

VILLAGE OF VERNON HILLS

ORDINANCE 2017-001

AN ORDINANCE GRANTING APPROVAL TO ALLOW A BUILDING WITH A BANK  
WITH DRIVE -THRU SERVICE AT GREGG'S LANDING NORTH COMMERCIAL LOT 2  
OF THE IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

THE 10<sup>th</sup> DAY OF JANUARY 2016

Published in pamphlet form by the Authority of the  
President and Board of Trustees of the Village of  
Vernon Hills, Lake County, Illinois, this 12<sup>th</sup> Day of  
January 2016

**ORDINANCE NO. 2017-001**

**AN ORDINANCE GRANTING APPROVAL TO  
ALLOW A BUILDING WITH A BANK WITH  
DRIVE –THRU SERVICE AT GREGG’S LANDING  
NORTH COMMERCIAL LOT 2 OF THE IN THE  
VILLAGE OF VERNON HILLS, LAKE COUNTY**

**WHEREAS**, The Architects Partnership Ltd., representing Chase Bank located at the Gregg’s Landing North Commercial Lot 2 and legally described in Exhibit A, has petitioned the Village of Vernon Hills for the following:

1. Approval of a Special Use Permit to allow a bank with a drive-thru facility along with certain departures, including but not limited to signage; and.
2. Preliminary and final site and landscaping plan approvals; and
3. Preliminary and final approval of the architectural elevations.

**WHEREAS**, The Architects Partnership Ltd has requested the following variations as a part of the petition:

1. To allow one wall sign on the northern elevation of the building face that has no frontage on a public or private street measuring 36.9 square feet.

**WHEREAS**, the requested approvals shall be in general compliance with the following:

- ALTA /NSPS Land Title Survey prepared by V3 Engineers, Scientists and Surveyors with a field work completed date of September 8, 2016 and consisting of 1 page.
- Proposed Site Plan by TAP Architects/Designers with a date of October 14, 2014 and consisting of 1 page.
- Proposed Landscape Plan prepared by TAP Architects/Designers with a date of December 1, 2016 and consisting of 1 page.
- Proposed Engineering Plans prepared by Gewalt Hamilton Associates, Inc with a date of October 14, 2016 and consisting of 12 pages.
- Proposed Floor Plan prepared by TAP Architects/Designers with a date of October 14, 2016 and consisting of 1 page.
- Proposed Architectural Exterior Elevations prepared by TAP Architects/Designers with a date of October 14, 2016 and consisting of 3 pages.
- Proposed Signage Plans prepared by Signtech with a date of October 11, 2016 and consisting of 12 pages.
- Proposed Photometric plan prepared by US Architectural/Sun Valley Lighting with a date of October 10, 2016 and consisting of 1 page

Said Plans are attached hereto as Exhibit B; and

**WHEREAS**, the requested approvals will allow for construction of a single tenant building bank with a drive-thru.

**WHEREAS**, upon due notice and after a public hearing held on November 30, 2016 by the Planning and Zoning Commission of the Village of Vernon Hills, and pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, said Planning and Zoning Commission has filed its report concerning said petition as listed above.

**WHEREAS**, based upon the evidence adduced at said hearings and in their application, the petitioner has entered into the record evidence and findings of fact that address the standards in Section 18.3 of the Zoning Ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, COUNTY OF LAKE AND STATE OF ILLINOIS:**

**SECTION I.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, the Special Use Permit to allow a bank with drive-thru service and certain departure related to signage as listed in Exhibit C, is hereby granted. Said parcel is legally described in Exhibit A. The approval is subject to the Terms and Conditions of Approval as set forth in Exhibit C.

**SECTION II.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, approvals of the preliminary and final site, and landscaping plans for the entire site as set forth in Exhibit B are hereby granted subject to the Terms and Conditions of Approval, as set forth in Exhibit C.

**SECTION III.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final approvals of the architectural elevations including signage as set forth in Exhibit B are hereby granted subject to the Terms and Conditions of Approval, as set forth in Exhibit C.

**SECTION IV.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final site improvement plans as set forth in Exhibit B are hereby approved subject to the Terms and Conditions of Approval as set forth in Exhibit C.

**SECTION V.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, and the recommendations of the Planning and Zoning Commission, the Terms and Conditions of Approval as set forth in Exhibit C are hereby approved and are made a part of the approvals as listed in the Sections above.

**SECTION VI. SEVERABILITY.** In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

**SECTION VII. REPEAL AND SAVINGS CLAUSE.** All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this ordinance.

**SECTION VIII. SUCCESSORS AND ASSIGNS.** All of the provisions of this Ordinance and the attachments hereto are binding on all successors and assigns of the petitioner and property owner.

**SECTION IX. EFFECTIVE DATE.** This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

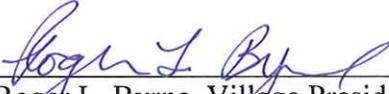
**SECTION X. ORDINANCE NUMBER.** This ordinance shall be known as Ordinance Number 2017-001.

Adopted by roll call vote as follows:

AYES: 6 – Koch, Grieb, Schultz, Marquardt, Williams, Hebda

NAYS: 0 - None

ABSENT AND NOT VOTING: 0 - None

  
Roger L. Byrne, Village President

PASSED: 01/10/2017

APPROVED: 01/10/2017

PUBLISHED IN PAMPHLET FORM: 01/12/2017

ATTEST:

  
\_\_\_\_\_  
John Kalmar, Village Clerk

**Exhibit A**  
**Legal Description**

PARCEL 1

LOT 2 IN THE FINAL PLAT OF THE GREGG'S LANDING NORTH SUBDIVISION, BEING A SUBDIVISION OF PART OF SECTION 28 AND 33, TOWNSHIP 44 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED AUGUST 22, 2014 AS DOCUMENTS NUMBER 7125618 IN LAKE COUNTY ILLINOIS

PARCEL 2

NON-EXCLUSIVE EASEMENTS FOR ACCESS, COMMON UTILITY LINES, DRAINAGE, SIGNS, AND PARKING FOR THE BENEFIT OF PARCEL 1 AS CREATED BY DECLARATION OF RECIPROCAL EASEMENTS AND RESTRICTIVE COVENANTS RECORDED AUGUST 22, 2014 AS DOCUMENT 7125620

**Exhibit B  
Plans**

General Compliance with the following plans:

- ALTA /NSPS Land Title Survey prepared by V3 Engineers, Scientists and Surveyors with a field work completed date of September 8, 2016 and consisting of 1 page.
- Proposed Site Plan by TAP Architects/Designers with a date of October 14, 2014 and consisting of 1 page.
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**Exhibit C**  
**Terms and Conditions of Approval**

Conditions of Approval for the entire Site:

1. Final approval of plans by the Village Engineer and Landscape Technician prior to issuance of a building permit.
2. Parking lot islands, median entrance magazines and adjacent parkways, grass areas of the magazine shall be irrigated.
3. Single tenant monument sign will be removed from property 90 days after final construction of the multi-tenant monument sign on Milwaukee Avenue but no more than two years.
4. Compliance with all ordinance and standards of the Village except as otherwise noted.
5. Provide additional landscaping along the foundation of the western building elevation.
6. Property owner shall enter into a multi-year agreement with the Village to become a Cultural Partner.

Variations - The following variations were recommended for approval

1. To allow one wall sign on the northern elevation of the building face that has no frontage on a public or private street measuring 36.9 square feet.



AFFIDAVIT OF SERVICE

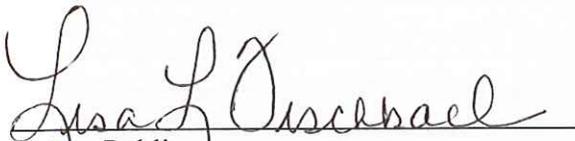
STATE OF ILLINOIS     )  
  )  
COUNTY OF LAKE        )

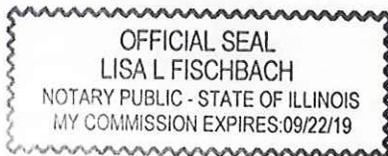
I, JOHN M. KALMAR, BEING FIRST DULY APPOINTED, DEPOSES AND SAYS ON OATH THAT AS VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, HE DID CAUSE THE FOREGOING CERTIFICATE FOR ORDINANCE 2017-001, AN ORDINANCE GRANTING APPROVAL TO ALLOW A BUILDING WITH A BANK WITH DRIVE -THRU SERVICE AT GREGG'S LANDING NORTH COMMERCIAL LOT 2 OF THE IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY TO BE POSTED IN THE VILLAGE HALL AS REQUIRED BY LAW FROM JANUARY 12, 2017 TO JANUARY 22, 2017.



\_\_\_\_\_  
John M. Kalmar, Village Clerk

SUBSCRIBED AND SWORN TO BEFORE  
THIS 12<sup>th</sup> DAY OF JANUARY 2017

  
\_\_\_\_\_  
Notary Public



**ALTA/NSPS LAND TITLE SURVEY  
 OF  
 CHASE  
 VERNON HILLS, ILLINOIS**

PART OF SECTIONS 28 AND 33, TOWNSHIP 44 NORTH, RANGE 11,  
 EAST OF THE THIRD PRINCIPAL MERIDIAN IN LAKE COUNTY, ILLINOIS.

**ADDRESS**

512 E GREGGS PKWY  
 VERNON HILLS

**LEGAL DESCRIPTION**

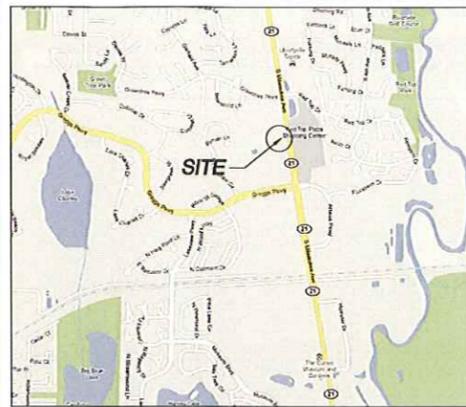
**PARCEL 1:**  
 LOT 2 IN THE FINAL PLAT OF THE GREGGS LANDING NORTH SUBDIVISION, BEING A SUBDIVISION OF PART OF SECTION 28 AND 33, TOWNSHIP 44 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED AUGUST 22, 2014 AS DOCUMENT NUMBER 7125618, IN LAKE COUNTY, ILLINOIS.

**PARCEL 2:**  
 NON-EXCLUSIVE EASEMENTS FOR ACCESS, COMMON UTILITY LINES, DRAINAGE, SIGNS, AND PARKING FOR THE BENEFIT OF PARCEL 1 AS CREATED BY DECLARATION OF RECIPROCAL EASEMENTS AND RESTRICTIVE COVENANTS RECORDED AUGUST 22, 2014 AS DOCUMENT 7125620.

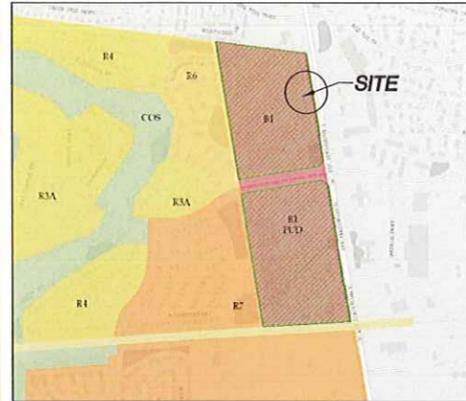
**ZONING INFORMATION**

**B-1 GENERAL BUSINESS  
 PER VILLAGE OF VERNON HILLS  
 ORDINANCE - 2010-047**

MAX LOT COVERAGE: NOT MORE THAN 25 PERCENT OF THE TOTAL SITE AREA  
 MINIMUM SETBACKS: FRONT-30', SIDE-35', REAR-40'  
 MAXIMUM BUILDING HEIGHT: 2 STORIES AND/OR 35'  
 PARKING: PARKING SPACES REQUIRED: 286 TOTAL



VICINITY MAP  
 NOT TO SCALE



ZONING MAP DETAIL  
 NOT TO SCALE

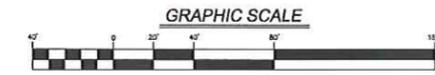
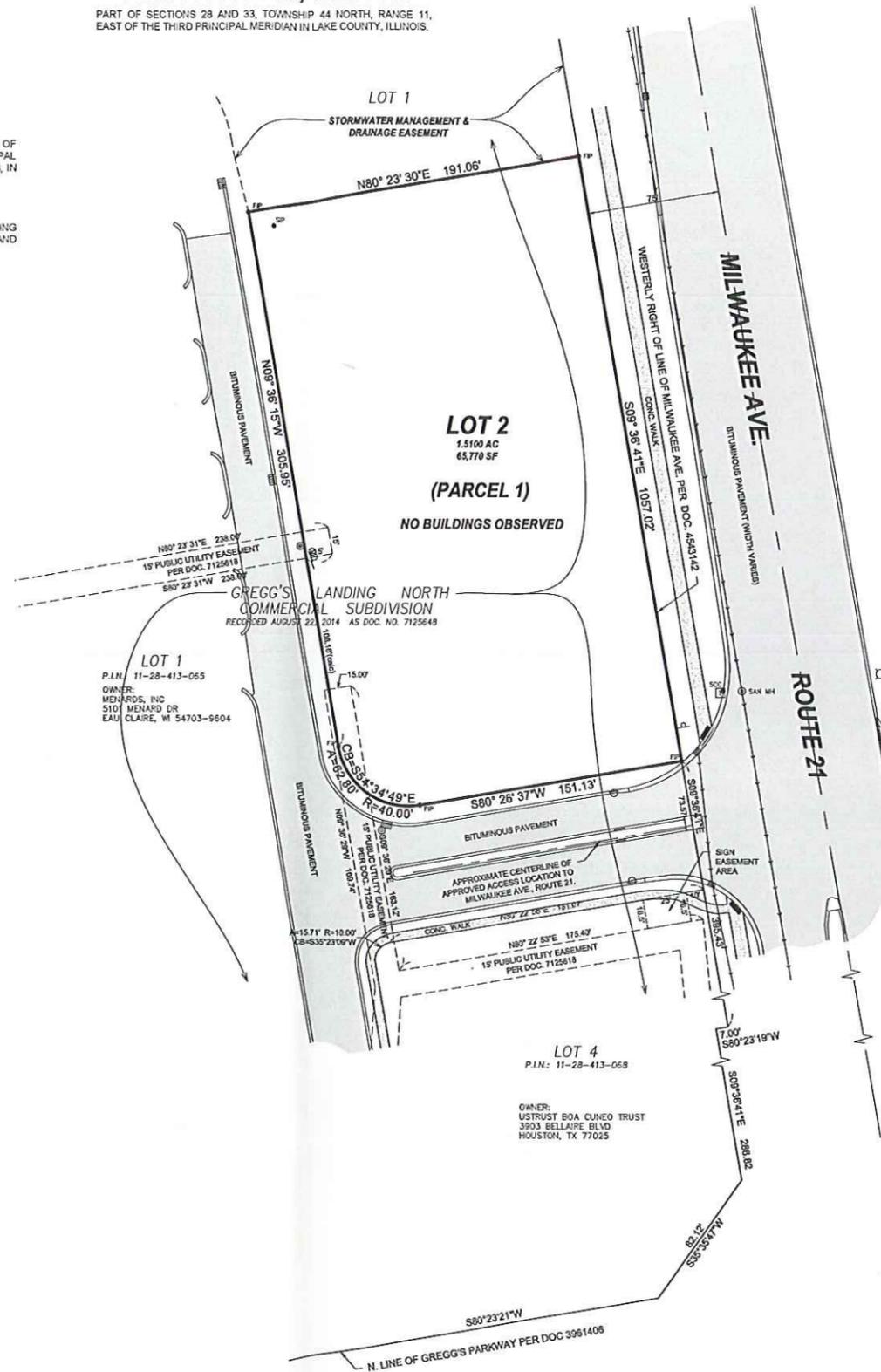
**GENERAL NOTES**

- COMPARE THIS PLAT, LEGAL DESCRIPTION AND ALL SURVEY POINTS AND MONUMENTS BEFORE ANY CONSTRUCTION, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO SURVEYOR.
- ONLY PRINTS OF THIS SURVEY WITH AN EMBOSSED SEAL SHALL BE DESIGNATED OFFICIAL COPIES. THIS SURVEY WAS PREPARED FOR THE SOLE USE OF THE CLIENT AS STATED HEREON AND IS NON-TRANSFERABLE.
- DO NOT SCALE DIMENSIONS FROM THIS PLAT.
- THE LOCATION OF THE PROPERTY LINES SHOWN ON THE FACE OF THIS PLAT ARE BASED UPON THE DESCRIPTION AND INFORMATION FURNISHED BY THE CLIENT, TOGETHER WITH THE TITLE COMMITMENT. THE PARCEL WHICH IS DEFINED MAY NOT REFLECT ACTUAL OWNERSHIP, BUT REFLECTS WHAT WAS SURVEYED. FOR OWNERSHIP, CONSULT YOUR TITLE COMPANY.
- MANHOLES, INLETS AND OTHER UTILITY RIMS OR GRATES SHOWN HEREON ARE FROM FIELD LOCATION OF SUCH, AND ONLY REPRESENT SUCH UTILITY IMPROVEMENTS WHICH ARE VISIBLE FROM ABOVE GROUND AT TIME OF SURVEY, THROUGH A NORMAL SEARCH AND WALK.
- NO UNDERGROUND DRAIN TILES OR UTILITIES, IF ANY EXIST, SHOWN HEREON.
- THIS SURVEY MAY NOT REFLECT ALL UTILITIES OR IMPROVEMENTS IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING OR ARE COVERED BY SUCH ITEMS AS DUMPSTERS, TRAILERS, CARS, DIRT, PAVING OR SNOW. AT THE TIME OF THIS SURVEY, SNOW DID NOT COVER THE SITE. LAWN SPRINKLER SYSTEMS, IF ANY, ARE NOT SHOWN ON THIS SURVEY.
- OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY SERVICE.
- CALL J.U.L.I.E. AT 1-800-692-0123 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION.
- PUBLIC AND/OR PRIVATE RECORDS HAVE NOT BEEN SEARCHED TO PROVIDE ADDITIONAL INFORMATION. OVERHEAD WIRES AND POLES (IF ANY EXIST) ARE SHOWN HEREON, HOWEVER THEIR FUNCTION AND DIMENSIONS HAVE NOT BEEN SHOWN.
- RESTRICTIONS THAT MAY BE FOUND IN LOCAL BUILDING AND/OR ZONING CODES HAVE NOT BEEN SHOWN. HEIGHTS AND BUILDING RESTRICTIONS (IF ANY) HAVE NOT BEEN SHOWN ONLY THOSE SETBACK RESTRICTIONS SHOWN ON THE RECORDED SUBDIVISION OR IN THE TITLE COMMITMENT HAS BEEN SHOWN. THIS PROPERTY IS SUBJECT TO SETBACKS AS ESTABLISHED PURSUANT TO CITY OF VERNON HILLS ZONING ORDINANCES AS AMENDED. IN REFERENCE TO TABLE A ITEM 6, THERE MAY BE A NEED FOR AN INTERPRETATION OF A RESTRICTION. THE SURVEYOR CANNOT MAKE A CERTIFICATION ON THE BASIS OF AN INTERPRETATION.
- THIS PROPERTY IS ZONED B1 (GENERAL BUSINESS) PER CITY OF VERNON HILLS 2014 ZONING MAP. SEE CITY OF VERNON HILLS ZONING ORDINANCE FOR SPECIFICS.
- THERE IS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- THERE ARE NO NEW RIGHT-OF-WAY CHANGES SURVEYOR IS AWARE OF.
- NO WETLANDS WERE OBSERVED DURING PROCESS OF THE SURVEY.
- PER ACCESS TO THE PUBLIC RECORDS, THERE SHALL BE NO DIRECT ACCESS BETWEEN LOT 2 AND MILWAUKEE AVE., ROUTE 21.
- A TITLE COMMITMENT HAS BEEN OBTAINED FROM THE SURVEYORS USE AT THE TIME OF PREPARATION OF THIS SURVEY.

