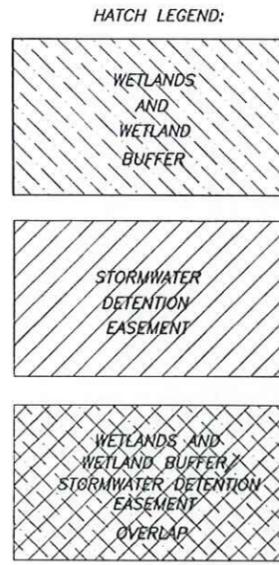
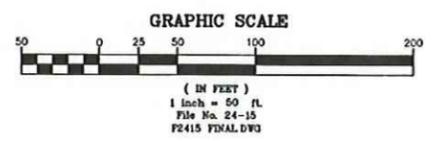
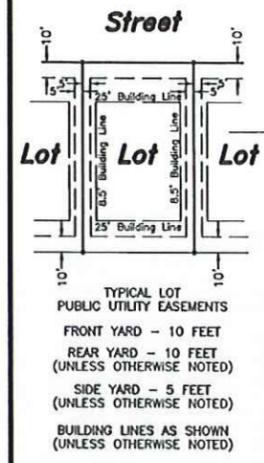
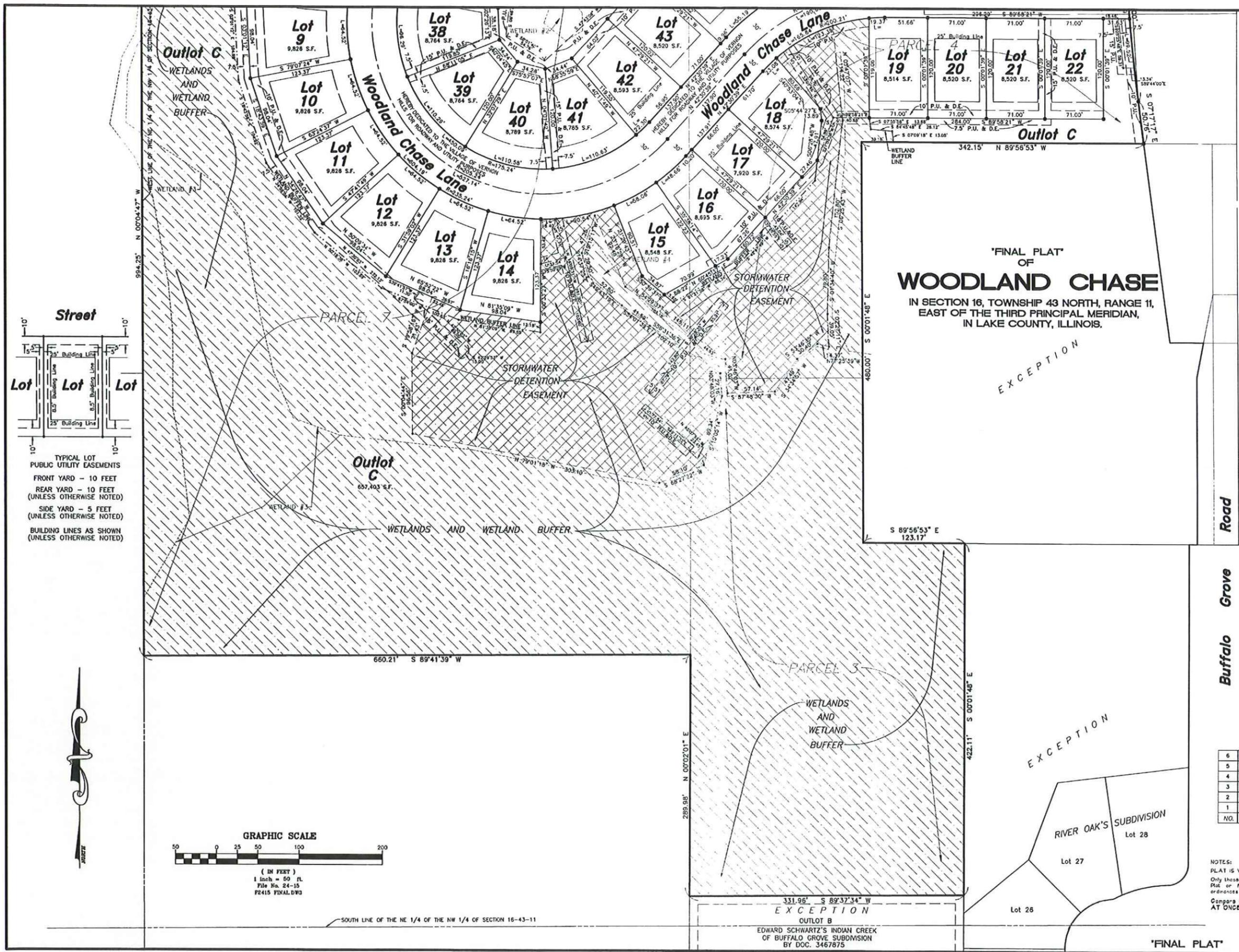
FIELDWORK COMPLETED: CLIENT NAME: Pearson, Brown and Associates, Inc. ADDRESS: 1850 West Winchester Road, Suite 205 Libertyville, IL 60048

NOTES: PLAT IS VOID if the Impressed Surveyors Seal does not appear. Only those Building Lines or Easements shown on a Recorded Subdivision Plat or from a Recorded Document are shown herein. check local Compare your description and site markings with this plat and AT ONCE report any discrepancies which you may find.