**RECEIVED**

NOV 16 2016

Community Development  
 Department



**FLOOD HAZARD NOTE**

THIS PROPERTY IS IN AN AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN (ZONE X) AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF LAKE COUNTY, ILLINOIS (COMMUNITY PANEL NO. 17097C0164 G) EFFECTIVE DATE SEPTEMBER 7, 2000.

**LEGEND**

- CABLE TV PEDESTAL
- TRAFFIC LIGHT POLE
- TRAFFIC CONTROL BOX
- TRAFFIC CONTROL VAULT
- TRAFFIC LIGHT
- TELEPHONE PEDESTAL
- TELEPHONE MANHOLE
- PAINTED TELEPHONE LINE
- FIBER OPTIC CABLE LINE
- AND/OR GUY POLE
- TELEPHONE POLE
- POWER POLE
- LIGHT STANDARD
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC TRANSFORMER PAD
- ELECTRIC METER
- HANDHOLE
- ELECTRICAL JUNCTION BOX
- ELECTRIC VAULT
- ELECTRIC SERVICE OUTLET BOX
- PAINTED ELECTRIC LINE
- TRANSFORMER PAD
- PAINTED GAS LINE
- GAS VALVE
- GAS METER
- GAS METER VAULT
- GAS METER
- PIPELINE MARKER
- MONITORING WELL
- POST INDICATOR VALVE
- WELL HEAD
- FLAGPOLE
- MALIBOX
- SIGN
- PUBLIC PAY TELEPHONE
- PARKING METER
- WETLAND MARKER
- BASKETBALL HOOP
- AIR CONDITIONER PAD/UNIT
- DECIDUOUS TREE
- W/ TRUNK SIZE
- NON DECIDUOUS TREE
- W/ TRUNK SIZE
- BUSH
- SOIL BORING HOLE
- W/ NUMBER
- HEADWALL
- CURB INLET
- STORM INLET
- STORM MANHOLE
- FLARED END SECTION
- CLEANOUT
- SANITARY MANHOLE
- HOSE BIB
- B BOX
- HYDRANT
- WATER VALVE
- WATER VALVE VAULT
- PAINTED WATER LINE
- SPRINKLER HEAD
- WATER METER
- FOUND DISK IN CONCRETE
- FOUND ROW MARKER
- FOUND IRON ROD
- FOUND IRON SPIKE
- FOUND IRON NAIL
- FOUND IRON PIPE
- FOUND IRON BAR
- FOUND IRON MOVEMENT
- FOUND CROSS NOTCH
- SET IRON PIPE
- SET IRON PIPE
- SET MONUMENT
- SET TRVERSE POINT
- SET CONCRETE MONUMENT

**ABBREVIATIONS**

- PROPERTY LINE
- EXISTING RIGHT-OF-WAY LINE
- PROPOSED RIGHT-OF-WAY LINE
- LOT LINE
- CENTERLINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- BUILDING SETBACK LINE
- SECTION LINE
- DIVISIONAL SECTION LINE
- EXISTING FENCELINE (CHAIN LINK)
- EXISTING FENCELINE (WOOD)
- EXISTING FENCELINE (WIRE)
- QUADRANT
- RAILROAD TRACKS
- UNDERGROUND CABLE TV
- UNDERGROUND FIBER OPTIC CABLE(ATLAS)
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE(ATLAS INFO)
- UNDERGROUND TELEPHONE
- UNDERGROUND TELEPHONE(ATLAS INFO)
- GAS MAIN
- GAS MANHOLE(ATLAS INFO)
- WATER MAIN
- WATER MAIN(ATLAS INFO)
- WATER SERVICE(ATLAS INFO)
- SANITARY SEWER
- SANITARY SEWER(ATLAS INFO)
- STORM SEWER
- STORM SEWER(ATLAS INFO)
- EDGE OF WATER
- OVERHEAD WIRES
- CURB
- DEPRESSED CURB
- EXISTING CONTOUR LINE
- ASPHALT PAVING OR WATER (LABELLED)
- UNPAVED ROAD
- CONCRETE
- WETLANDS
- EXISTING BUILDING
- MARKER
- DETECTABLE WARNING PAD
- EXISTING TOP OF CURB ELEVATION
- EXISTING FLOW LINE ELEVATION
- EXISTING SPOT ELEVATION
- GARAGE FINISHED FLOOR
- FINISHED FLOOR
- TOP OF FOUNDATION
- ORIGINATION METAL PIPE
- REINFORCED CONCRETE PIPE
- VITRIFIED CLAY PIPE
- FRAME
- BRICK
- TOP OF CURB
- DEPRESSED CURB
- OUTLET
- EDGE OF PAVEMENT
- FLOWLINE
- CONCRETE
- CONCRETE
- CONCRETE WALK
- MANHOLE
- TOP OF WALL
- BOTTOM OF WALL
- TOP OF P.F.F.E.
- BACK OF WALK
- FLARED END SECTION
- INVERT
- DUCTILE IRON PIPE
- STORM DRAIN
- SANITARY SEWER
- NORTH
- SOUTH
- EAST
- WEST
- CHORD BEARING
- ARC LENGTH
- RADIUS
- UTILITY EASEMENT
- PUBLIC UTILITY EASEMENT
- DRAINAGE EASEMENT
- MUTUAL UTILITY EASEMENT
- INGRESS & EGRESS EASEMENT
- POINT OF CURVATURE
- POINT OF COMMENCING CURVATURE
- POINT OF REVERSE CURVATURE
- POINT OF TANGENCY
- RECORD DATUM
- MEASUREMENT DATUM
- CALCULATED DATUM
- INFORMATION TAKEN FROM DEED
- EXCEPTION TO BLANKET EASEMENT
- TITLE EXCEPTION ITEM

**SURVEYOR'S CERTIFICATE**

STATE OF INDIANA )  
 COUNTY OF LAKE )  
 TO:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 7(a), 7(b)(1), 8, 9, 11, 13, 16, 17 AND 18 OF TABLE A THEREOF.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY SURVEYS.

THE FIELD WORK WAS COMPLETED ON JUNE 15, 2016.

DATED THIS \_\_\_\_\_ DAY OF JUNE, A.D., 2016.

ANTHONY J. STRICKLAND  
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3437  
 MY LICENSE EXPIRES ON NOVEMBER 30, 2016.  
 V3 COMPANIES OF ILLINOIS, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902  
 THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2017.  
 tstrickland@v3co.com



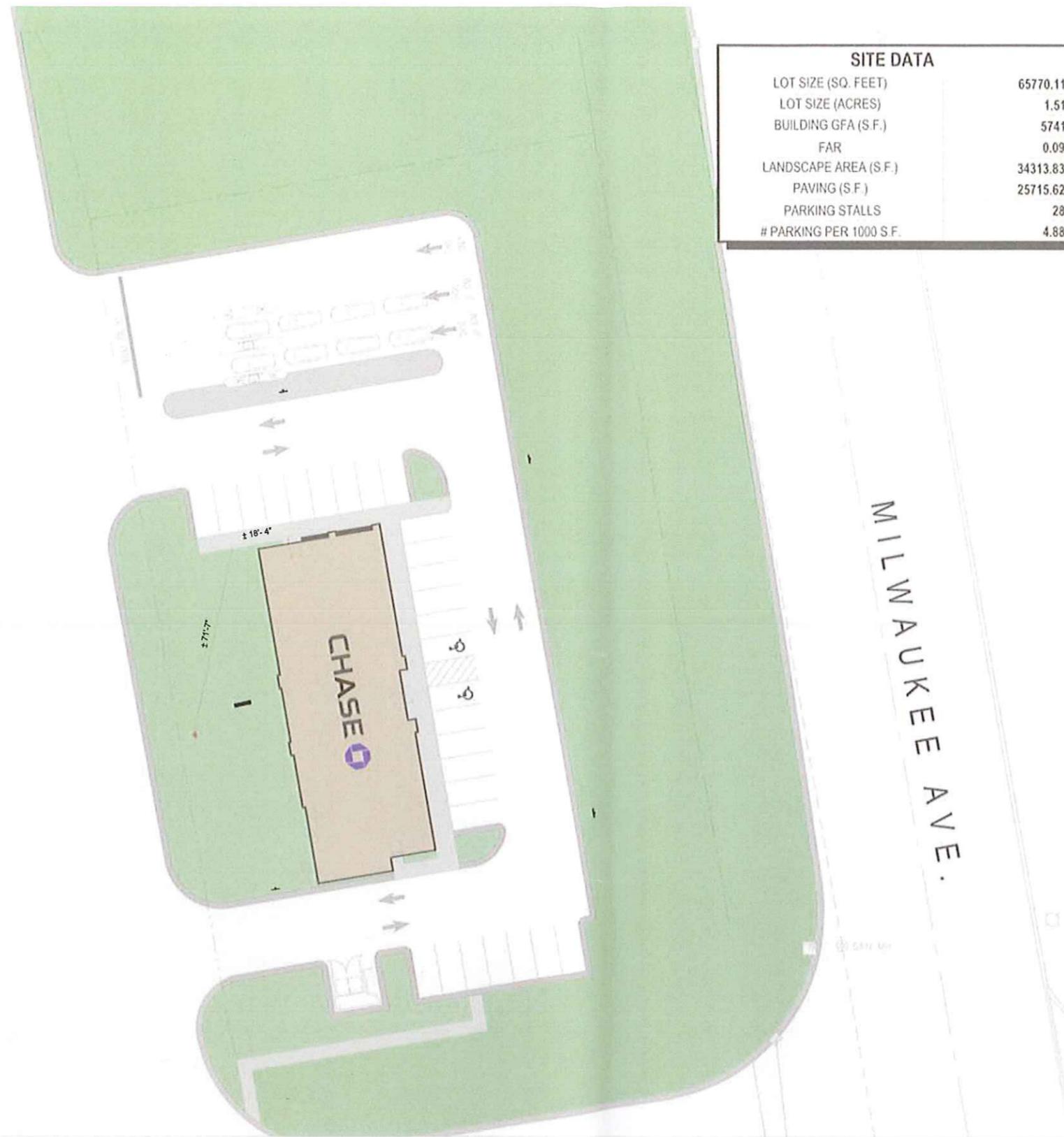
**V3** Engineers  
 Scientists  
 Surveyors  
 7325 Janes Avenue, Suite 100  
 Woodridge, IL 60517  
 630.724.9200 voice  
 630.724.0384 fax  
 v3co.com

PREPARED FOR  
**ROTHSCHILD, BARRY & MYERS**  
 150 SOUTH WACKER DRIVE, SUITE 3025  
 CHICAGO, IL 60606-4234  
 312-372-2345

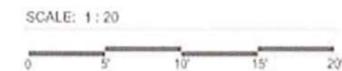
| REVISIONS |      | REVISIONS   |     |      |             |
|-----------|------|-------------|-----|------|-------------|
| NO.       | DATE | DESCRIPTION | NO. | DATE | DESCRIPTION |
|           |      |             |     |      |             |
|           |      |             |     |      |             |

**ALTA/NSPS LAND TITLE SURVEY**  
 CHASE, VERNON HILLS, ILLINOIS

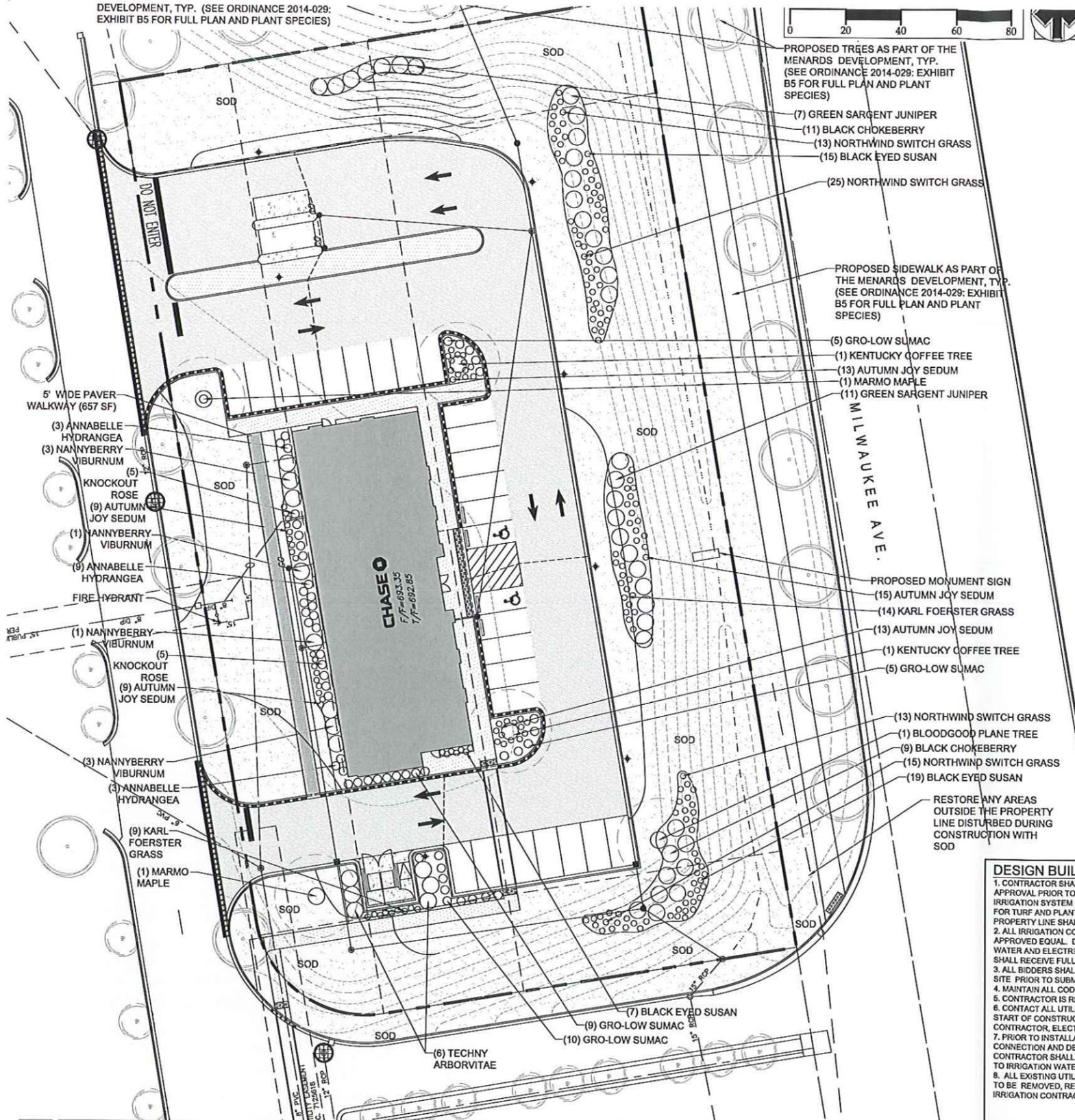
|                                |                 |                      |                         |
|--------------------------------|-----------------|----------------------|-------------------------|
| DRAFTING COMPLETED: 06-21-16   | DRAWN BY: MLP   | PROJECT MANAGER: AJS | Project No: 10068.CHASE |
| FIELD WORK COMPLETED: 09-08-14 | CHECKED BY: AJS | SCALE: 1" = 30'      | Group No: VP01.1        |
| SHEET NO.                      |                 |                      | 1 of 1                  |



| SITE DATA               |          |
|-------------------------|----------|
| LOT SIZE (SQ. FEET)     | 65770.11 |
| LOT SIZE (ACRES)        | 1.51     |
| BUILDING GFA (S.F.)     | 5741     |
| FAR                     | 0.09     |
| LANDSCAPE AREA (S.F.)   | 34313.83 |
| PAVING (S.F.)           | 25715.62 |
| PARKING STALLS          | 28       |
| # PARKING PER 1000 S.F. | 4.88     |



DEVELOPMENT, TYP. (SEE ORDINANCE 2014-029:  
EXHIBIT B5 FOR FULL PLAN AND PLANT SPECIES)



| Plant List                       |  |       |         |        |         |
|----------------------------------|--|-------|---------|--------|---------|
| SHADE TREES                      |  |       |         |        |         |
| COMMON NAME                      | BOTANICAL NAME   | QUANT | SIZE    | NATIVE |         |
| Marmo Maple                      | <i>Acer fraxinoides</i> "Marmo"                            | 2     | 3" BB   | No     |         |
| Kentucky Coffee Tree             | <i>Gymnocladia dioica</i>                                  | 2     | 3" BB   | Yes    |         |
| Bloodgood London Plane Tree      | <i>Platanus acerifolia</i> "Bloodgood"                     | 1     | 3" BB   | No     |         |
| 49% Native Species               |  |       |         |        |         |
| SHRUBS                           |  |       |         |        |         |
| COMMON NAME                      | BOTANICAL NAME   | QUANT | SIZE    | NATIVE | NOTES   |
| Black Chokeberry                 | <i>Aronia melanocarpa</i>                                  | 20    | 30" BB  | Yes    | 5' O.C. |
| Annabelle Hydrangea              | <i>Hydrangea arborescens</i> "Annabelle"                   | 15    | #5 CorL | Yes    | 4' O.C. |
| Green Sargent Juniper            | <i>Juniperus chinensis</i> var. <i>sargentii</i> "Viridis" | 18    | 30" BB  | No     | 5' O.C. |
| Gro-low Sumac                    | <i>Rhus aromatica</i> "Gro-Low"                            | 22    | #5 CorL | No     | 3' O.C. |
| Knockout Rose                    | <i>Rosa "Knockout"</i>                                     | 15    | #5 CorL | No     | 4' O.C. |
| Techny Arborvitae                | <i>Thuja occidentalis</i>                                  | 6     | 5" BB   | No     | 5' O.C. |
| Nannyberry Viburnum              | <i>Viburnum lentago</i>                                    | 8     | 30" BB  | Yes    | 5' O.C. |
| 41% Native Species               |  |       |         |        |         |
| PERENNIALS                       |  |       |         |        |         |
| COMMON NAME                      | BOTANICAL NAME   | QUANT | SIZE    | NATIVE | NOTES   |
| Karl Foerster Feather Reed Grass | <i>Calamagrostis canadensis</i> "Karl Foerster"            | 23    | #1 CorL | No     | 3' O.C. |
| Northwind Switch Grass           | <i>Panicum virgatum</i> "Northwind"                        | 66    | #1 CorL | Yes    | 3' O.C. |
| Black-eyed Susan                 | <i>Rudbeckia fulgida</i> "Goldstrum"                       | 44    | #1 CorL | Yes    | 2' O.C. |
| Autumn Joy Sedum                 | <i>Sedum spectabile</i> "Autumn Joy"                       | 59    | #1 CorL | No     | 2' O.C. |
| 57% Native Species               |  |       |         |        |         |

**LANDSCAPE GENERAL NOTES:**

1. ALL PLANT MATERIAL IS SUBJECT TO AVAILABILITY AND CORRECT SEASONAL PLANTING PROCEDURE. ANY AND ALL SUBSTITUTIONS REQUEST MUST BE SUBMITTED IN WRITING TO THE OWNER'S REPRESENTATIVE PRIOR TO ORDERING SUBSTITUTION MATERIALS.
2. ALL PLANTS SHALL RECEIVE MIN. 4" DEPTH OF SHREDDED HARDWOOD BARK MULCH COVER IN PLANTING BED, INCLUDING PERENNIAL PLANTINGS.
3. THE LANDSCAPE CONTRACTOR SHALL STAKE AND LAYOUT ALL INSTALLATIONS AND BEDS FOR APPROVAL BY OWNER'S REPRESENTATIVE. FAILURE TO RECEIVE REVIEW AND APPROVAL MAY BE CAUSE TO REQUIRE THE REMOVAL OF PLANTS AND REINSTALLATION AT NO ADDITIONAL COST TO THE OWNER.
4. THE CONTRACTOR SHALL SUPPLY LANDSCAPE PLANTING SOIL MIX FOR ALL PERENNIAL PLANTING BEDS TO CONSIST OF 1/3 TOPSOIL, 1/3 SAND AND 1/3 COMPOSTED MANURE OR "MUSHROOM COMPOST". THIS MIXTURE IS TO BE ROTOTILLED INTO THE SOIL A MINIMUM OF 8" THROUGHOUT THE BED. AFTER INSTALLATION MULCH AS SPECIFIED ABOVE. CONTRACTOR MUST ALSO WORK INTO SOIL TERRA-SORB HB AT A RATE PER THE MANUFACTURER'S RECOMMENDATION ALL SHRUB AND NON-IRRIGATED TREE AND PERENNIAL BEDS. SUBMIT MANUFACTURER'S LITERATURE FOR APPROVAL PRIOR TO IMPLEMENTATION.
5. PARKING LOT ISLAND SHALL HAVE A MINIMUM OF 24" OF TOPSOIL PER THE VILLAGE REQUIREMENT.
6. CONTRACTOR SHALL MEET ALL VILLAGE REQUIREMENTS SET FORTH IN THE VILLAGE CODE FOR THE REQUIREMENTS FOR ALL PLANTS AND THE INSTALLATION OF THE PLANTS.
7. ANY EXISTING TURF AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION SHALL BE RESTORED WITH SOD AS NECESSARY.