R.E. ALLEN AND ASSOCIATES, LTD. PROFESSIONAL LAND SURVEYORS 1015 N. CORPORATE CIRCLE, SUITE C GRAYSLAKE, ILLINOIS 60030 PHONE: 847-223-0914 FAX: 847-223-0980

'FINAL PLAT'

'FINAL PLAT' OF WOODLAND CHASE
 IN SECTION 16, TOWNSHIP 43 NORTH, RANGE 11,
 EAST OF THE THIRD PRINCIPAL MERIDIAN,
 IN LAKE COUNTY, ILLINOIS.

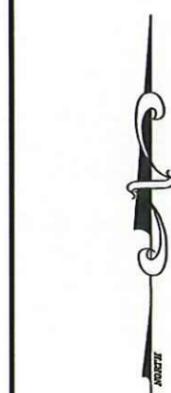
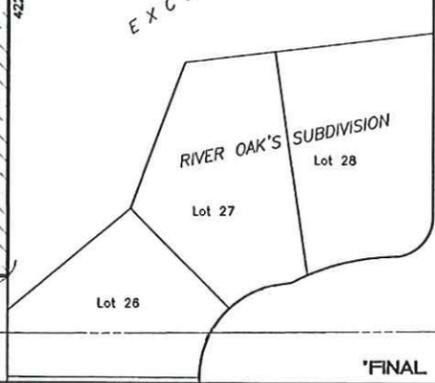


NO.	DATE	DESCRIPTION	BY
6	10-06-16	ADD IDOT NOTE	B.J.L.
5	09-02-16	REVIEW COMMENTS	B.J.L.
4	06-16-16	REVISE EASEMENTS	B.J.L.
3	02-18-16	REVISE FRONT SETBACK	B.J.L.
2	11-16-15	VILLAGE REVIEW COMMENTS	B.J.L.
1	08-23-15	ORIGINAL ISSUE	B.J.L.

FIELDWORK COMPLETED:
 CLIENT NAME: Pearson, Brown and Associates, Inc.
 ADDRESS: 1850 West Winchester Road, Suite 205
 Libertyville, IL 60048

NOTES:
 PLAT IS VOID if the Impressed Surveyors Seal does not appear.
 Only those Building Lines or Easements shown on a Recorded Subdivision Plat or from a Recorded Document are shown herein; check local ordinances before building.
 Compare your description and site markings with this plat and AT ONCE report any discrepancies which you may find.

R.E. ALLEN AND ASSOCIATES, LTD.
 PROFESSIONAL LAND SURVEYORS
 1015 N. CORPORATE CIRCLE, SUITE C
 GRAYSLAKE, ILLINOIS 60030
 PHONE: 847-223-0914 FAX: 847-223-0980



SOUTH LINE OF THE NE 1/4 OF THE NW 1/4 OF SECTION 16-43-11

EDWARD SCHWARTZ'S INDIAN CREEK OF BUFFALO GROVE SUBDIVISION BY DOC. 3467875

**Woodland Chase Subdivision
Design Guidelines
December 6, 2016**

ARCHITECTURAL GUIDELINES

These architectural design guidelines establish the framework for an architecturally cohesive neighborhood, and shall be applied to all new homes and renovations constructed in the subdivision. Exhibit "A" provides a reference for the typical style, exterior colors palettes and materials approved for Woodland Chase Subdivision and shall be the reference for maintaining the aesthetic character of the community

Definitions.

1. ***Brick Veneer (Natural):*** is the building of structures or veneer walls from individual masonry units laid in and bound together by mortar.
2. ***Cultured Stone Veneer:*** A building component that is manufactured or made from cast concrete with a facing that resembles natural stone.
3. ***Stone Veneer (Natural):*** Natural stone is made from real stone that is either collected (i.e. fieldstone); or quarried. The stone is cut to a consistent thickness and weight for use as a building component or veneer.
4. ***Exterior Insulation and Finishing System (EIFS):*** is a general class of non-load bearing building cladding systems that provides exterior walls with an insulated, finished surface in an integrated composite material system.
5. ***Stucco:*** is cement plaster applied over wall and surfaces inside and outside buildings. The stucco is a plaster type material that is made from cement, sand and lime.
6. ***Cement Fiber Siding & Trim:*** is a building material used to cover the exterior of a building in both commercial and domestic applications. Fiber cement is a composite material made of sand, cement and cellulose fibers and is used as an exterior siding and trim material in lieu of matching wood products for wall veneer, fascia, soffits and trim boards

Placement and Orientation

The placement and orientation of homes is an important consideration. Proper home placement can maintain scenic views within the neighborhood, promote neighbor interaction, and maintain privacy.

- Single-family homes shall have a strong orientation to the street. Primary entrances to homes shall be located in the front of the house, facing the street.

- Homes and buildings shall be positioned in a manner that preserves views and privacy of others. Structures and landscaping shall be placed to respect the privacy of neighbors, and minimizes obstruction of views from neighboring properties.
- All units shall have a minimum floor to ceiling heights on the first floor of 9'-0".

Home Size, Height and Bulk

All homes shall not exceed the maximum allowable floor area as defined by the Village of Vernon Hills, Illinois. The maximum roof height shall not exceed 35'-0" as defined by the Village of Vernon Hills method for measurement.

Architectural Style & Monotony

Architectural styles shall embrace the traditional building styles evident in existing historic homes of the community. Acceptable architectural vernaculars are:

- Shingle
- Craftsman
- European Country
- American Colonial
- English Tudor

Contemporary and or minimalist styles shall not be allowed.

While new homes may share an architectural style, exterior facades and material color schemes may not be repeated.

Building Materials and Color

Exterior building materials shall be as follows:

- Exterior finishes shall consist of either traditional masonry building materials such as brick or stone, or wood clapboard or fiber cement siding. Aluminum siding, vinyl siding, plywood, concrete block, tin, and metal or metal appearance are prohibited. Artificial Stucco and Exterior Insulation and Finish Systems (EIFS) are not permitted.
- Exterior finishes shall utilize appropriate accents to highlight entries, windows, dormers, porches and other architectural details using historic models. Acceptable accent materials include stone, simulated stone (i.e. Cultured Stone®), terra cotta, copper, and wood and metal trim. Authentic Stucco consisting of 3-coat Portland Cement is acceptable, but attention should be paid to the durability of the application. Wood and cement board siding is acceptable.
- All chimneys shall be brick, stone or stucco veneer only.
- All exposed flashing shall be metal.
- Vinyl and aluminum fascia, soffit, trim and other exterior finishes are not permitted.

- Roofing materials should complement the historic architectural style of a home. The color of roofing materials should complement the architectural style and color of the home. Medium cedar shakes/shingles, Slate and clay roof tile and asphalt shingles roofing are acceptable roof alternatives. Asphalt roofing shall must be no less than 240#
- Columns, banisters, balusters, shutters, and other architectural details are encouraged provided they are compatible with the historic architectural style of the home.
- The predominant colors for new homes should consist primarily of earth tones. While the natural brick and stone colors should predominate, contrasting and complementary colors should also be used to accent building components, highlight architectural elements and to help distinguish homes and neighborhoods from one another. Wood and fiber cement board siding should be similarly colored as well. White and other light brick colors are not permitted unless they are to be painted appropriately with the historic architectural style of the home.
- Changes in colors and materials shall occur horizontally such as changes at upper floors or windowsills. Elevations of different colors and materials are not permitted. Brick and stone veneer are encouraged if they are consistent with the historic design precedent for the intended style. When masonry is applied to an exterior, it must return to a 90-degree projection on all front facing elevations. Where a wing or projection of the building is offset, the wing or projection may use different materials to give it emphasis, provided the materials are applied consistently to the entire projection.
- All decks, or any other above grade features, are to be constructed within the building envelope. A raised deck and its supports should, if possible incorporate materials that relate to the residence such as brick, stone or cedar. If wood posts are used, they shall be a minimum of 6" x 6" with a base and capital detailing.
- All patios, decks and terraces are to be constructed within the confines of the final building pad as designated and recorded for each lot.
- Accessory buildings, such as garden sheds shall not be allowed unless approved by the HOA
- Mechanical equipment for utilities and HVAC should be screened so that they will not be visible from the street or adjacent property. All utility cables shall be underground. No aboveground fuel tanks will be permitted.
- Swimming pools are allowed with following restrictions:
 - Above ground pools are not allowed.
 - All swimming pools shall comply with City and State regulations.
 - Fences and landscape screening must render a pool invisible to the streetscape and neighbors.
 - Basketball hoops, when used, should be pole mounted. Attachment to roof structures is not permitted.

Outdoor play structures shall be placed so as to not obstruct views of adjacent property owners or must be properly screened with appropriate landscape material. No play structures shall be installed without first seeking the approval of the HOA.

- Damaged and deteriorated exterior building materials shall be repaired or replaced.

Windows, Doors and Entrances

Windows, doors and entrances shall be as follows:

- Each elevation of a dwelling shall have windows. The frequency and quantity of window placement should be determined by the historic architectural style
- All openings should be articulated through the use of shutters, flat or arched lintels, projecting sills or surrounds. Windows should be located on all elevations and be properly spaced and proportioned. Double hung or casement windows must be used. Jalousie or sliding windows are not permitted.
- Windows and doors shall have wood, aluminum or vinyl clad exteriors with wood interiors. Glazing shall be clear or gray tinted only. Low-E insulated glass is strongly encouraged. Reflective glass or glass block will not be accepted. Fiberglass or metal entry door systems are permitted. Screen material shall be of dark gray fiberglass, aluminum, copper or bronze.
- Exterior doors should be of high quality. Solid wood doors are preferred. Fiberglass and steel doors with natural wood appearance are acceptable.
- Shutters should be traditional in design and material and in keeping with the historic architectural style. If shutters are used they should be sized to the window so it appears it could be closed and fully protect the window.