**LANDSCAPE CODE REQUIREMENTS:**

**TREE REQUIREMENTS**

- (1) 3" TREE FOR EVERY PARKING LOT ISLAND
- (5) PROPOSED PARKING LOT ISLAND AND (5) PROPOSED SHADE TREES

NOTE: PARKWAY TREE REQUIREMENT PROVIDED AS PART OF THE MENARDS DEVELOPMENT.

**GENERAL LANDSCAPE REQUIREMENTS**

ADEQUATE SCREENING OF PARKING, DRIVES, LOADING AREAS, REFUSE AREAS AND LARGE EXPANSES OF WALLS FROM ADJACENT USES.

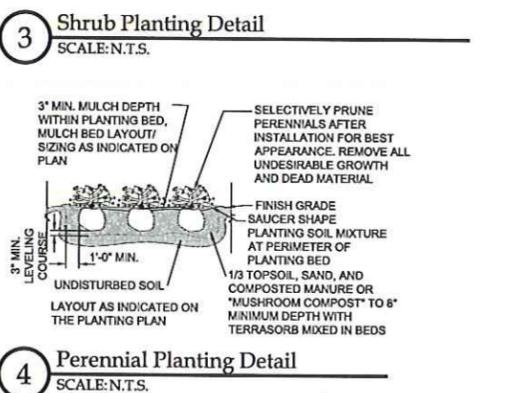
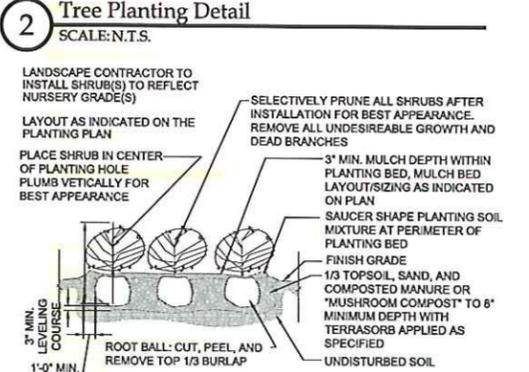
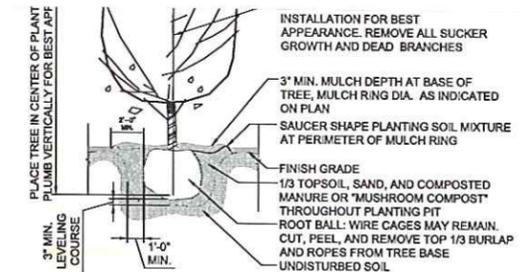
- (6) TECHNY ARBORVITAE AND (9) ORNAMENTAL GRASSES PROVIDED TO SCREEN TRASH ENCLOSURE.
- (38) SHRUBS AND (18) PERENNIALS PROVIDED TO SOFTEN WEST BUILDING FOUNDATION.
- (38) SHRUBS, (80) ORNAMENTAL GRASSES AND (49) PERENNIALS PROVIDED ALONG THE NORTH, EAST AND SOUTH PARKING LOT TO SCREEN AND SOFTEN THE PARKING LOT EDGE.
- MINIMUM OF 40% OF EACH PLANT TYPE SHALL BE NATIVE, THIS REQUIREMENT IS MET. SEE PLANT LIST.

**ALTERNATIVE PAVING MATERIAL**

2,787 SF OF INTERIOR SIDEWALKS PROPOSED X 20% = 557.4 SF REQUIRED. PROPOSED 5' SIDEWALK ON WEST SIDE OF THE BUILDING PROVIDES 657 SF. PAVERS SHALL BE UNILOCK OR APPROVED EQUAL. PAVER WALK SHALL HAVE A SOLDIER COURSE OF 6"x12" IL CAMPO PAVER IN HERITAGE BROWN AND INFILLED WITH HOLLAND PREMIER PAVERS IN RIVER COLOR IN HERRINGBONE PATTERN (PARALLEL TO THE SOLDIER COURSE).

**DESIGN BUILD GENERAL IRRIGATION NOTES**

1. CONTRACTOR SHALL SUPPLY COMPLETE DESIGN/BUILD DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ORDERING ANY MATERIALS OR COMMENCING ANY WORK. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO HAVE SEPARATE SPRAY HEADS AND ZONES FOR TURF AND PLANTING BED AREAS. ALL TURF AND LANDSCAPE BEDS WITHIN THE PROPERTY LINE SHALL BE IRRIGATED.
2. ALL IRRIGATION CONTROLLERS, HEADS AND LINES SHALL BE HUNTER, RAIN BIRD OR APPROVED EQUAL. DESIGN IS RESPONSIBLE FOR ALL SCHEDULE 80 SLEEVES FOR WATER AND ELECTRIC LINES UNDER PAVEMENT. ALL SLEEVES UNDER PAVEMENTS SHALL RECEIVE FULL DEPTH PIPE BEDDING BACKFILL.
3. ALL BIDDERS SHALL VISIT AND REVIEW THE SITE AND FAMILIAR THEMSELVES WITH THE SITE PRIOR TO SUBMITTING A BID.
4. MAINTAIN ALL CODES REQUIRED BY THE LOCAL MUNICIPALITY.
5. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING AND ACQUIRING ALL PERMITS.
6. CONTACT ALL UTILITIES AND GENERAL CONTRACTOR AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION. COORDINATE ELECTRICAL HOOKUP WITH GENERAL CONTRACTOR, ELECTRICIAN AND OWNER.
7. PRIOR TO INSTALLATION, FIELD TEST THE SYSTEM PRESSURE AT THE POINT OF CONNECTION AND DESIGN/BUILD THE SYSTEMS BASED ON THAT PRESSURE. IRRIGATION CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR CONNECTION TO IRRIGATION WATER SUPPLY.
8. ALL EXISTING UTILITIES WHICH ARE NOT SHOWN ON THESE DOCUMENTS WHICH NEED TO BE REMOVED, RELOCATED AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR.
9. CONTRACTOR TO PROVIDE AN 1" WATER METER, RPZ, BALL VALVE AND BLOW OUT TAP NEAR THE IRRIGATION CONTROLLER LOCATION. THE CONTROLLER SHALL BE PLACED IN THE UTILITY ROOM. EXACT LOCATION SHOULD BE COORDINATED WITH THE PLUMBING PLAN.
10. SLEEVE UNDER ROAD, WALLS, PAVERS, AND DRIVES -SLEEVE WIRE AND PIPING SEPARATELY, ALL 24 VOLT WIRING TO BE SLEEVED IN A MINIMUM 2" SLEEVE.
11. MAINLINE PIPING SHALL BE INSTALLED AT MINIMUM DEPTH OF 12". LATERAL LINES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 12".
12. INSTALL ALL PIPING AND FITTINGS USING GLUE METHODS CONSISTENT WITH MANUFACTURERS RECOMMENDATIONS.
13. CAP OR PLUG ALL OPENINGS AS SOON AS LINES ARE INSTALLED TO PREVENT DEBRIS IN THE LINE.
14. ALL VALVES ARE TO BE INDIVIDUALLY WIRED AT THE CONTROLLER.
15. ALL GASKETED PRESSURE PIPE AND FITTINGS SHALL BE THRUST BLOCKED.
16. INSTALL WIRES A MIN. OF 10" BELOW GRADE. SPLICES ARE NOT ALLOWED IN THE TRENCH. -PROVIDE A 24" EXPANSION LOOP AT EACH CHANGE IN DIRECTION. -WIRES SHALL BE BUNDLED AND TAPED EVERY 15 FEET.
17. THOROUGHLY FLUSH ALL LINES PRIOR TO THE OPERATION OF SPRINKLER HEADS.
18. THE IRRIGATION SYSTEM SHALL BE TESTED AT OPERATING PRESSURE FOR A MINIMUM OF 4 HOURS. REPAIR ALL LEAKS AND RETEST AFTER CURING. UPON COMPLETION OF TEST, COMPLETE ASSEMBLY OF ALL EQUIPMENT AND SPRINKLERS FOR PROPER DISTRIBUTION.
21. CONTRACTOR SHALL BE REQUIRED TO START-UP AND REVIEW THE SYSTEM CONTROLS WITH THE OWNER AFTER INSTALLATION IS COMPLETED.
22. CONTRACTOR SHALL BE REQUIRED TO WINTERIZE THE SYSTEM AT THE END OF THE SEASON WITH THE OWNER PRESENT.
23. PROVIDE "AS BUILT" DRAWINGS SHOWING ALL COMPONENTS OF THE SYSTEM PRIOR TO FINAL PAYMENT. PROVIDE FINAL GPM OF ZONES, WIRE RUNS, HEADS, VALVES, PIPE SIZES ETC.



LANDSCAPE ARCHITECT

312 design studio  
829 N. BARRON BLVD.  
CHICAGO, IL 60610  
312.223.1891  
info@312designstudio.com

DANIEL D. DALZIEL, REGISTERED LICENSED ARCHITECT & LANDSCAPE ARCHITECT  
LICENSE # 157-000543  
9.26.2016  
DATE

**CHASE**  
LIBERTYVILLE MILWAUKEE RELO  
Lot 2 - Gregg's Landing North Commercial  
Vernon Hills, Illinois

**LANDSCAPE PLAN  
AND DETAILS**  
9.26.2016

Architect/Designer  
The Architects Partnership  
122 South Michigan Avenue  
Chicago, IL 60603  
t: 312.583.9800  
f: 312.583.9890  
TAP Project Number: 15181



# CHASE BANK

## 1860 N. MILWAUKEE AVENUE

### VERNON HILLS, ILLINOIS

ORDINANCE 2017-001 EXHIBIT B – 4 Proposed Engineering Plans prepared by Gewalt Hamilton Associates, Inc with a date of October 14, 2016 and consisting of 12 pages.

#### STANDARD SYMBOLS

| FEATURE                     | EXISTING | PROPOSED |
|-----------------------------|----------|----------|
| BUFFALO BOX                 |          |          |
| BUSH/SHRUB                  |          |          |
| CATCH BASIN                 |          |          |
| CLEANOUT                    |          |          |
| COMBINE SEWER LINE          |          |          |
| CONTOUR                     |          |          |
| CULVERT                     |          |          |
| DITCH/SWALE                 |          |          |
| ELECTRIC LINE               |          |          |
| ELECTRIC MANHOLE            |          |          |
| FENCE                       |          |          |
| FIRE HYDRANT                |          |          |
| FLARED END SECTION          |          |          |
| GAS LINE                    |          |          |
| GAS MANHOLE                 |          |          |
| GAS VALVE                   |          |          |
| INLET                       |          |          |
| LIGHT POLE                  |          |          |
| OVERHEAD WIRES              |          |          |
| POWER POLE                  |          |          |
| R.O.W LINE                  |          |          |
| R.O.W MARKER                |          |          |
| SANITARY FORCEMAIN LINE     |          |          |
| SANITARY SEWER LINE         |          |          |
| SANITARY SEWER MANHOLE      |          |          |
| SIGN                        |          |          |
| SPOT ELEVATION              |          |          |
| STORM SEWER LINE            |          |          |
| STORM SEWER MANHOLE         |          |          |
| TELEPHONE LINE              |          |          |
| TELEPHONE MANHOLE           |          |          |
| TELEPHONE BOX/PEDESTAL      |          |          |
| TREE-CONIFEROUS (SIZE/TAG#) |          |          |
| TREE-DECIDUOUS (SIZE/TAG#)  |          |          |
| VALVE BOX                   |          |          |
| VALVE VAULT                 |          |          |
| WATER VALVE                 |          |          |
| WATERMAIN LINE              |          |          |

EXISTING CONDITIONS TOPOGRAPHY AND PROPERTY LINES WERE PERFORMED BY V3 COMPANIES.

**EXISTING UTILITIES:** WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER IN RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. HE SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES, DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.

CONTRACTOR IS RESPONSIBLE FOR CONTACTING J.U.L.I.E. AT 1-800-892-0123 AND MUST ACQUIRE A DIG NUMBER A MINIMUM OF 72 HOURS PRIOR TO ANY WORK BEING DONE.

J.U.L.I.E.

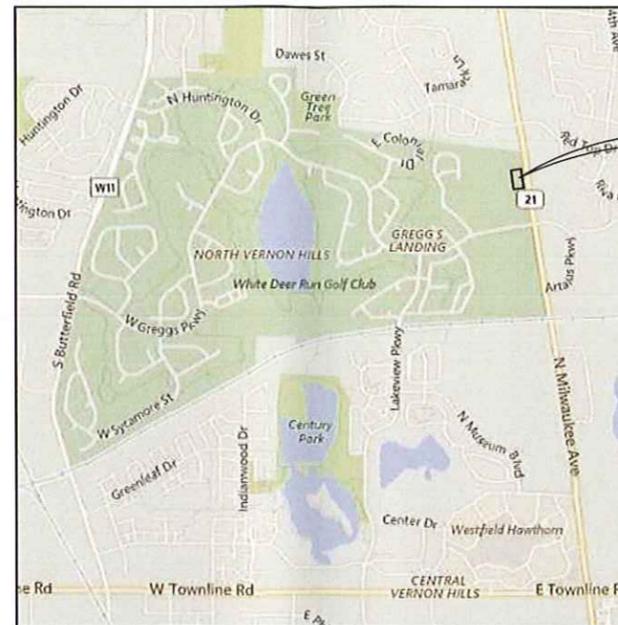
JOINT UTILITY LOCATION INFORMATION FOR EXCAVATION CALL 811



Know what's below. Call before you dig.

NOTE: CONSTRUCTION MEANS, METHODS AND JOB SITE SAFETY IS THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR

#### LOCATION MAP



**PROJECT LOCATION**  
1860 N. MILWAUKEE AVENUE  
VERNON HILLS, ILLINOIS

#### PREPARED FOR:

J.P. MORGAN CHASE, NA.  
CHASE TOWER  
CHICAGO, IL 60657

#### TOPOGRAPHIC SURVEY BY:

Gewalt Hamilton Associates, Inc.  
625 Forest Edge Drive  
Vernon Hills, Illinois 80061  
Telephone: 847-478-9700

#### COORDINATING/PERMITTING AGENCIES:

Lake County Public Works  
-Project Engineer: Heather Galan

847-377-7500  
847-377-7141

#### SHEET INDEX

1. TITLE SHEET
2. EXISTING CONDITIONS / DEMOLITION PLAN
3. GEOMETRIC PLAN
4. GRADING PLAN
5. UTILITY PLAN
6. SOIL EROSION AND SEDIMENT CONTROL PLAN
7. SOIL EROSION AND SEDIMENT CONTROL NOTES
8. GENERAL NOTES
9. DETAILS
10. DETAILS
11. DETAILS
12. DETAILS

**NOT FOR CONSTRUCTION**

**GHA GEWALT HAMILTON ASSOCIATES, INC.**  
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TEL 847.478.9700 ■ FAX 847.478.9701

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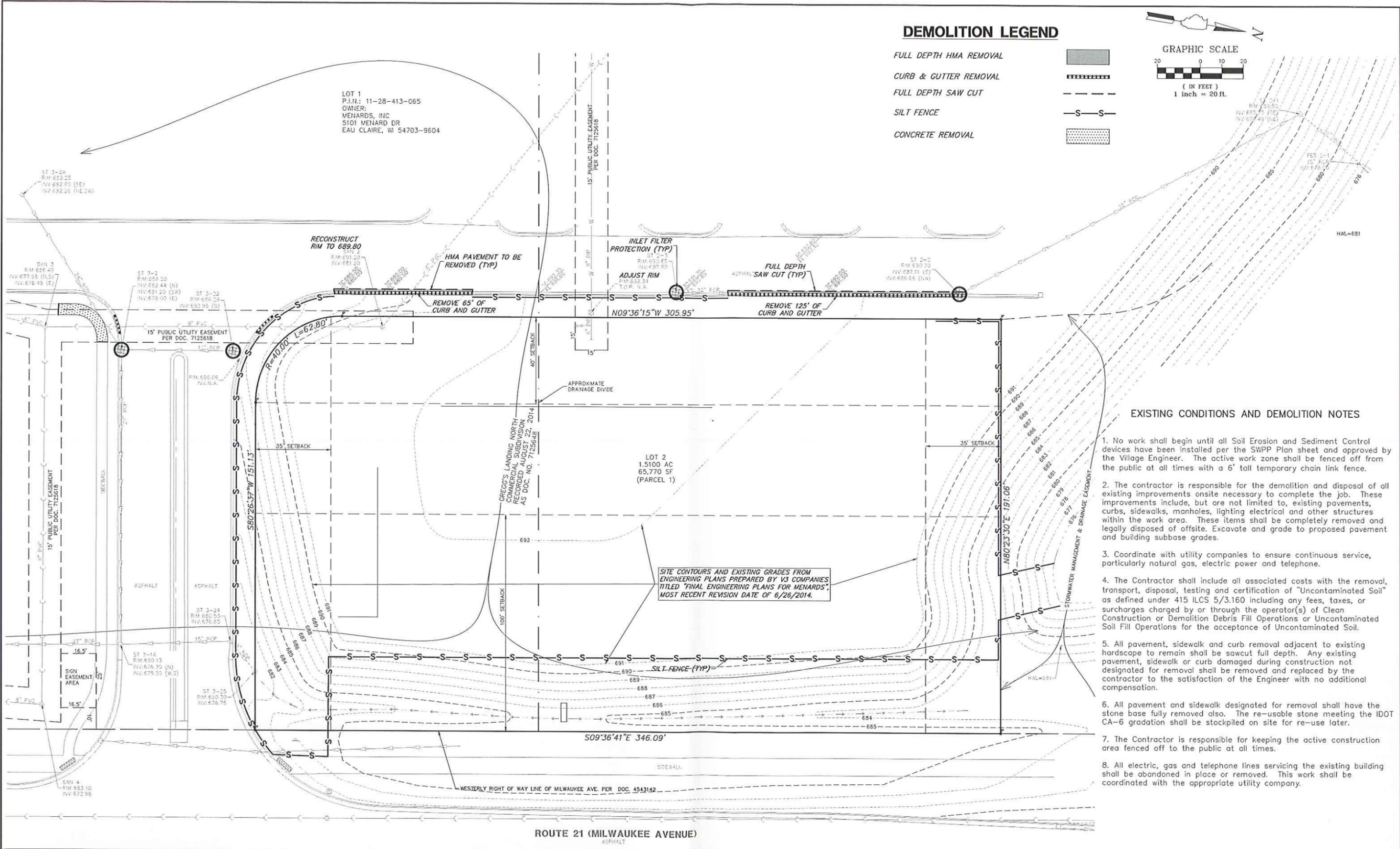
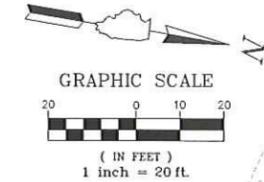
#### TITLE SHEET

CHASE BANK  
1860 N. MILWAUKEE AVENUE  
VERNON HILLS, ILLINOIS

|                                   |                           |
|-----------------------------------|---------------------------|
| FILE: 4800.016_DTI.dwg            | SHEET NUMBER:             |
| DRAWN BY: PJS<br>DATE: 08.15.16   | GHA PROJECT #<br>4800.016 |
| CHECKED BY: SOB<br>DATE: 08.15.16 | SCALE:<br>N.T.S.          |
| 1 OF 12 SHEETS                    | 1                         |

### DEMOLITION LEGEND

- FULL DEPTH HMA REMOVAL 
- CURB & GUTTER REMOVAL 
- FULL DEPTH SAW CUT 
- SILT FENCE 
- CONCRETE REMOVAL 



### EXISTING CONDITIONS AND DEMOLITION NOTES

1. No work shall begin until all Soil Erosion and Sediment Control devices have been installed per the SWPP Plan sheet and approved by the Village Engineer. The active work zone shall be fenced off from the public at all times with a 6' tall temporary chain link fence.
2. The contractor is responsible for the demolition and disposal of all existing improvements onsite necessary to complete the job. These improvements include, but are not limited to, existing pavements, curbs, sidewalks, manholes, lighting electrical and other structures within the work area. These items shall be completely removed and legally disposed of offsite. Excavate and grade to proposed pavement and building subbase grades.
3. Coordinate with utility companies to ensure continuous service, particularly natural gas, electric power and telephone.
4. The Contractor shall include all associated costs with the removal, transport, disposal, testing and certification of "Uncontaminated Soil" as defined under 415 ILCS 5/3.160 including any fees, taxes, or surcharges charged by or through the operator(s) of Clean Construction or Demolition Debris Fill Operations or Uncontaminated Soil Fill Operations for the acceptance of Uncontaminated Soil.
5. All pavement, sidewalk and curb removal adjacent to existing hardscape to remain shall be sawcut full depth. Any existing pavement, sidewalk or curb damaged during construction not designated for removal shall be removed and replaced by the contractor to the satisfaction of the Engineer with no additional compensation.
6. All pavement and sidewalk designated for removal shall have the stone base fully removed also. The re-usable stone meeting the IDOT CA-6 gradation shall be stockpiled on site for re-use later.
7. The Contractor is responsible for keeping the active construction area fenced off to the public at all times.
8. All electric, gas and telephone lines servicing the existing building shall be abandoned in place or removed. This work shall be coordinated with the appropriate utility company.