Roofs and Rooflines

Roof forms should be well organized and demonstrate the same character on all sides of the residence. Shed roof forms are discouraged, except at small dormers, if appropriate to the style of the architecture. The use of mansard roofs or roofs that are flattened at the ridge are not permitted. Flat roofs are permitted over entry porches, entryways, or where compatible with historical precedence. Roof pitches on major building massing should fall within the range of 8:12 to 16:12 and be consistent. Minor building massing (i.e. dormers) should fall within the range of 4:12 to 16:12. Eaves and rakes should be articulated by fascia boards, friezes, cove and crown molding, or gutters

- Homes should have a pitched roof that compliments the overall design and architecture of the building. Consideration should be given to the roof line as viewed from all sides of a home.
- Roof covering shall be architectural laminated random-tab type shingles, wood shakes or clay tile shingles.

- Traditional roof configurations, including gable, hip or a combination of both are preferred. Mansard, hip-on-gable, hip-and-gable, gambrel, saltbox, cross gable, and kicked eaves style roofs should be attractively designed and appropriate with the architecture. Flat roofs are permitted over entry porches, entryways, or where compatible with historical precedence. Shed roofs are not permitted except as a dormer accent.
- Dormers are encouraged provided they are appropriate with the historic architectural style of the home. Dormers add visual interest to a home, provide more interior natural light, and disrupt large roof masses. Dormers should be designed in keeping with the historic architectural style. Dormers must be correctly located on the roof proportionally designed
- All chimneys shall have a masonry or stucco veneer. Wood veneer such as clapboard or shingle shall not be applied to any exterior chimney. Galvanized flues shall not be exposed and shall be covered with decorative cap or screening.
- Skylights should not be visible from the street. Skylights should be flush with the roof and non-protruding, and similar in color to the roof. Dome style skylights are not permitted.
- Sewer, plumbing and attic vents should be combined. Continuous ridge vents or gable vents are encouraged. Venting should be subtle and not visually prominent from any street view. Venting hardware must not disrupt the rooflines from front or side elevations. High profile vents, prefabricated dome vents, dormer vents, and power vents are not permitted. Venting devices should blend with the building materials and colors. PVC venting is prohibited.

Garages and Driveways

- Driveways are designed to accommodate the frequently used automobiles only. Storage of Recreational Vehicles (RVs), boats, trailers, or other vehicles on driveways is prohibited. Cars stored seasonally or periodically and covered on driveways are also prohibited. Offsite storage of seasonally or periodically used vehicles is strongly encouraged.
- Single-family homes shall have driveways constructed of asphalt, concrete or brick pavers. Driveways consisting of gravel, tar and chip or other material shall not be permitted. Pattern stamping and/or coloring may be appropriate provided the color and pattern complements the historic architectural style of the home. Driveways should be designed to have a minimal surface area. Large aprons, turnarounds, parking areas are discouraged.
- Garage doors shall be consistent with the historic architectural style of the house. Carriage style garage doors are preferred. Garage doors with windows shall complement the historic architectural style of the house. Solid aluminum, metal, or raised wood paneled garage doors are discouraged and must be approved by the HOA.

- Details such as curved tops, wide casings, corner and frieze boards, balusters and columns should be used to soften the visual impact of the garages, and add interest, scale and dimension.

Lighting

The guidelines below strive to ensure lighting is appropriate and minimized spill over light onto adjacent properties, glare, and light pollution.

- Outdoor lighting shall be kept to an absolute minimum. Decorative lighting, such as up-lighting or spotlighting of trees and decorative lighting on building features or entries must be approved by the HOA.
- Building lighting should be subtle and understated; light fixtures shall be designed and oriented to produce minimal glare and spillover onto nearby properties. Direct exposure of light bulbs should be avoided and the use of low wattage bulbs should be encouraged. Fluorescent bulbs for exterior light fixtures is prohibited.
- Outdoor lighting of basketball courts, or other private recreation areas is prohibited.
- Motion activated spotlights are appropriate when used for security and safety. Spotlights or floodlights shall only be allowed on the rear yard shall be directed in a way as to not spill light onto adjacent properties. Motion activated lights should provide only the minimum amount of time required to enter a home safely before turning off (i.e. 1-3 minutes).
- Satellite dishes larger than 24 inches are not allowed. Small dishes are permitted if they are not visible from the front of the home. TV antennas must be placed in the attic and not on the roof.

LANDSCAPE GUIDELINES

All landscaping shall meet the landscape standards established by The Village of Vernon Hills and include the following material:

Plantings:

Shade trees shall be a minimum of 2 1/2" caliper

A minimum of one (1) 2 1/2" caliper Oak, Maple or Walnut tree shall be planted in the front yard area of each lot when the landscaping is installed

Evergreen trees shall be no less than 6'-0" in height

Shrubs for foundation plantings shall be no less than 24"

Parkway trees shall be replaced by the homeowner and or homeowner's contractor if damaged during home construction.

All streetscape landscaping shall be designed to have a cohesive informal relationship between residences

All grass shall be sod

Grading:

Site grading shall be per the approved site grading plan

All existing trees are to be protected up to the natural drip line with temporary protective fencing and properly fertilized to enhance health during the construction process.

Patios and Sidewalks:

- All patios shall be constructed within the confines of the final building pad
- Paver bricks and stone material are encouraged. No-concrete slabs shall be stamped, aggregate or stained.

Fences:

Fences and gates shall be limited to black aluminum or wrought iron decorative styles or natural cedar wood fences that have matching faces on both sides.

Fences and gates shall not exceed 6'-0" in height.

Fencing shall be installed no less than 10'-0" from the furthest front street facing exterior wall of the home.

Fencing shall not encroach into established conservancy areas.

Miscellaneous:

Mailboxes shall be standard sized "horseshoe" shaped aluminum (white) on 4" x 4" steel post (white). No masonry piers or theme-based mailboxes shall be allowed.

No monumental entry columns of any kind shall be allowed at driveway entries

—No landscape lighting shall be allowed in the front yard area without first being reviewed and approved by the HOA.

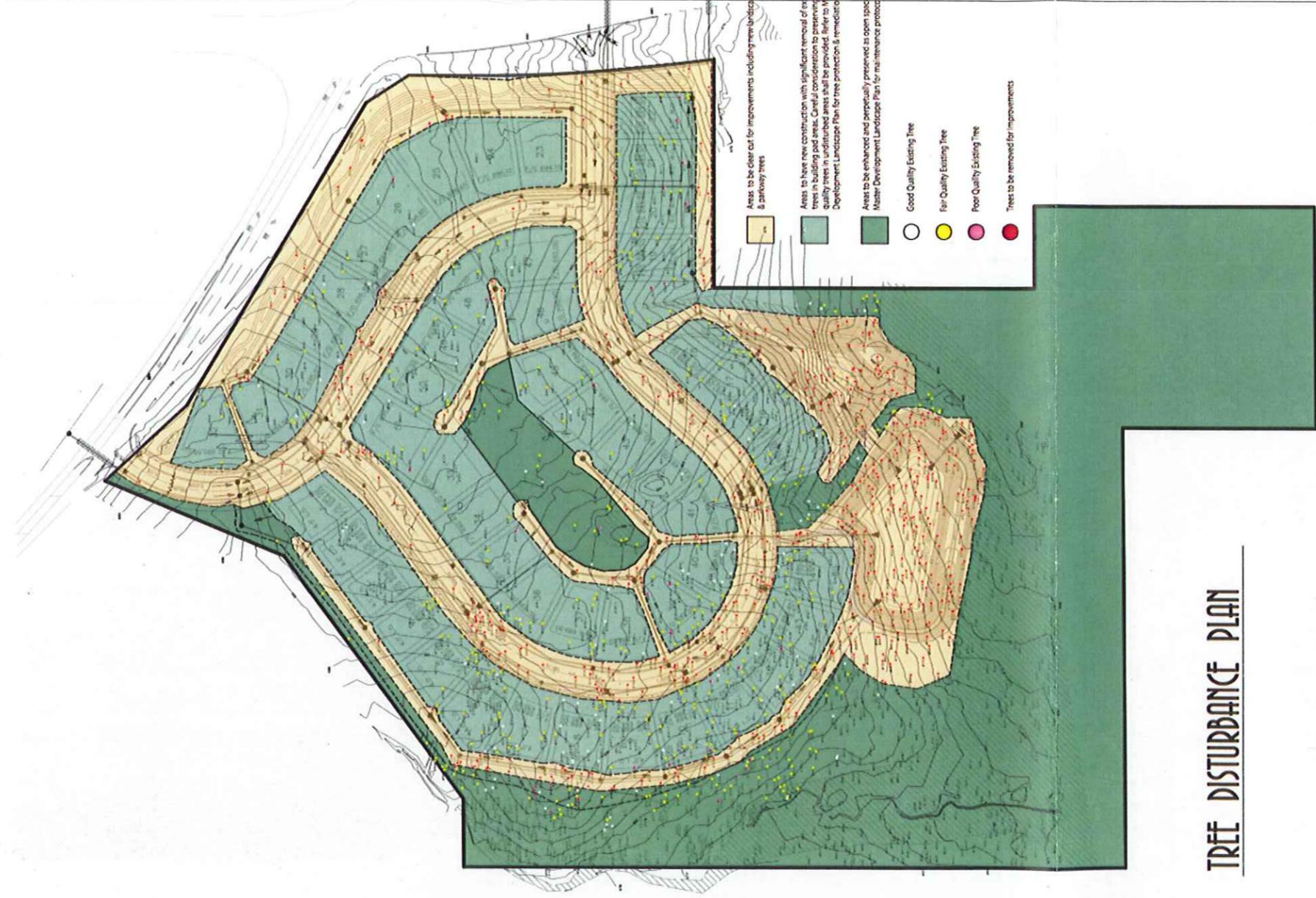
No bird feeder or permanent garden ornaments shall be allowed in the front yard area