**GHA GEWALT HAMILTON ASSOCIATES, INC.**  
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 TEL 847.478.9700 ■ FAX 847.478.9701

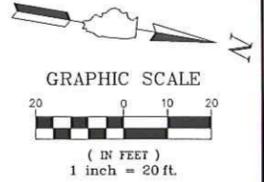
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**EXISTING CONDITIONS/DEMOLITION PLAN**  
**CHASE BANK**  
**1860 N. MILWAUKEE AVENUE**  
**VERNON HILLS, ILLINOIS**

| NO. | BY  | DATE     | REVISION                              | NO. | BY | DATE | REVISION |
|-----|-----|----------|---------------------------------------|-----|----|------|----------|
| 1   | CST | 10/14/16 | UPDATE PER VILLAGE AND COUNTY COMMENT |     |    |      |          |

|                            |               |
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| DATE: 08.15.16             | 4800.016      |
| CHECKED BY: SDB            | SCALE:        |
| DATE: 08.15.16             | 1"=20'        |
|                            | OF 12 SHEETS  |

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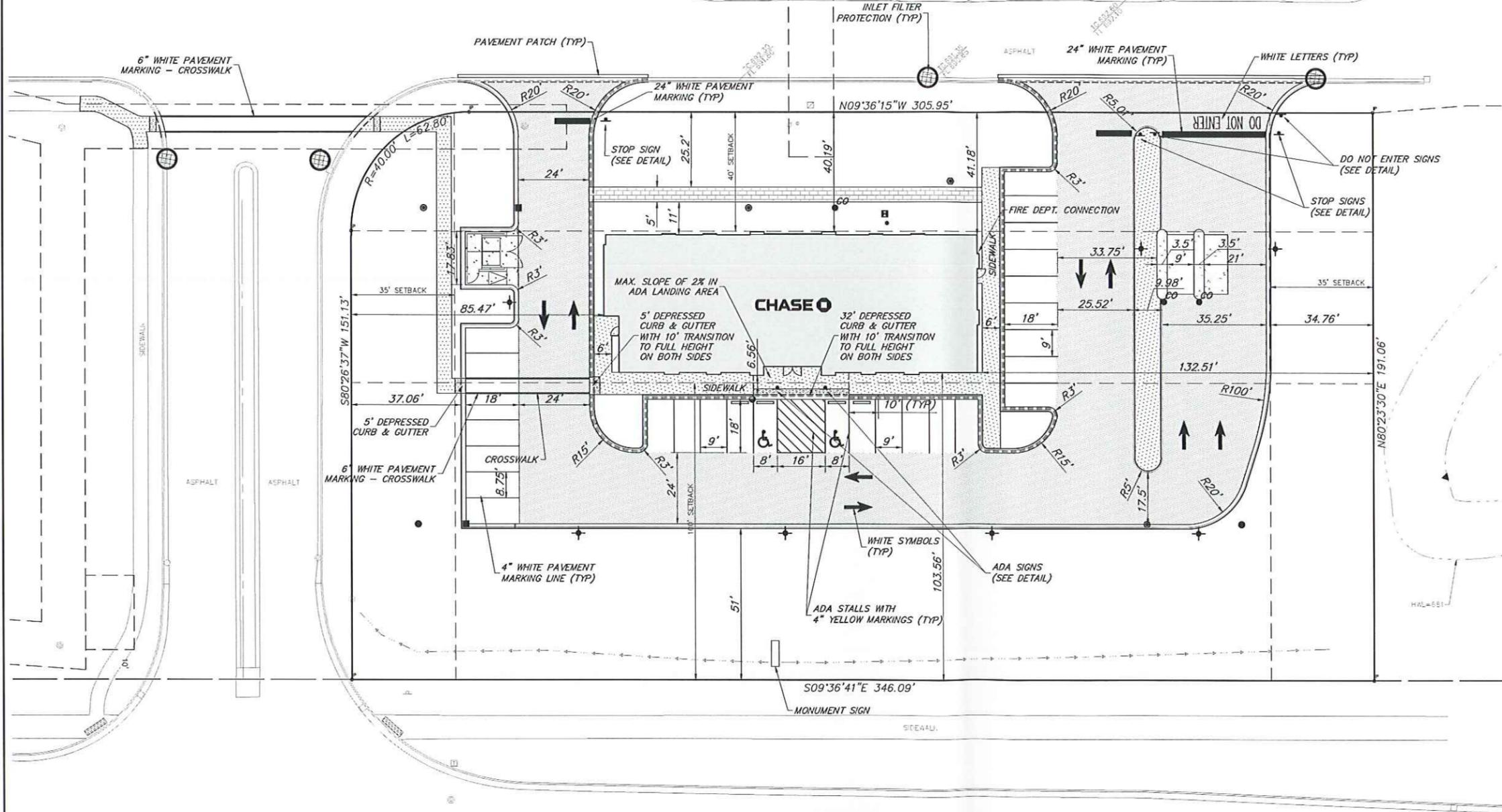


**GEOMETRIC LEGEND**

- HMA PAVEMENT PATCH  
*See Detail*
- HMA PAVEMENT - HEAVY DUTY  
2" Surface Course (HMA Mix "D", N50)  
2.5" Binder Course (HMA IL-19, N50)  
10" Aggregate Base Course - CA-6 Crushed
- HMA PAVEMENT - STANDARD DUTY  
1.75" Surface Course (HMA Mix "D", N50)  
2.25" Binder Course (HMA IL-19, N50)  
8" Aggregate Course - CA-6 Crushed
- PCC PAVEMENT  
8" P.C. Concrete Pavement  
4" Aggregate Base Course - CA-6 Crushed
- PCC SIDEWALK  
*See Detail*
- BRICK PAVER
- B6.12 CURB & GUTTER  
*See Detail*
- DEPRESSED CURB & GUTTER  
*See Detail*
- B6.12 CURB & GUTTER, PITCH OUT  
*See Detail*
- ADA DETECTIBLE WARNINGS

**GEOMETRIC & PAVING PLAN NOTES**

1. All linear dimensions are to edge of pavement and all radii dimensions are to edge of pavement unless otherwise noted.
2. Subgrade soils shall be compacted to 95% Modified Proctor density unless otherwise noted. Base course stone and trench backfill shall be compacted to 95% Modified Proctor density unless otherwise noted. Topsoil shall be compacted to 80% Standard Proctor.
3. Install all curb and sidewalk as shown. New sidewalk shall have a minimum 1% and maximum 5% longitudinal slope. All cross slopes shall be a maximum of 2%. Dowel all sidewalk to adjacent curb, buildings and existing sidewalk as shown on the sidewalk detail.
4. Upon rough grading and compaction of subgrade to the specified density contractor to place 6" of topsoil, fine grade and compact. All disturbed areas shall be restored with sod. Sod shall closely match the IDOT specifications for class 1 seed. The contractor shall be responsible for watering the restored area per IDOT specifications for a duration of 60 days prior to owner final restoration review and acceptance. If restoration has not shown a "catch" or uniform stand, the contractor shall resod until a uniform stand is achieved.
5. The contractor shall import or export soil as necessary to construct the site to specified plan grades. Such work is considered incidental to the contract and no additional compensation shall be allowed for such work.
6. Crushed Concrete is not permitted for use in the Village for trench backfill or subbase.
7. Once restoration is completed the contractor shall be responsible for the removal of all silt fence, construction fence and inlet filter baskets. Silt fence trenches shall be restored per note 4 above.
8. Truncated Dome Detectable Warnings shall be pre-cast tiles per Village Exhibit No. 30. Panels shall be Brick-Red in color.
9. Pavement marking color shall be as specified or as directed by the Engineer. All pavement markings shall be thermoplastic.
10. Contractor shall refer to the architectural plans for exact locations and dimensions of vestibules, sidewalks, exit porches, precise building dimensions and exact building utility entrance locations.
11. Refer to architectural plans for site lighting and electrical plans.



ROUTE 21 (MILWAUKEE AVENUE)

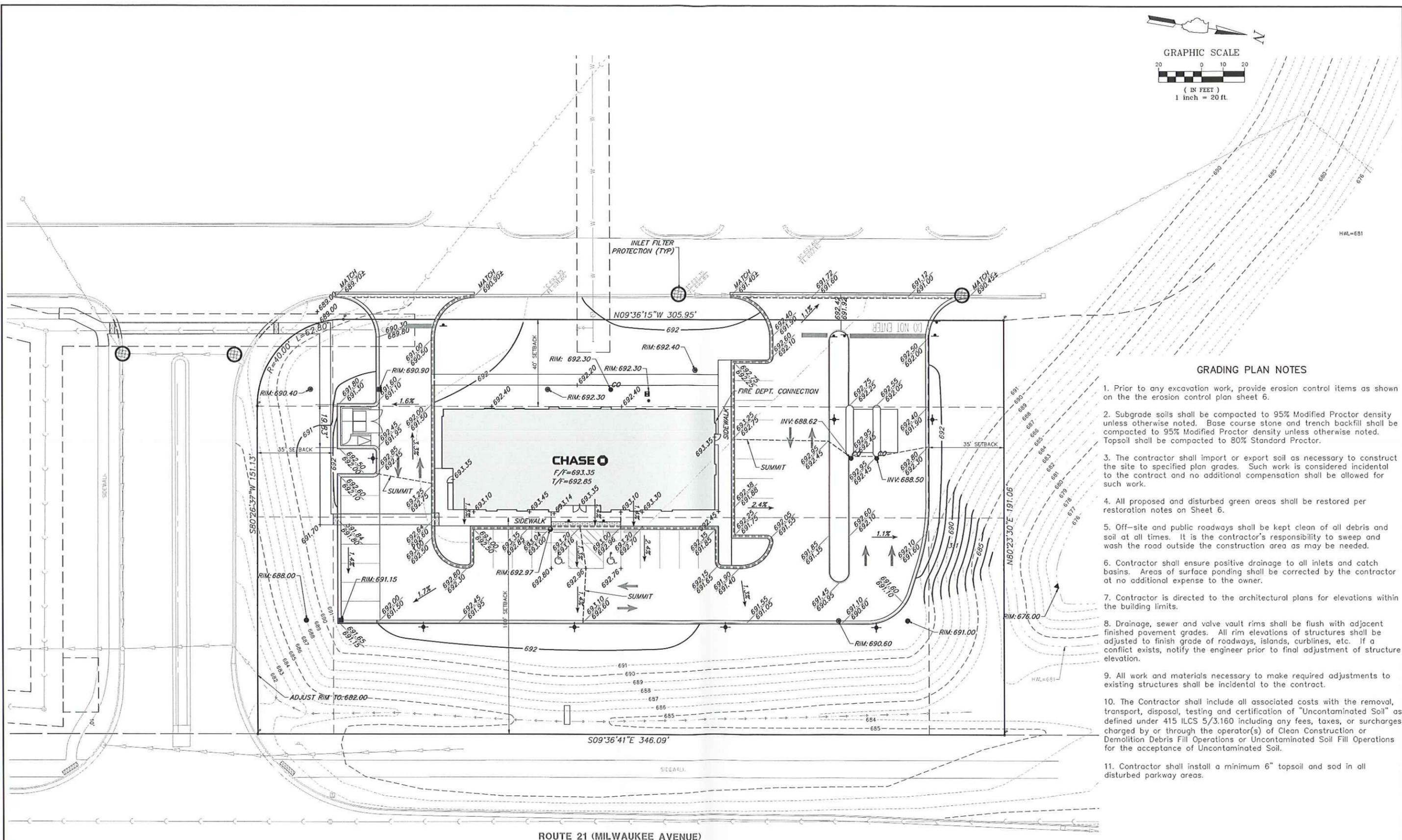
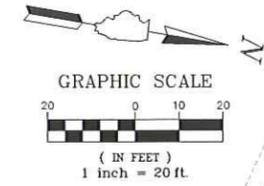
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**GEOMETRIC PLAN**  
**CHASE BANK**  
**1860 N. MILWAUKEE AVENUE**  
**VERNON HILLS, ILLINOIS**

| NO. | BY  | DATE     | REVISION                              | NO. | BY | DATE | REVISION |
|-----|-----|----------|---------------------------------------|-----|----|------|----------|
| 1   | CST | 10/14/16 | UPDATE PER VILLAGE AND COUNTY COMMENT |     |    |      |          |

|                           |                        |
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| DRAWN BY: PJS             | <b>3</b>               |
| DATE: 08.15.16            | GHA PROJECT # 4800.016 |
| CHECKED BY: SDB           | SCALE: 1"=20'          |
| DATE: 08.15.16            | OF 12 SHEETS           |



**GRADING PLAN NOTES**

1. Prior to any excavation work, provide erosion control items as shown on the the erosion control plan sheet 6.
2. Subgrade soils shall be compacted to 95% Modified Proctor density unless otherwise noted. Base course stone and trench backfill shall be compacted to 95% Modified Proctor density unless otherwise noted. Topsoil shall be compacted to 80% Standard Proctor.
3. The contractor shall import or export soil as necessary to construct the site to specified plan grades. Such work is considered incidental to the contract and no additional compensation shall be allowed for such work.
4. All proposed and disturbed green areas shall be restored per restoration notes on Sheet 6.
5. Off-site and public roadways shall be kept clean of all debris and soil at all times. It is the contractor's responsibility to sweep and wash the road outside the construction area as may be needed.
6. Contractor shall ensure positive drainage to all inlets and catch basins. Areas of surface ponding shall be corrected by the contractor at no additional expense to the owner.
7. Contractor is directed to the architectural plans for elevations within the building limits.
8. Drainage, sewer and valve vault rims shall be flush with adjacent finished pavement grades. All rim elevations of structures shall be adjusted to finish grade of roadways, islands, curblines, etc. If a conflict exists, notify the engineer prior to final adjustment of structure elevation.
9. All work and materials necessary to make required adjustments to existing structures shall be incidental to the contract.
10. The Contractor shall include all associated costs with the removal, transport, disposal, testing and certification of "Uncontaminated Soil" as defined under 415 ILCS 5/3.160 including any fees, taxes, or surcharges charged by or through the operator(s) of Clean Construction or Demolition Debris Fill Operations or Uncontaminated Soil Fill Operations for the acceptance of Uncontaminated Soil.
11. Contractor shall install a minimum 6" topsoil and sod in all disturbed parkway areas.

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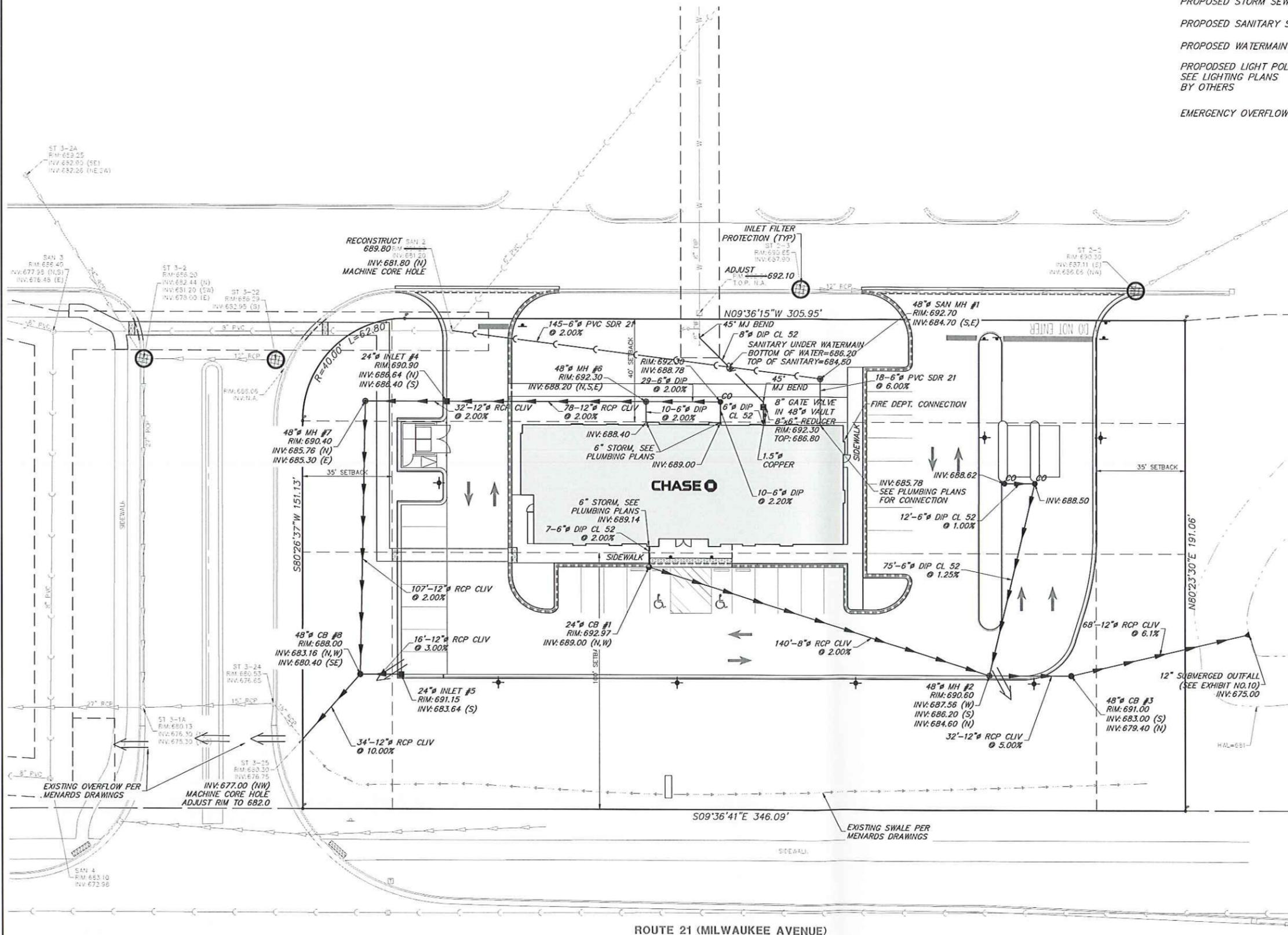
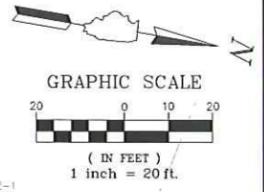
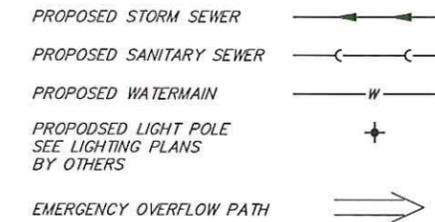
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**GRADING PLAN**  
**CHASE BANK**  
**1860 N. MILWAUKEE AVENUE**  
**VERNON HILLS, ILLINOIS**

| NO. | BY  | DATE     | REVISION                              | NO. | BY | DATE | REVISION |
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| 1   | CST | 10/14/16 | UPDATE PER VILLAGE AND COUNTY COMMENT |     |    |      |          |

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| DATE: 08.15.16             | CHA PROJECT # |
|                            | 4800.016      |
| CHECKED BY: SDB            | SCALE:        |
| DATE: 08.15.16             | 1"=20'        |
|                            | OF 12 SHEETS  |

**UTILITY LEGEND**



**UTILITY PLAN NOTES**

1. Close up all excavations at the close of work each day. No excavations can be left open during non-work hours unless excavations are fenced and locked from the public.
2. The contractor shall verify the exact location and elevation of existing utilities prior to initiating work or ordering materials. Any discrepancies found between the information noted on the plans and actual field conditions, or any conflicts with proposed improvements shall be reported to the engineer immediately. The contractor shall not proceed any further until given written clarification on how to proceed.
3. Storm sewer construction shall begin at the downstream manhole.
4. Refer to the Village of Vernon Hills general notes for all frame requirements
5. Refer to MEP plans for location and exit elevations for all building services.
6. Contractor shall include any replacement cone, barrel sections, etc. as required to complete any structure rim adjustment.
7. All water main shall be DIP CL 52, push on joints, ANSI A21.51 (AWWA C151).
8. Storm Sewers shall be as noted on the plans, RCP Class IV with o-ring joints, ASTM C-443 or DIP CL 52, push on joints, ANSI A21.51 (AWWA C151). All connections to existing manholes shall be machine cored and have a watertight boot installed per ASTM C923. All storm sewer connections of dissimilar pipe materials and sizes shall be joined with an appropriate mission coupling. Shear couplings will not be allowed.
9. Proposed connections to the existing sanitary sewer shall be water tight per ASTM C923.
10. All blind sewer connections shall be constructed with an appropriate wye fitting.
11. The Contractor shall include all associated costs with the removal, transport, disposal, testing and certification of "Uncontaminated Soil" as defined under 415 ILCS 5/3.160 including any fees, taxes, or surcharges charged by or through the operator(s) of Clean Construction or Demolition Debris Fill Operations or Uncontaminated Soil Fill Operations for the acceptance of Uncontaminated Soil.
12. Lake County Public Works Department is the owner and operator of the sanitary sewer and watermain. As such, they should be given a 48 hour notice before any construction on the sanitary sewer or watermain.
13. All new open lid storm structures shall be required to have inlet protection devices installed immediately after installation.

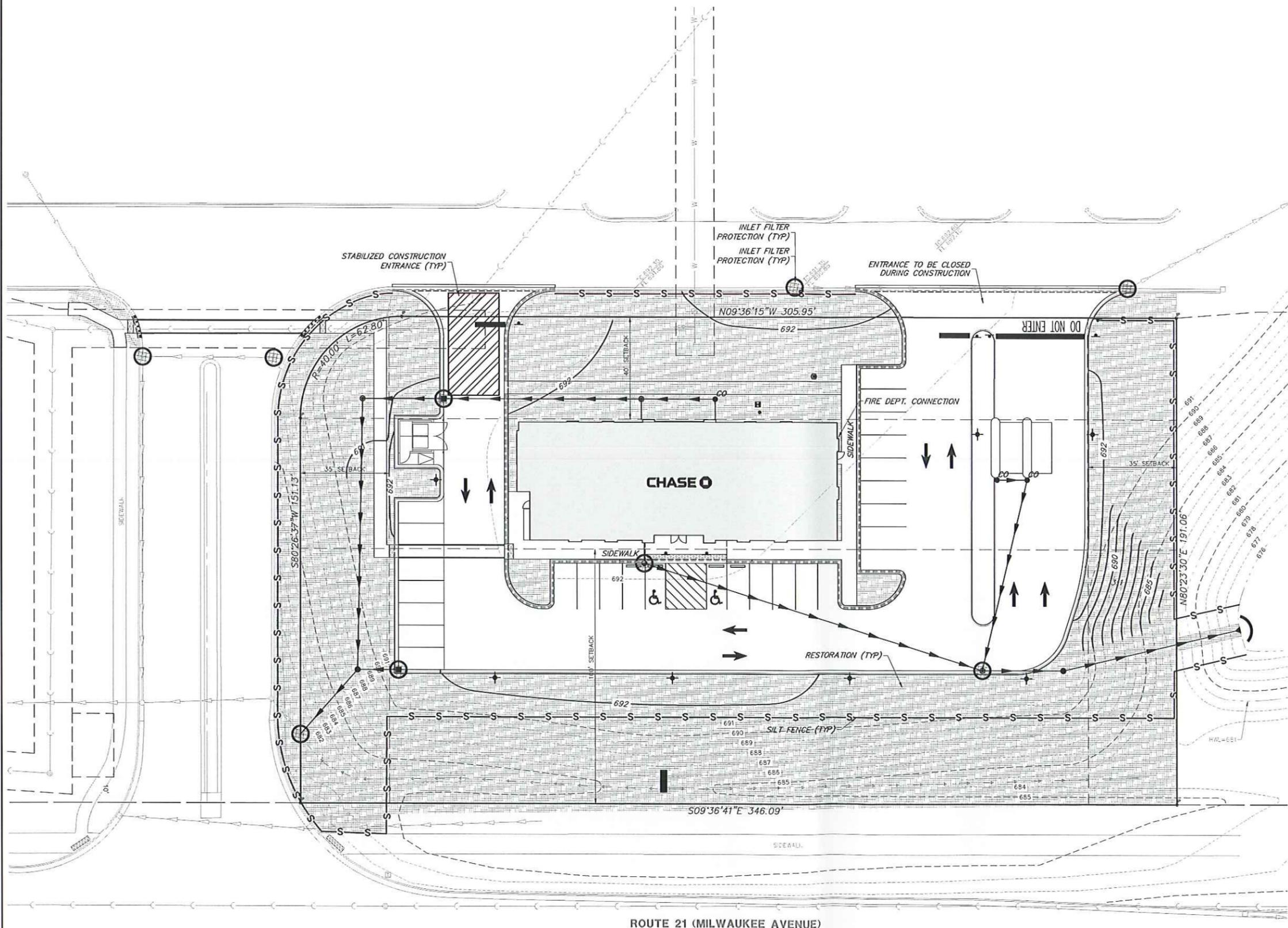
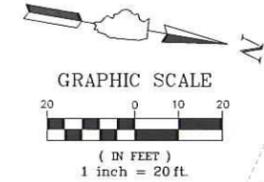
**GHA GEWALT HAMILTON ASSOCIATES, INC.**  
 625 Forest Edge Drive ■ Vernon Hills, IL, 60061  
 TEL 847.478.9700 ■ FAX 847.478.9701

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**UTILITY PLAN**  
**CHASE BANK**  
 1860 N. MILWAUKEE AVENUE  
 VERNON HILLS, ILLINOIS

| NO. | BY  | DATE     | REVISION                              |
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| FILE 4800.016_FR1_CST.dwg        | SHEET NUMBER    |
| DRAWN BY: PJS<br>DATE 08.15.16   | 5               |
| GHA PROJECT #<br>4800.016        | OF 12 SHEETS    |
| CHECKED BY: SDB<br>DATE 08.15.16 | SCALE<br>1"=20' |



**LEGEND**

- RESTORATION  
SEE LANDSCAPE PLANS
- STORM SEWER INLET PROTECTION:  
INLET FILTER BASKET
- SILT FENCE
- STABILIZED CONSTRUCTION  
ENTRANCE
- SAND BAG COFFERDAM

**EROSION NOTES**

1. Prior to construction, the contractor shall provide soil erosion control devices as shown and outlined on this sheet.
2. The contractor is responsible for the demolition and disposal of all existing improvements onsite necessary to complete the job. These improvements include, but are not limited to, existing brush, trees, stumps, logs, concrete, gravel, dirt or asphalt encountered within the work limits or within the stockpile. These items shall be completely removed and legally disposed of offsite. No burying of fill will be permitted.
3. Clear brush and trees within work zone as shown on the landscape architect plan.
4. Refer to sheet 7 for detailed sequence of major activities.
5. Temporary seeding, mulching, and installation of erosion control blankets will be required on all disturbed earth drainage areas. The contractor shall have sufficient quantities of NAG S-75 erosion control blanket on-site at all times to immediately cover disturbed areas. This blanket will need to be removed prior to final grading and sodding. Reference Landscape Architect plan.
6. The contractor shall be responsible for restoration to all areas disturbed, including the construction access.
7. Erosion control devices shall remain in place until final site stabilization has been approved by the Village Engineer.

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**SOIL EROSION AND SEDIMENT CONTROL PLAN**

**CHASE BANK**  
 1860 N. MILWAUKEE AVENUE  
 VERNON HILLS, ILLINOIS

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| DRAWN BY: PJS<br>DATE: 08.15.16   | GHA PROJECT #<br>4800.016 |
| CHECKED BY: SDB<br>DATE: 08.15.16 | SCALE:<br>1"=20'          |
| OF 12 SHEETS                      |                           |

**SEQUENCE OF MAJOR ACTIVITIES**

1. INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES.
  - ORANGE CONSTRUCTION FENCING AND/OR SILT FENCE AROUND WETLANDS AND OTHER AREAS NOT TO BE DISTURBED.
  - PERIMETER SILT FENCE.
  - STABILIZED CONSTRUCTION ENTRANCE WITH WASH RACK.
  - INLET PROTECTION ON EXISTING STRUCTURES CLOSE TO THE DISTURBED AREA.
2. QUALIFIED PERSONNEL (PROVIDED BY OWNER) PERFORMS WEEKLY AND "AFTER RAIN EVENT" INSPECTIONS STARTING UPON DISTURBANCE OF THE SITE (DEMOLITION OR INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES).
3. ABANDON/REMOVE THE EXISTING SITE STORM SEWER PIPES AND BACKFILL ACCORDINGLY; PROTECTION OF POINTS OF ENTRY INTO EXISTING STORM DRAINAGE SYSTEM.
4. INSTALL UTILITIES AND ASSOCIATED INLET AND OUTLET PROTECTION.
5. STRIP TOPSOIL, STOCK TOPSOIL AND GRADE SITE, TEMPORARY CONTAINMENT OF SOIL/AGGREGATE STOCKPILES (SEED AND SILT FENCE AROUND TOE OF SLOPE).
6. CONSTRUCTION OF SIDEWALKS.
7. FINE GRADING, INSTALLATION OF TOPSOIL, SEED, SOD AND PERMANENT EROSION CONTROL.
8. REMOVAL OF TEMPORARY EROSION CONTROL MEASURE - ONLY - WHEN SITE HAS ACHIEVED PERMANENT STABILIZATION.

**SEDIMENTATION AND EROSION CONTROL NOTES**

- A. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- B. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- C. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- D. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- E. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- F. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- G. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE SWP3, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- H. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- I. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED BY THE END OF THE DAY.
- J. ON-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- K. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- L. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
- M. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES.
- N. SOIL EROSION AND SEDIMENT CONTROL FEATURES SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.
- O. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS OF THE END OF ACTIVE HYDROLOGIC DISTURBANCE, REDISTURBANCE.
- P. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE PROPERTY OWNER SHALL BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE AND REPAIR.
- Q. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. DISCHARGES SHALL BE ROUTED THROUGH AN EFFECTIVE SEDIMENT CONTROL MEASURE (e.g. SEDIMENT TRAP, SEDIMENT BASIN, OR OTHER APPROPRIATE MEASURE).
- R. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER OR GOVERNING AGENCY.

**SOIL EROSION AND SEDIMENT CONTROL NOTES**

**CHASE BANK  
 1860 N. MILWAUKEE AVENUE  
 VERNON HILLS, ILLINOIS**

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**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE PERFORMED ACCORDING TO THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION, THE "SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS" LATEST EDITION, THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION, THE VILLAGE OF VERNON HILLS "CODE OF ORDINANCES DEVELOPMENT REGULATIONS" LATEST EDITION, THE DETAILS IN THESE PLANS, THE CONTRACT DOCUMENTS, ALL APPLICABLE REQUIREMENTS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION, THE IEPA AND ORDINANCES OF AUTHORITIES HAVING JURISDICTION AND ALL ADDENDA THERETO.
- EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT MAY BE RESOLVED.
- WHENEVER, DURING CONSTRUCTION OPERATIONS, ANY LOOSE MATERIAL IS DEPOSITED IN THE FLOW LINE OF GUTTERS, DRAINAGE STRUCTURES, DITCHES, ETC. SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THE LOOSE MATERIAL WILL BE REMOVED AT THE CLOSE OF EACH WORKING DAY. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS. THIS WORK SHALL BE CONSIDERED INCLUDED IN THE CONTRACT. THE CONTRACTOR'S FAILURE TO PROVIDE THE ABOVE WILL PRECLUDE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE PRIOR TO ORDERING MATERIALS. IN ADDITION, THE CONTRACTOR MUST VERIFY THE LINE AND GRADES. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, STANDARD SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSION OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS/HER OWN RISK AND EXPENSE AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR ANY COSTS INCURRED.
- ALL PAVEMENT DIMENSIONS ARE SHOWN TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- WHERE SECTION OR SUBSECTION MONUMENTS ARE ENCOUNTERED, THE ENGINEER SHALL BE NOTIFIED BEFORE THE MONUMENTS ARE REMOVED. THE CONTRACTOR SHALL CAREFULLY PRESERVE ALL PROPERTY MARKS AND MONUMENTS UNTIL THE OWNER, AUTHORIZED SURVEYOR OR AGENT HAS WITNESSED OR OTHERWISE REFERENCED THEIR LOCATION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 72 HOURS PRIOR TO BEGINNING WORK.
- IF DURING CONSTRUCTION THE CONTRACTOR ENCOUNTERS OR OTHERWISE BECOMES AWARE OF ANY SEWERS OR UNDERDRAINS OTHER THAN THOSE SHOWN ON THE PLANS, HE/SHE SHALL INFORM THE ENGINEER, WHO SHALL DIRECT THE WORK NECESSARY TO MAINTAIN OR REPLACE THE FACILITIES IN SERVICE AND TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION IF MAINTAINED. EXISTING FACILITIES TO BE MAINTAINED THAT ARE DAMAGED BECAUSE OF NON-COMPLIANCE WITH THIS PROVISION SHALL BE REPLACED AT THE CONTRACTOR'S OWN EXPENSE.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AND HAND SANITIZING STATIONS FOR THE USE OF ALL THE CONTRACTORS PERSONNEL EMPLOYED ON THE WORK SITE. THE FACILITIES SHALL BE MAINTAINED IN PROPER SANITARY CONDITION THROUGHOUT THE PROJECT. THE LOCATION OF THE TEMPORARY FACILITIES SHALL BE APPROVED BY THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE NPDES PERMIT AND SWPPP MANUAL. IF NO NPDES PERMIT OR SWPPP MANUAL IS NEEDED FOR THE PROJECT THE CONTRACTOR SHALL PERFORM SOIL EROSION SEDIMENT CONTROL BEST PRACTICES OR AS DIRECTED BY THE OWNER TO PREVENT ILLICIT DISCHARGES FROM THE SITE.

**UTILITY NOTES**

- UNDERGROUND WORK SHALL INCLUDE TRENCHING, DISPOSAL OF EXCESS MATERIAL, DEWATERING, INSTALLATION OF PIPE, CASTINGS, STRUCTURES, BACKFILLING OF TRENCHES AND COMPACTION, AND TESTING AS SHOWN ON THE CONSTRUCTION PLANS, FITTINGS AND ACCESSORIES NECESSARY TO COMPLETE THE WORK MAY NOT BE SPECIFIED BUT SHALL BE CONSIDERED AS INCLUDED TO THE COST OF THE CONTRACT. ALL SEWER SHALL BE INSTALLED USING A LASER AND BEGIN AT THE DOWNSTREAM END.
- MACHINE CORE ALL CONNECTIONS TO EXISTING STRUCTURES USING A CORE DRILL. HAMMERING OR SAWING OF STRUCTURES WILL NOT BE ALLOWED.
- SANITARY SERVICE CONNECTIONS TO NEW SEWERS SHALL BE MADE WITH WYE BRANCHES. WYE BRANCHES SHALL BE FACTORY MANUFACTURED PERMANENTLY AFFIXED TO THE MAIN SEWER. TEE BRANCHES ARE NOT ALLOWED.
- ALL CONNECTIONS TO EXISTING SANITARY MANHOLES SHALL BE INSTALLED WITH A NEOPRENE BOOT SECURED WITH DOUBLE STAINLESS STEEL STRAPS MEETING THE REQUIREMENTS OF ASTM C-923.
- ALL CONNECTIONS TO EXISTING OR DISSIMILAR STORM/SANITARY LINES SHALL BE DONE WITH STAINLESS STEEL NON-SHEAR COUPLINGS.
- STONE BEDDING AND BACKFILL SHALL BE OMITTED FOR A DISTANCE OF 15 FEET UP AND DOWNSTREAM OF SEWERS DRAINING TO OR FROM PONDS OR STREAMS. THE REPLACED BEDDING SHALL BE SILTY CLAY SOIL MECHANICALLY COMPACTED TO 90% MODIFIED PROCTOR DENSITY. THE USE OF PERMEABLE SOILS WILL NOT BE PERMITTED.
- ALL WATER MAIN SHALL HAVE MECHANICAL RESTRAINED TYPE JOINTS AT ALL CONNECTIONS AND FITTINGS. IN ADDITION, ALL HARDWARE SHALL BE STAINLESS STEEL.
- THRUST BLOCKING SHALL BE PROVIDED ON WATER MAIN AT ALL BENDS, TEES, ELBOWS, ETC. INDIVIDUAL INSPECTION FOR ALL THRUST BLOCKING IS REQUIRED. THRUST BLOCKING SHALL BE POURED IN PLACE CONCRETE. PRECAST BLOCKS MAY BE USED AS APPROVED BY THE ENGINEER IN THE FIELD.
- ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER. ALL DOWNSPOUTS, SIDE YARD DRAINS, AND OUTSIDE DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM. FOOTING DRAINS SHALL FIRST DRAIN TO A SUMP PIT.
- BUILDING STORM SEWER SERVICE PIPE SHALL NOT BE LESS THAN THE DIAMETER OF THE PLUMBING PIPE FROM THE BUILDING, BUT NOT LESS THAN 6 INCHES. THE PIPE SHALL HAVE A MINIMUM SLOPE OF 1/8-INCH PER FOOT, BUT NOT MORE THAN 1/2-INCH PER FOOT. CHANGES OF DIRECTION OF SERVICE PIPE SHALL BE MADE WITH COMBINATIONS OF 22-1/2 DEGREE BENDS WHEREVER PRACTICABLE, WITH NOT LESS THAN 2 FEET OF STRAIGHT PIPE BETWEEN SUCH BENDS. RIGHT ANGLE (90 DEGREE) BENDS WILL NOT BE ALLOWED. WHEN A SERVICE LINE EXCEEDS 100 FEET IN LENGTH, A CLEANOUT SHALL BE PROVIDED AT A LOCATION DESIGNATED BY THE ENGINEER. THE CLEANOUT SHALL BE PROPERLY SEALED, WITH THE TOP OF THE PLUGGED RISER FLUSH WITH FINISHED GRADE.