No modification of exterior materials and or colors shall be permitted without written consent of the homeowners association

Recreational vehicles, campers, and boats are not to be stored within the boundaries of the property

ENFORCEMENT

These *Architectural and Landscape Guidelines* are binding upon all lots in the Woodland Chase Subdivision and all persons owning such lots. The Developer and/or the Homeowners Association shall have right, power and authority to take such action as may be necessary or appropriate to enforce these Guidelines or to stop any violation thereof and specifically shall have the right to injunction or require the post of a bond, compelling conformance to these Guidelines. The lot owner shall be responsible for all costs associated with enforcing these Guidelines including legal costs and repair to meet the established standards provided in this document.



TREE DISTURBANCE PLAN

WOODLAND CHASE SUBDIVISION

VERNON HILLS, ILLINOIS

March 30, 2016



RECEIVED
MAR 31 2016
Community Development
Department

ORDINANCE 2016-049 Exhibit B7 Proposed Site Landscaping Plans prepared by McCallum Associates with a received date of September 22, 2016 and consisting of 2 pages.

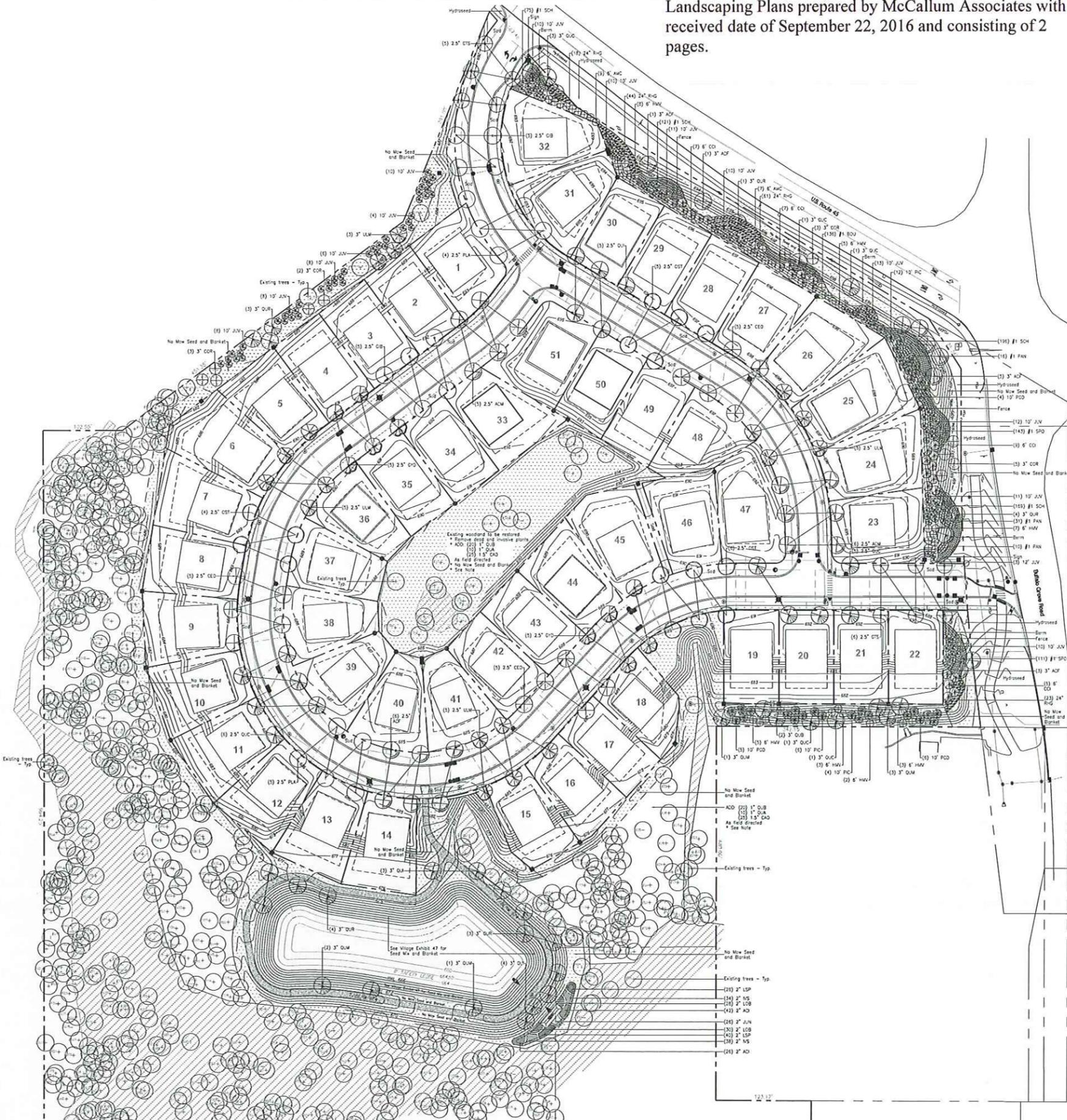
Woodland Chase

Vernon Hills, Illinois

DAVID R. MCCALLUM ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
35 N. Wacker Drive, Suite 1000
Chicago, IL 60606