**PROJECT SPECIFIC NOTES**

- AS-BUILT RECORD DRAWINGS SHALL BE PROVIDED AT THE COMPLETION OF THE PROJECT IN CONFORMANCE TO THE VILLAGE OF VERNON HILLS DEVELOPMENT REGULATIONS ENGINEERING STANDARDS SECTION P. CRITICAL SPOT GRADES SUCH AS OVERFLOW ELEVATIONS, SPOT ELEVATIONS NEAR ENTRANCES, SPOT ELEVATIONS ALONG THE DESIGNATED ADA ROUTE, SUFFICIENT INFORMATION SUCH THAT THE ENGINEER MAY VERIFY DETENTION VOLUMES, RIM AND INVERT ELEVATIONS OF ALL SEWERS, RIM AND TOP OF PIPE ELEVATIONS OF ALL WATER MAIN, LOCATIONS OF ALL INSTALLED UNDERGROUND UTILITIES, LOCATIONS OF ALL BURIED BENDS AND FITTINGS AND ALL FIELD CHANGES FROM THE APPROVED DRAWINGS.
- ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE OF INITIAL ACCEPTANCE OF THE WORK BY THE OWNER AGAINST ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE.
- ALL CONSTRUCTION WILL BE INSPECTED BY THE OWNER'S REPRESENTATIVE. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE VILLAGE OF VERNON HILLS AND LAKE COUNTY DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.
- ALL PUBLIC WATER MAINS AND SANITARY SEWER MAINS SHALL BE ACCEPTED BY THE VILLAGE OF VERNON HILLS AND THE LAKE COUNTY PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL NOTIFY THE VILLAGE OF VERNON HILLS ENGINEERING DIVISION (847-367-3726), THE LAKE COUNTY DEPARTMENT OF PUBLIC WORKS (847-377-7500) AND THE PROJECT ENGINEER (847-478-9700) AT LEAST 72 HOURS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. LAKE COUNTY PUBLIC WORKS SHALL BE NOTIFIED 48 HOURS PRIOR TO THE BEGINNING OF SEWER AND/OR WATER WORK.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, THE VILLAGE OF VERNON HILLS, LAKE COUNTY PUBLIC WORKS DEPARTMENT, AND THEIR AGENTS, FROM ALL LIABILITY INVOLVED IN CONSTRUCTION, INSTALLATION AND TESTING OF THE WORK ON THIS PROJECT.
- THE CONTRACTOR MUST CARRY INSURANCE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. ALL OFFICIALS, EMPLOYEES AND AGENTS OF GEWALT HAMILTON ASSOCIATES MUST BE LISTED AS ADDITIONAL INSURED.
- ALL ELEVATIONS ARE ON NAVD 88 VERTICAL DATUM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL TO ADEQUATELY INFORM AND PROTECT THE PUBLIC OF ALL CONSTRUCTION OPERATIONS.
- STOCKPILING MATERIAL WITHIN THE 100 YEAR FLOOD PLAIN AND OR THE FLOODWAY IS STRICTLY PROHIBITED
- PRIOR TO PLACEMENT OF FABRIC AND STONE, THE SUBGRADE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER AND THE VILLAGE ENGINEER. PROOF-ROLLING SHALL BE DONE USING A THREE AXLE DUMP TRUCK TOGETHER WITH LOAD WEIGHING AT LEAST TWENTY-FIVE (25) TONS. THE LOAD SHALL BE UNIFORMLY PLACED IN THE DUMP BODY. ALL DEFICIENCIES SHALL BE REPAIRED AND RE-PROOF-ROLLED UNTIL FOUND ACCEPTABLE TO THE ENGINEER AND VILLAGE ENGINEER.
- CRUSHED CONCRETE IS NOT PERMITTED FOR USE ON THE PROJECT UNLESS PRIOR WRITTEN NOTICE IS GIVEN BY THE ENGINEER.
- ALL STONE USED ON THE PROJECT SHALL BE CRUSHED UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL CONNECTIONS TO EXISTING STORM MANHOLES SHALL BE INSTALLED WITH A NEOPRENE BOOT SECURED WITH DOUBLE STAINLESS STEEL STRAPS MEETING THE REQUIREMENTS OF ASTM C-923.
- ALL CONCRETE SHALL HAVE A LIGHT BROOM FINISH APPLIED WITHIN 1 HOUR OF FINAL STRIKING.
- ALL CONCRETE SHALL CONSIST OF PORTLAND CEMENT CONCRETE, 4" SLUMP, 6.1 BAG MIX AND AIR ENTRAINMENT OF NOT LESS THAN FIVE (5%) OR MORE THAN EIGHT (8%). CONCRETE SHALL BE A MINIMUM COMPRESSIVE STRENGTH (4000PSI) AT TWENTY EIGHT (28) DAYS.
- ALL CONCRETE SHALL HAVE A WHITE, IDOT TYPE 3 CURING COMPOUND APPLIED TO THE SURFACE WITHIN 1 HOUR OF FINAL STRIKING AT THE MANUFACTURER RECOMMENDED APPLICATION RATE.
- 3/4" THICK PRE-MOLDED FIBER EXPANSION JOINTS WITH 2 , 3/4" x 18" PLAIN ROUND, STEEL DOWEL BARS SHALL BE INSTALLED IN ALL CURBS AT FOURTY-FIVE (45') FOOT INTERVALS AND AT ALL P.C.'S, P.T.'S AND CURB RETURNS. ALTERNATE ENDS OF THE DOWEL BARS SHALL BE GREASED AND FITTED WITH METAL EXPANSION TUBES. ALL EXPANSION JOINTS MUST BE FREE OF CONCRETE FOR FULL DEPTH. CONTRACTION JOINTS SHALL BE TOOLED AT 15' INTERVALS.
- UNLESS OTHERWISE NOTED ON THE PLANS WHENEVER NEW CONCRETE ABUTS EXISTING/ OR NEW CONCRETE SET A 1/2" THICK PRE-MOLDED FIBER EXPANSION JOINT AND DOWEL WITH SMOOTH 12" #4 BARS @ 24" O.C. THIS INCLUDES CONCRETE POURED ADJACENT TO EXISTING SIDEWALKS, CURBS AND BUILDING. THE DOWEL BARS SHOULD BE 4" INTO EXISTING CONCRETE WITH 8" EXTENDING INTO NEW CONCRETE.
- ALL DOWEL BARS AND TIE BARS SHALL BE EPOXY COATED UNLESS NOTED OTHERWISE.
- ALL PAVEMENT AND BUILDING SUBGRADE SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY. ALL SUBGRADE IN LAWN AREAS SHALL BE COMPACTED TO 90% MODIFIED PROCTOR DENSITY.
- SPREAD SCREENED TOPSOIL ON ALL DISTURBED AREAS AND PROPOSED GREEN AREAS. TOPSOIL SHALL COMPLY WITH REQUIREMENTS OF ARTICLE 1081.05.

**EROSION CONTROL NOTES**

- AT A MINIMUM, THE CONTRACTOR SHALL INSTALL AND MAINTAIN SOIL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE LATEST EDITION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S URBAN MANUAL.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS.
- LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY ROAD OF MATERIAL THAT IS FROM THE PROJECT. THIS WILL BE DONE AT THE CLOSE OF EACH DAY OF WORK OR MORE FREQUENTLY AS FIELD CONDITIONS WARRANT.
- ALL STORM WATER STRUCTURES WITH OPEN LIDS SHALL BE PROTECTED WITH INLET FILTER BASKETS. DURING CONSTRUCTION, SEDIMENT SHALL BE REMOVED AS NEEDED, AND BASKETS SHALL BE REPAIRED OR REPLACED AS NEEDED.
- AFTER ACHIEVING PERMANENT VEGETATION AND APPROVAL BY THE VILLAGE ENGINEER, ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE REMOVED, AND THE DRAINAGE STRUCTURES SHALL BE CLEANED.
- THE CONTRACTOR SHALL KEEP A WATER SOURCE AT THEIR DISPOSAL FOR THE PURPOSE OF WATERING DOWN SOIL ON SITE AND ADJACENT ROADWAYS WHICH OTHERWISE MAY BECOME AIRBORNE.
- THE CONTRACTOR SHALL STABILIZE ALL IDLE, DISTURBED AREAS WITHIN SEVEN DAYS OF CESSATION OF THE CONSTRUCTION ACTIVITIES IN THAT AREA.
- THE CONTRACTOR IS EXPRESSLY ADVISED NOT TO DISTURB AREAS WHICH ARE OUTSIDE THOSE NECESSARY TO PROVIDE THE IMPROVEMENTS AS CALLED FOR IN THE PLANS.
- ALL EROSION CONTROL MEASURES SHALL BE REPLACED IF DAMAGED OR MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
- ALL BYPASS CHANNELS, MUST BE CONSTRUCTED SO THAT CHANNEL FLOWS WILL NOT CAUSE EROSION OF EXCAVATED MATERIAL. IN EACH CASE A SEDIMENTATION BASIN MUST BE CONSTRUCTED SO AS TO ALLOW THE SEDIMENT TO SETTLE PRIOR TO THE DOWNSTREAM OUTLET OF THE PROJECT AREA.
- PUMPS MAY BE USED AS BYPASS DEVICES, BUT IN NO CASE WILL THE WATER BE DIVERTED OUTSIDE THE PROJECT LIMIT. ALL PUMPED WATER SHALL BE FREE OF SILT. PUMPING MAY REQUIRE THE USE OF A SEDIMENT CONTAINMENT FILTER BAG AND OTHER SUPPLEMENTAL SEDIMENT CONTROL MEASURES.
- CONCRETE WASHOUT FACILITIES SHALL BE ESTABLISHED AND PROPERLY MAINTAINED THROUGHOUT THE PROJECT.
- PROPERLY MANAGE ALL MATERIAL STORAGE AREAS, PORTABLE TOILETS, AND EQUIPMENT FUELING, CLEANING, AND MAINTENANCE AREAS TO ENSURE THESE AREAS ARE FREE OF SPILLS, LEAKS, OR OTHER POTENTIAL POLLUTANTS.
- WASTE, CONSTRUCTION DEBRIS, AND BUILDING MATERIALS SHALL BE COLLECTED AND PLACED IN APPROVED RECEPTACLES.

| MODEL/SPECIFICATION    | STANDARDS/REQUIREMENTS                | NOTES                       |
|------------------------|---------------------------------------|-----------------------------|
| PVC SDR 26             | PIPE ASTM D-3034                      | JOINT ASTM D-3212           |
| RCP CL IV              | PIPE ASTM C-443                       | JOINT ASTM C-443-C-923      |
| DIP CL 52              | PIPE ANSIAWWA A21.51/C-151            | JOINT ANSIAWWA A21.11/C-111 |
|                        | LINING ANSIAWWA C104/A21.4            |                             |
| PAVED AREAS            | OPEN LID: NEENAH R-1713               | CLOSED LID: NEENAH R-1713   |
| CURB STRUCTURES        | OPEN LID: NEENAH R-2281-A             | CLOSED LID: N/A             |
| GRASS AREAS - INLET    | OPEN LID - NEENAH R-1310-B            | CLOSED LID: N/A             |
| GRASS AREAS            | OPEN LID: NEENAH R-2560-E             | CLOSED LID: NEENAH R-1713   |
| CONCRETE               | 8" MAXIMUM HEIGHT, MAXIMUM OF 2 RINGS |                             |
| CA-7 CRUSHED LIMESTONE |                                       |                             |
| CA-7 CRUSHED LIMESTONE | ASTM C-443-C-923                      |                             |

| MODEL/SPECIFICATION             | STANDARDS/REQUIREMENTS                | NOTES  |
|---------------------------------|---------------------------------------|--|
| DIP CL 52                       | PIPE ANSIAWWA A21.51/C-151            | JOINT ANSIAWWA A21.11/C-111                        |
|                                 | LINING ANSIAWWA C104/A21.4            |  |
|                                 | WRAP ANSIAWWA C105/A21.5              |  |
| TYPE K WATER SERVICE CONNECTION |                                       |  |
| PAVED AREAS                     | CLOSED LID: NEENAH R-1722             | SHALL HAVE SELF-SEALING LID AND CONCEALED PICKHOLE |
| GRASS AREAS                     | CLOSED LID: NEENAH R-1722             | SHALL HAVE SELF-SEALING LID AND CONCEALED PICKHOLE |
| CONCRETE                        | 8" MAXIMUM HEIGHT, MAXIMUM OF 2 RINGS |  |
| CA-7 CRUSHED LIMESTONE          |                                       |  |
| CA-7 CRUSHED LIMESTONE          |                                       |  |
| N/O LEAD BRASS                  | MUELLER H-15000, FORD F600            |  |
| SEE DETAIL                      |                                       |  |
|                                 | ASTM C-443-C-923                      |  |

| MODEL/SPECIFICATION    | STANDARDS/REQUIREMENTS                | NOTES  |
|------------------------|---------------------------------------|--|
| PVC SDR 21             | PIPE ASTM D-3034                      | JOINT ASTM D-3212                                  |
|                        | CLOSED LID: NEENAH R-1722             | SHALL HAVE SELF-SEALING LID AND CONCEALED PICKHOLE |
| CONCRETE               | 8" MAXIMUM HEIGHT, MAXIMUM OF 2 RINGS |  |
| CA-7 CRUSHED LIMESTONE |                                       |  |
| CA-7 CRUSHED LIMESTONE |                                       |  |
| CRETEX                 | ASTM C-623                            |  |
|                        | ASTM C-443-C-923                      |  |

ALL WATER MAIN SHALL HAVE A PRESSURE AND LEAKAGE TEST PERFORMED IN ACCORDANCE WITH SECTION 41-2.14 OF STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS ACCEPT THE PRESSURE DURING THE TESTS SHALL BE EQUAL TO 150PSI

ALL SANITARY SEWER SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS. ALL RIGID SANITARY SEWER PIPE SHALL BE TESTED BY EITHER METHOD A B OR C AS OUTLINED IN SECTION 31-1.12. ALL FLEXIBLE SANITARY SEWER PIPE SHALL BE TESTED BY METHOD D AND EITHER METHOD A B OR C. ALL SANITARY SEWER MUST BE TESTED BY METHOD E. THE CONTRACTOR SHALL PROVIDE THE ENGINEER AND LCPW A COPY OF THE VIDEO ON A DIGITAL VIDEO DISC. THE VIDEO MUST BE IN COLOR AND PROCEED NO FASTER THAN 1 FOOT PER SECOND.

ALL SEWERS THAT CROSS OR RUN PARALLEL TO WATER MAINS SUBJECT TO IEPA REQUIREMENTS FOR WATER MAIN QUALITY PIPE MUST BE PRESSURE TESTED ACCORDING TO 41-2.14 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS

ALL SANITARY MANHOLES SHALL BE TESTED BY EITHER ASTM C-909 OR ASTM C-1244



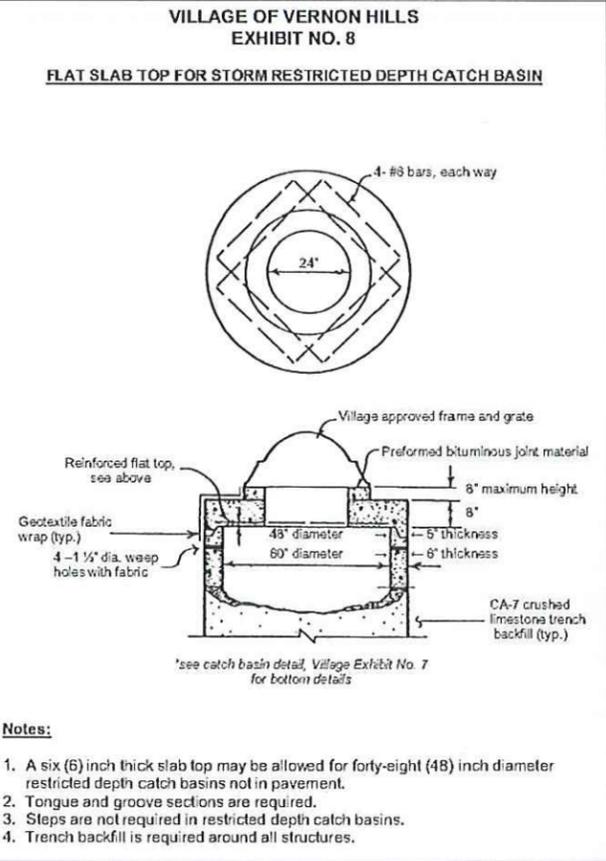
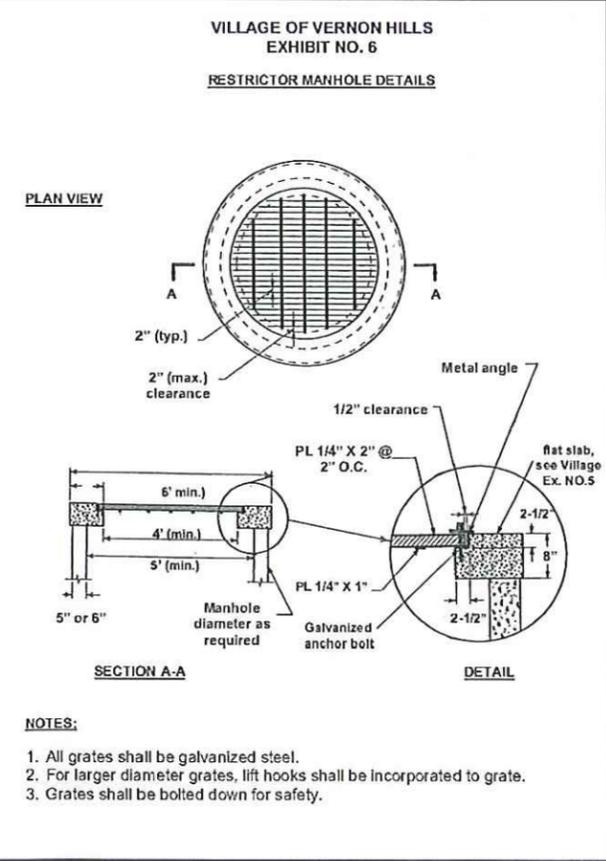
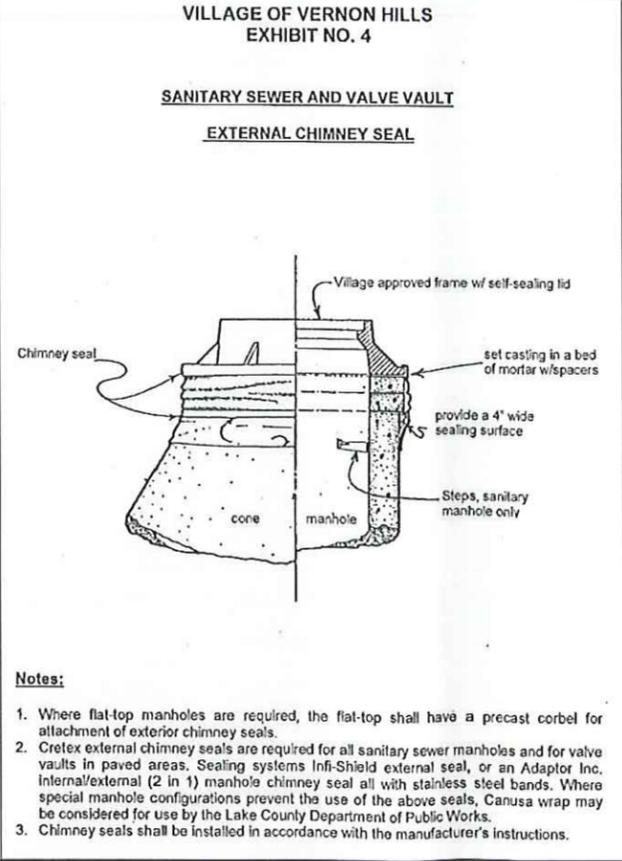
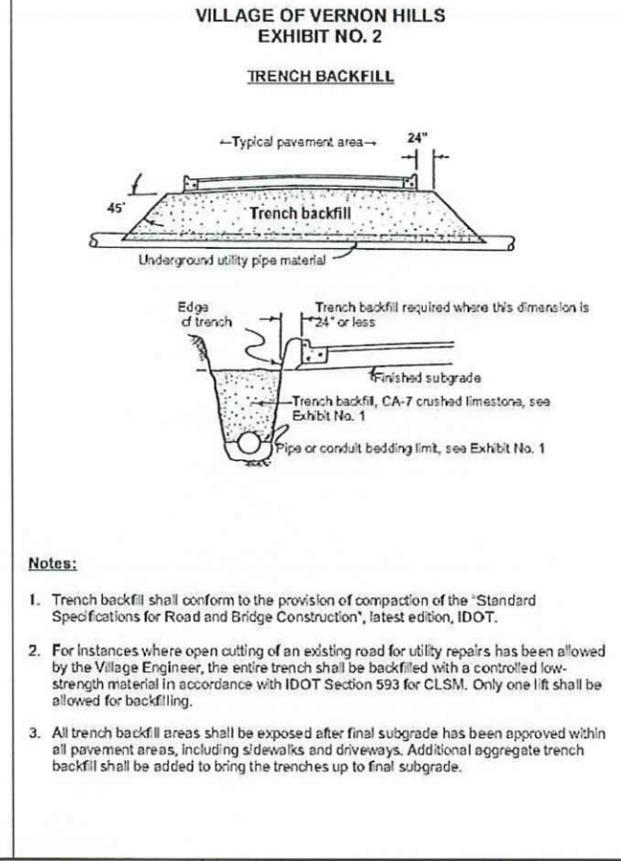
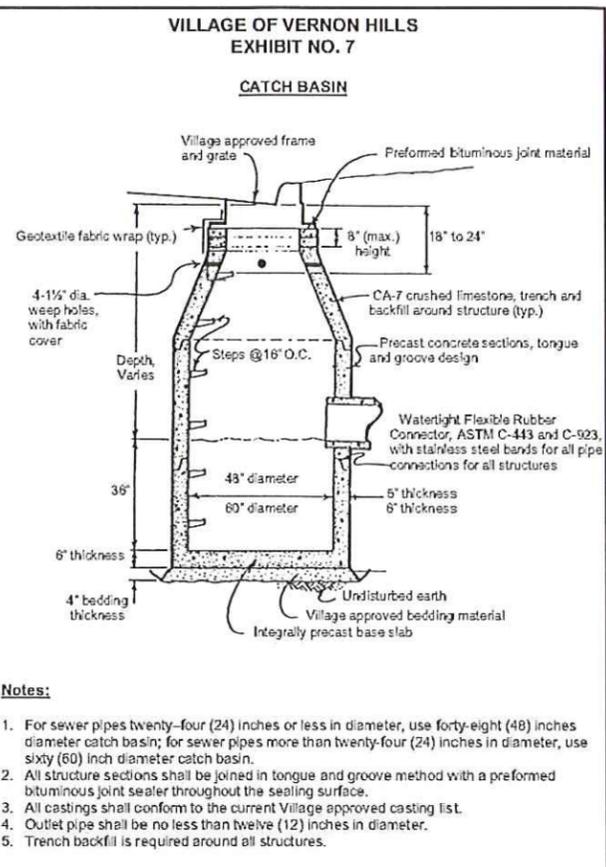
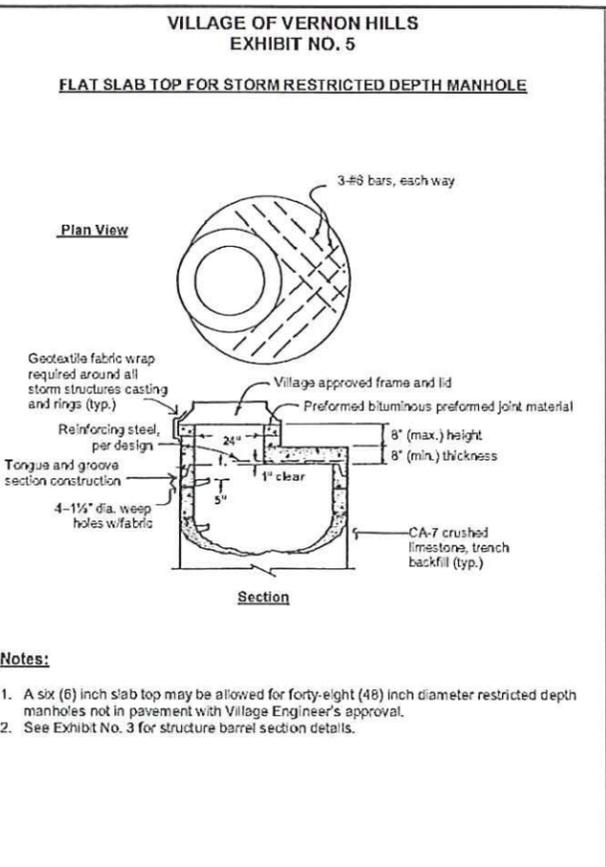
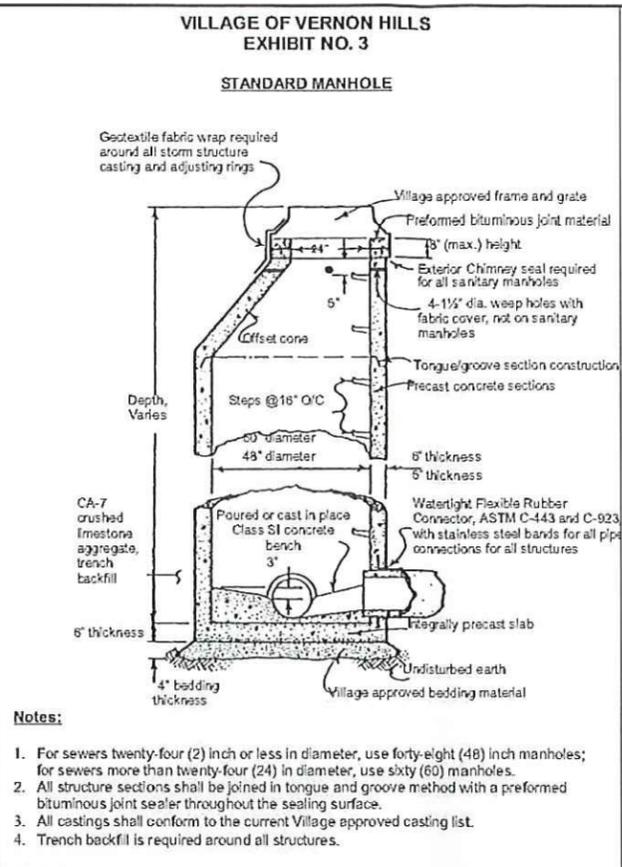
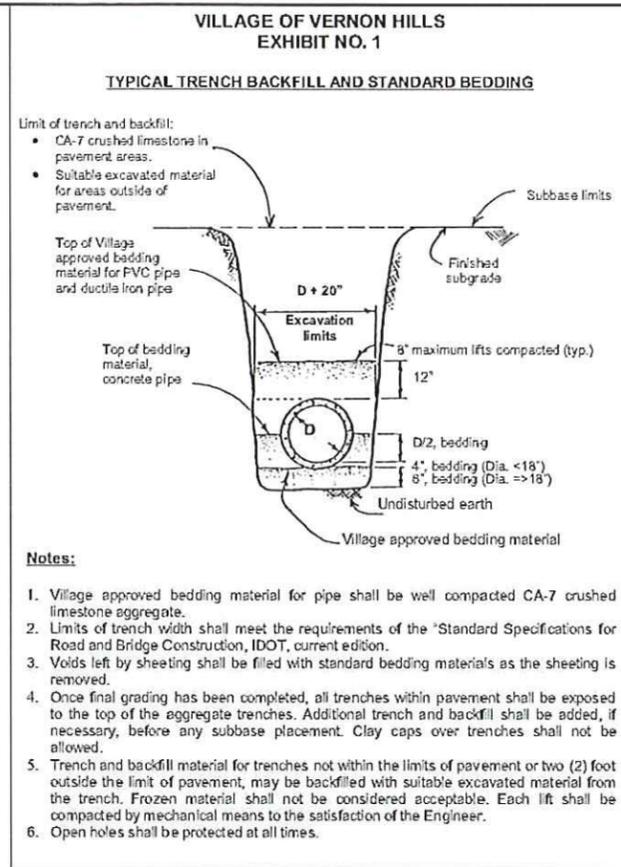
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**GENERAL NOTES**

**CHASE BANK  
 1860 N. MILWAUKEE AVENUE  
 VERNON HILLS, ILLINOIS**

| NO. | BY  | DATE     | REVISION                              | NO. | BY | DATE | REVISION |
|-----|-----|----------|---------------------------------------|-----|----|------|----------|
| 1   | CST | 10/14/16 | UPDATE PER VILLAGE AND COUNTY COMMENT |     |    |      |          |

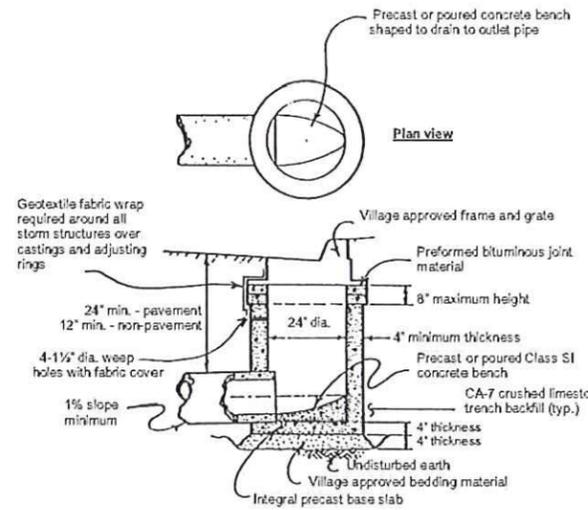
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|----------------------------------|---------------------------|
| FILE 4600.016_DTI.dwg            | SHEET NUMBER              |
| DRAWN BY: PJS<br>DATE 08.15.16   | GHA PROJECT #<br>4600.016 |
| CHECKED BY: SOB<br>DATE 08.15.16 | SCALE<br>N.T.S.           |
|                                  | <b>8</b><br>OF 12 SHEETS  |



| NO. | BY  | DATE     | REVISION                              | NO. | BY | DATE | REVISION |
|-----|-----|----------|---------------------------------------|-----|----|------|----------|
| 1   | CST | 10/14/16 | UPDATE PER VILLAGE AND COUNTY COMMENT |     |    |      |          |

VILLAGE OF VERNON HILLS  
EXHIBIT NO. 9

STORM SEWER INLET

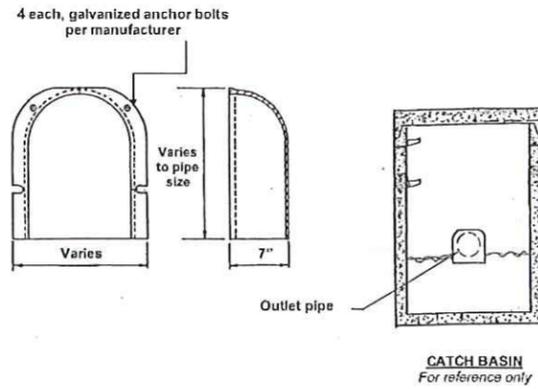


Notes:

- Inlet barrel sections shall conform to A.S.T.M. Designation C478.
- Minimum pipe size for inlets for Public Improvements is twelve (12) inch in diameter.
- Ductile iron pipe, Class 52, shall be used in paved areas of public streets for inlet connections if less than two (2) feet of cover over the pipe is not provided.
- A Watertight Flexible Rubber Connector, ASTM C-443 and C-923, with stainless steel bands for all pipe openings.
- Trench backfill required around all structures.

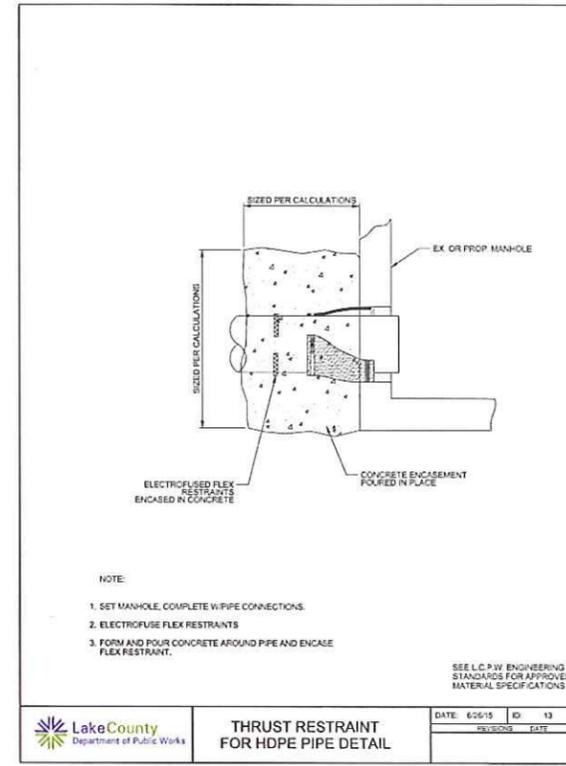
VILLAGE OF VERNON HILLS  
EXHIBIT NO. 12

CATCH BASIN TRAPS

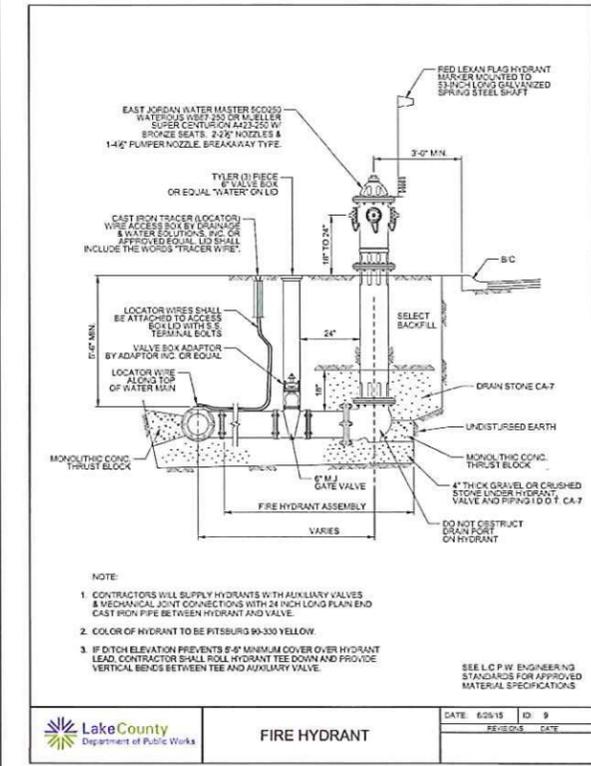


NOTES:

- Bottom of Catch Basin traps shall be mounted a minimum of six (6) inches below the pipe flow line.
- Mounting of traps shall be installed on a flat wall only.
- Traps shall be cast iron, unless approved by the Village Engineer.
- Traps shall be approved by the Village Engineer before installation.



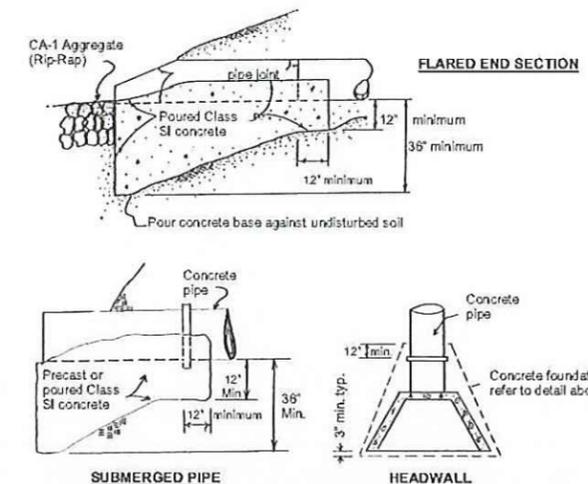
Lake County Department of Public Works  
**THRUST RESTRAINT FOR HDPE PIPE DETAIL**  
DATE: 6/26/15 ID: 13  
REVISIONS: DATE



Lake County Department of Public Works  
**FIRE HYDRANT**  
DATE: 6/26/15 ID: 9  
REVISIONS: DATE

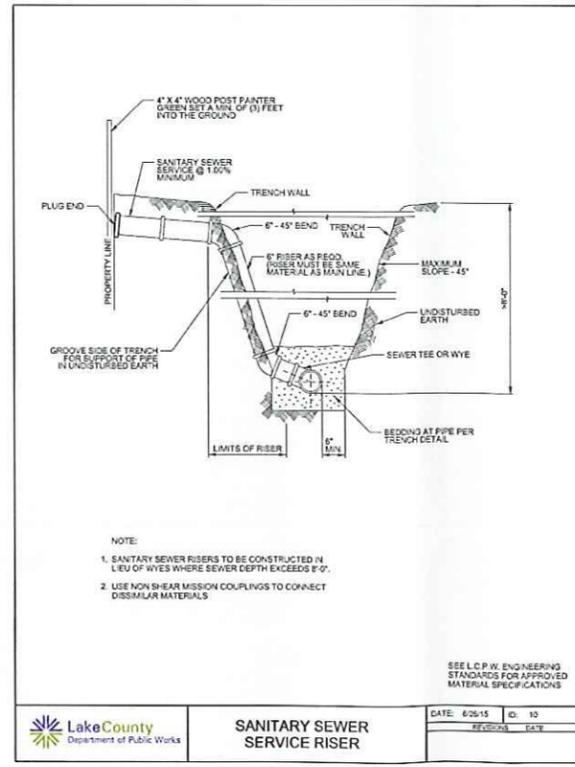
VILLAGE OF VERNON HILLS  
EXHIBIT NO. 10

FOUNDATION DETAILS FOR HEADWALLS, SUBMERGED PIPES AND FLARED END SECTIONS

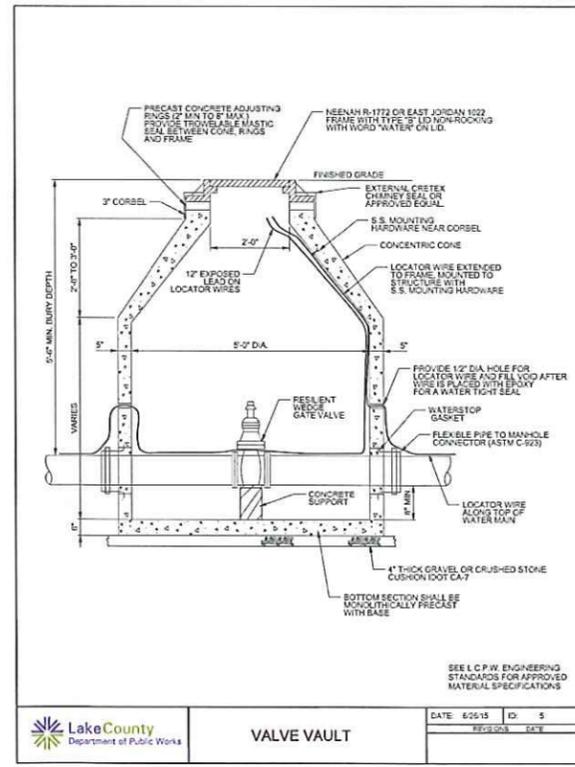


Notes:

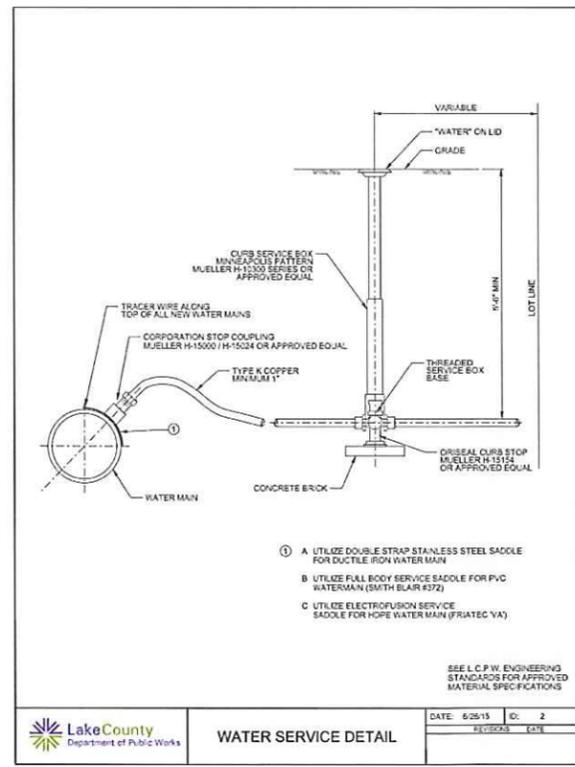
- Width of the foundation shall be minimum three (3) inches wider than the headwall, submerged pipe, or flared end section. The top of foundation shall extend half-way (1/2) up the side of the headwall, submerged pipe, or flared end section.
- The bottom of the foundation shall rest on undisturbed earth. The bottom of the foundation shall be no less than three (3) feet deep at the open end of the headwall, pipe, or flared end section.
- Grates are required for all flared end sections twelve (12) inches in diameter or greater.