R.M. SWANSON ARCHITECTS, P.C.
835 Adams Court, Suite 1000, Vernon Hills, IL 60061
1-847-427-7777



Notes

Note: Existing Woodland Chase
Existing woodlands to be restored. Invasive plants and ground layer shall be removed and holed from site. Ground layer shall be seeded with No-Mow Seed Mix. Seed heads shall be allowed to remain to No-Mow coverage. New trees shall be protected with deer resistant protective fencing.
All parkways shall be sodded.
All lots shall be fully sodded.
(2) 2" shade trees shall be installed on each lot. Locations shall be determined based on house, driveway and utility locations. Tree species are for informational purposes only and may be modified based on individual lot restrictions. See On Lot Tree Plant List.
Existing trees to remain shown on each lot are dependent on final grading and utility locations. Existing trees to remain shown in R.O.M. are dependent on final grading, driveway and utility locations. Actual locations of parkway trees as necessary.

Plant List

Shade Trees					
Key	Qty.	Size	Botanical Name	Common Name	Remarks
AFZ	6	2.5"	Acer x Freemanii 'Autumn Blaze'	Autumn Blaze Freeman Maple	BB
AFZ	10	3"	Acer x Freemanii 'Autumn Blaze'	Autumn Blaze Freeman Maple	BB
ADM	11	2.5"	Acer glabrum 'Morton'	State Street Maple	BB
CAO	50	1.5"	Carya ovata	Shagbark Hickory	BB
CEO	13	2.5"	Celtis occidentalis 'Prairie Pride'	Prairie Pride Common Hackberry	BB
COB	13	3"	Corylus columba	Tulash Filbert	BB
COB	10	2.5"	Corylus glabra	Gingko	BB
CTS	11	2.5"	Cedrela tomentosa var. inermis 'Skyline'	Skyline Thornless Honeylocust	BB
DTN	20	2.5"	Drymonia distans	Honeylocust	BB
OST	15	2.5"	Carya virginiana	Kentucky Coffeetree	BB
PLA	20	2.5"	Platanus acerifolia 'Morton Circle'	Estimote London Planetree	BB
QUA	20	1"	Quercus alba	White Oak	BB
QUA	40	1"	Quercus bicolor	Sawing White Oak	BB
QUA	2	3"	Quercus bicolor	Sawing White Oak	BB
QUA	11	2.5"	Quercus muhlenbergii	Chickadee Oak	BB
QUA	3	3"	Quercus muhlenbergii	Chickadee Oak	BB
QUA	5	2.5"	Quercus imbricaria	Shingle Oak	BB
QUA	7	3"	Quercus imbricaria	Shingle Oak	BB
QUA	7	3"	Quercus macrocarpa	Bar Oak	BB
QUA	15	3"	Quercus rubra	Red Oak	BB
ULM	15	2.5"	Ulmus x Mortonii 'Daisy'	Regal Elm	BB
ULM	3	3"	Ulmus x Mortonii 'Daisy'	Regal Elm	BB

Ornamental Trees					
Key	Qty.	Size	Botanical Name	Common Name	Remarks
ANC	16	6"	Ampelopsis canadensis	Shadow Serviceberry	BB/Clump
COB	28	6"	Cornus rugelii var. inermis	Thornless Cockspur Hawthorn	BB/Clump
HMV	33	6"	Hemerocallis versilis	Vernal Wishbone	BB/Clump

Evergreen Trees					
Key	Qty.	Size	Botanical Name	Common Name	Remarks
JUN	131	10"	Juniperus virginiana	Eastern Redcedar	BB
JUN	3	12"	Juniperus virginiana	Eastern Redcedar	BB
PGD	15	10"	Picea glauca 'Densata'	Black Hills Spruce	BB
PC	22	10"	Picea pungens	Blue Colorado Spruce	BB

Shrubs					
Key	Qty.	Size	Botanical Name	Common Name	Remarks
RHC	145	24"	Rhus aromatica 'Dr-Low'	Dr-Low Fragrant Sumac	BB

Native Grasses and Plugs					
Key	Qty.	Size	Botanical Name	Common Name	Remarks
AD	68	2"	Asclepias incarnata	Swamp Milkweed	Plugs
BSU	156	1"	Bouteloua curtipendula	Side Oats Grama	Plugs
HS	22	2"	Hieracium virginicum	Blue Top Iris	Plugs
JUN	26	2"	Juncea torreyi	Torrey's Rush	Plugs
LSP	66	2"	Liatris spicata	Pink Spiked Liatris	Plugs
LSP	66	2"	Liatris spicata	Marsh Blazing Star	Plugs
PAN	57	1"	Panicum virgatum	Switch Grass	Container
SPN	261	1"	Schizanthus litoralis	Line Broomrape	Container
SPO	254	1"	Sporobolus heterolepis	Prairie Drosera	Container

Plant List On Lot Trees					
Key	Qty.	Size	Botanical Name	Common Name	Remarks
AFZ	16	2"	Acer x Freemanii 'Autumn Blaze'	Autumn Blaze Freeman Maple	BB
CEO	16	2"	Celtis occidentalis 'Prairie Pride'	Prairie Pride Common Hackberry	BB
QUA	25	2"	Quercus bicolor	Sawing White Oak	BB
QUA	15	2"	Quercus rubra	Red Oak	BB

Landscape Plan

Number	Description	Date
7	For Review	09/22/16
6	For Review	06/06/16
5	For Village Comments	03/16/16
4	For Village Comments	03/22/16
3	For Village Comments	11/05/15
2	Detention Basin Design	09/22/15
1	For Review	09/15/15

Scale: 1" = 50'
North arrow pointing up.
File: 4367PSA
Sheet: L10

**FAR Matrix for
 Woodland Chase Subdivision**

Floor Area Ratio = 33%

	Lot Area	Allowable FAR		Requested FAR		Variance
	Square Footage	Existing		Maximum		Ratio
Lot 1	9,544	3150	sf	4,250	sf	45%
Lot 2	8,759	2890	sf	4,000	sf	46%
Lot 3	8,760	2891	sf	4,000	sf	46%
Lot 4	8,760	2891	sf	4,000	sf	46%
Lot 5	9,554	3153	sf	4,250	sf	44%
Lot 6	11,555	3813	sf	4,250	sf	37%
Lot 7	10,509	3468	sf	4,250	sf	40%
Lot 8	9,518	3141	sf	4,250	sf	45%
Lot 9	9,826	3243	sf	4,250	sf	43%
Lot 10	9,826	3243	sf	4,250	sf	43%
Lot 11	9,826	3243	sf	4,250	sf	43%
Lot 12	9,826	3243	sf	4,250	sf	43%
Lot 13	9,826	3243	sf	4,250	sf	43%
Lot 14	9,826	3243	sf	4,250	sf	43%
Lot 15	8,548	2821	sf	4,000	sf	47%
Lot 16	8,695	2869	sf	4,000	sf	46%
Lot 17	7,920	2614	sf	3,800	sf	48%
Lot 18	8,574	2829	sf	4,000	sf	47%
Lot 19	8,514	2810	sf	4,000	sf	47%
Lot 20	8,520	2812	sf	4,000	sf	47%
Lot 21	8,520	2812	sf	4,000	sf	47%
Lot 22	8,520	2812	sf	4,000	sf	47%
Lot 23	10,585	3493	sf	4,250	sf	40%
Lot 24	10,788	3560	sf	4,250	sf	39%
Lot 25	12,249	4042	sf	4,250	sf	35%
Lot 26	11,097	3662	sf	4,250	sf	38%
Lot 27	9,285	3064	sf	3,600	sf	39%
Lot 28	8,520	2812	sf	3,600	sf	42%
Lot 29	8,520	2812	sf	3,600	sf	42%
Lot 30	8,520	2812	sf	3,600	sf	42%
Lot 31	10,261	3386	sf	4,250	sf	41%
Lot 32	10,347	3415	sf	4,250	sf	41%
Lot 33	10,216	3371	sf	4,250	sf	42%
Lot 34	8,520	2812	sf	4,000	sf	47%
Lot 35	8,520	2812	sf	4,000	sf	47%

Lot 36	8,671	2861	sf	4,000	sf	46%
Lot 37	8,709	2874	sf	4,000	sf	46%
Lot 38	8,764	2892	sf	4,000	sf	46%
Lot 39	8,764	2892	sf	4,000	sf	46%
Lot 40	8,789	2900	sf	4,000	sf	46%
Lot 41	8,785	2899	sf	4,000	sf	46%
Lot 42	8,593	2836	sf	4,000	sf	47%
Lot 43	8,520	2812	sf	4,000	sf	47%
Lot 44	9,579	3161	sf	4,250	sf	44%
Lot 45	10,866	3586	sf	4,250	sf	39%
Lot 46	9,694	3199	sf	4,250	sf	44%
Lot 47	11,441	3776	sf	4,250	sf	37%
Lot 48	8,741	2885	sf	4,000	sf	46%
Lot 49	8,520	2812	sf	4,000	sf	47%
Lot 50	8,520	2812	sf	4,000	sf	47%
Lot 51	10,920	3604	sf	4,250	sf	39%

Note the proposed homes will range from 2,700 sf up to 4,250 sf with an average typical floor area of 3,400 sf. The requested FAR figures are maximum , not to exceed