Lake County Department of Public Works  
**SANITARY SEWER SERVICE RISER**  
DATE: 6/26/15 ID: 10  
REVISIONS: DATE

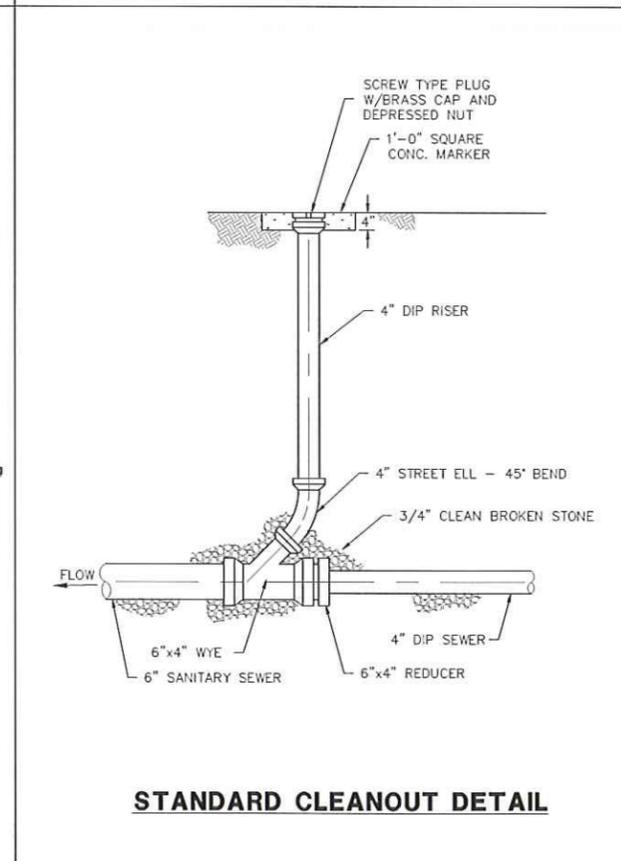
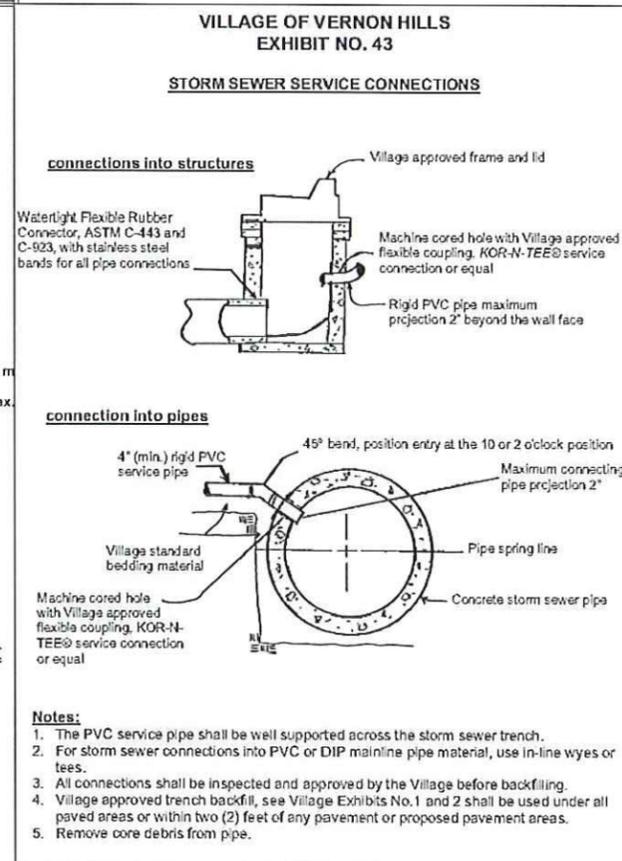
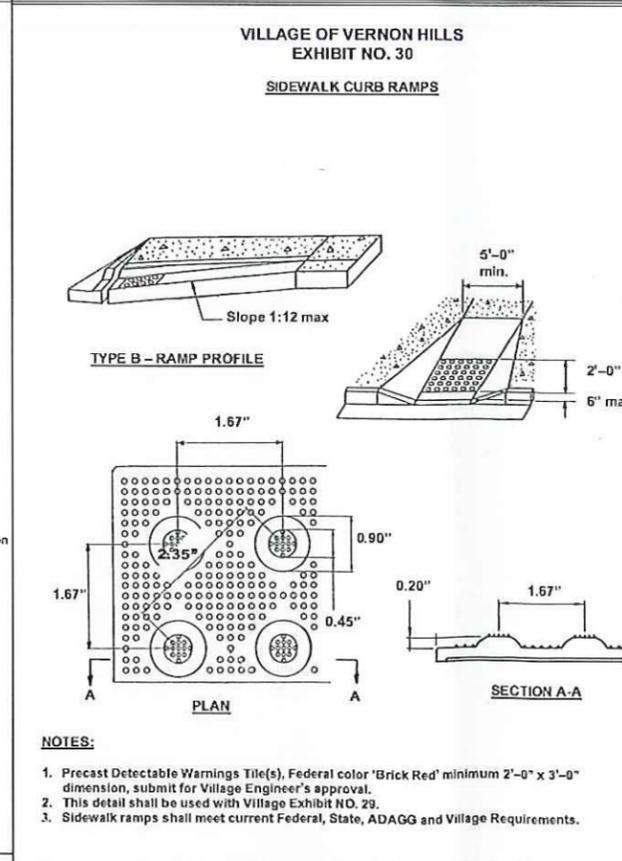
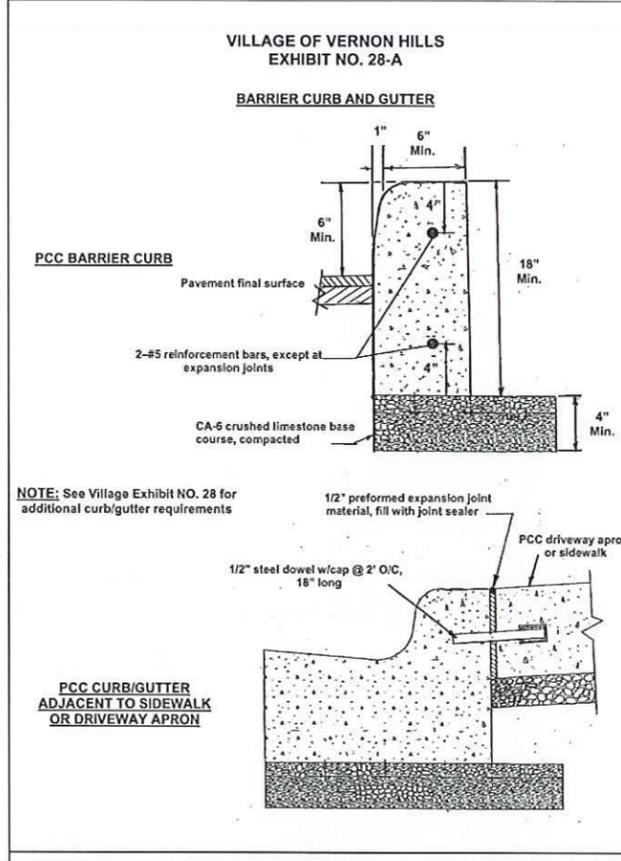
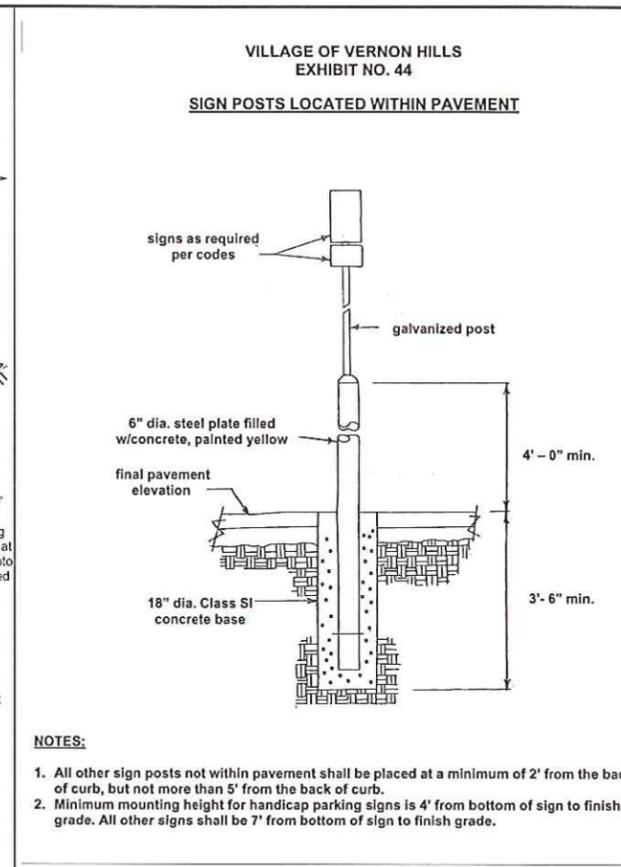
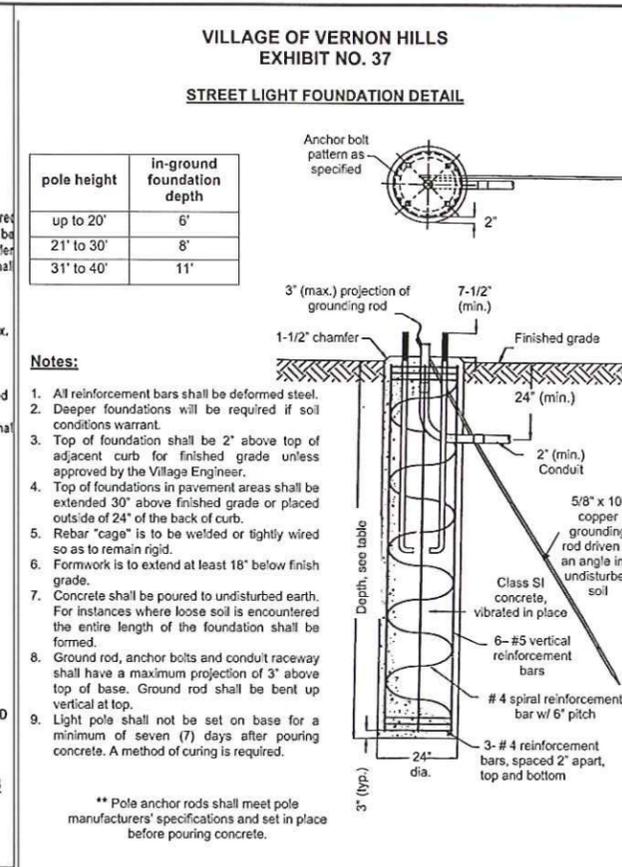
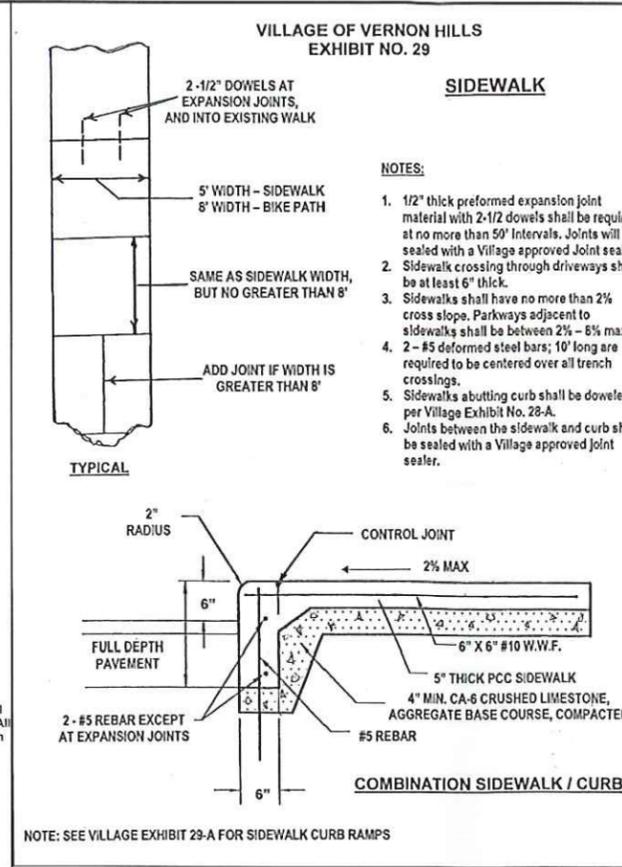
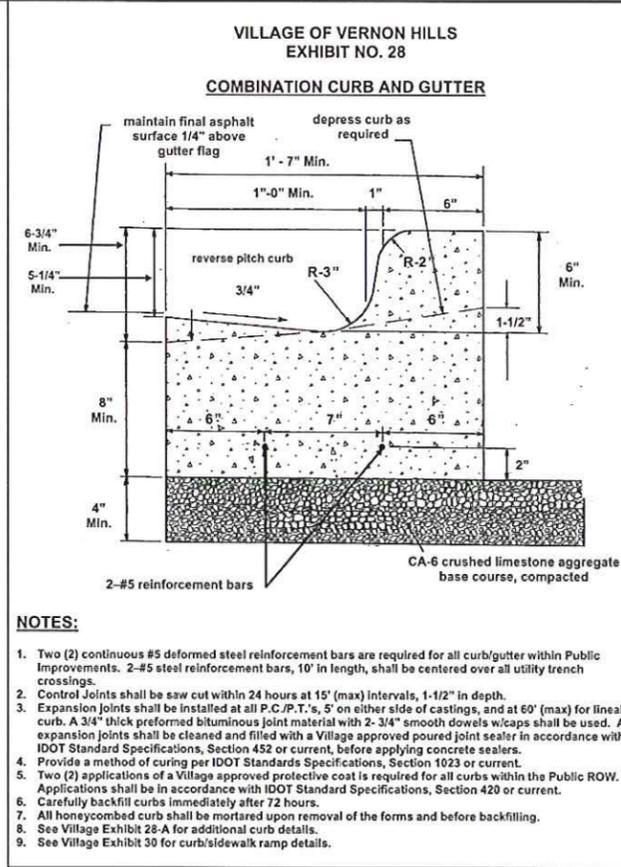


Lake County Department of Public Works  
**VALVE VAULT**  
DATE: 6/26/15 ID: 5  
REVISIONS: DATE

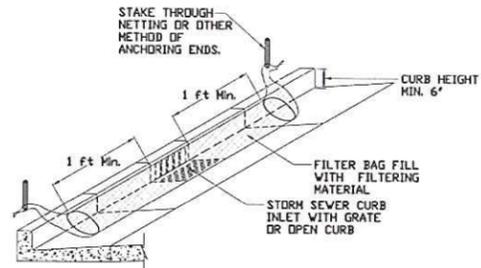


Lake County Department of Public Works  
**WATER SERVICE DETAIL**  
DATE: 6/26/15 ID: 2  
REVISIONS: DATE

| NO. | BY  | DATE     | REVISION                              | NO. | BY | DATE | REVISION |
|-----|-----|----------|---------------------------------------|-----|----|------|----------|
| 1   | CST | 10/14/16 | UPDATE PER VILLAGE AND COUNTY COMMENT |     |    |      |          |

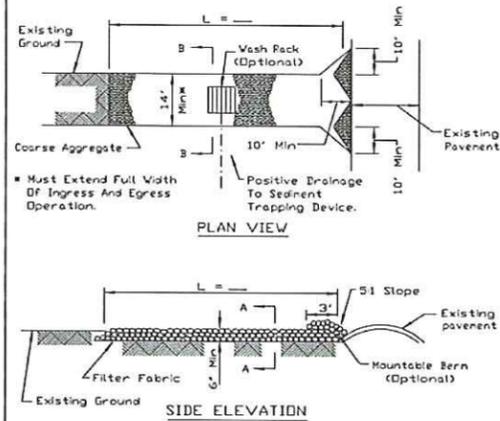


**INLET PROTECTION - PAVED AREAS  
CURB PROTECTION**



|                  |                   |
|------------------|-------------------|
| REFERENCE        | STANDARD DWG. NO. |
| Project Designed | IUM-561C          |
| Checked          | SHEET 1 OF 1      |
| Approved         | DATE 05-11-11     |

**STABILIZED CONSTRUCTION ENTRANCE PLAN**

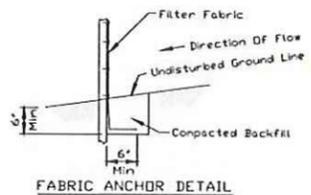
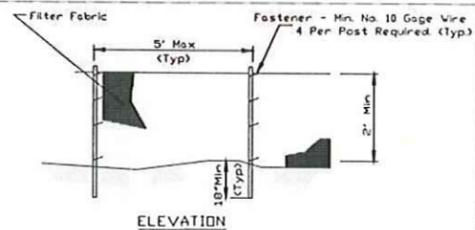


- NOTES:
1. Filter fabric shall meet the requirements of material specification 592 GEOTEXTILE, Table 1 or 2, Class I, II or IV and shall be placed over the cleared area prior to the placing of rock.
  2. Rock or reclaimed concrete shall meet one of the following IDOT coarse aggregate gradation, CA-1, CA-2, CA-3 or CA-4 and be placed according to construction specification 25 ROCKFILL using placement Method 1 and Class III compaction.
  3. Any drainage facilities required because of washing shall be constructed according to manufacturer's specifications.
  4. If wash racks are used they shall be installed according to the manufacturer's specifications.

|                  |                   |
|------------------|-------------------|
| REFERENCE        | STANDARD DWG. NO. |
| Project Designed | IL-630            |
| Checked          | SHEET 1 OF 2      |
| Approved         | DATE 8-18-11      |

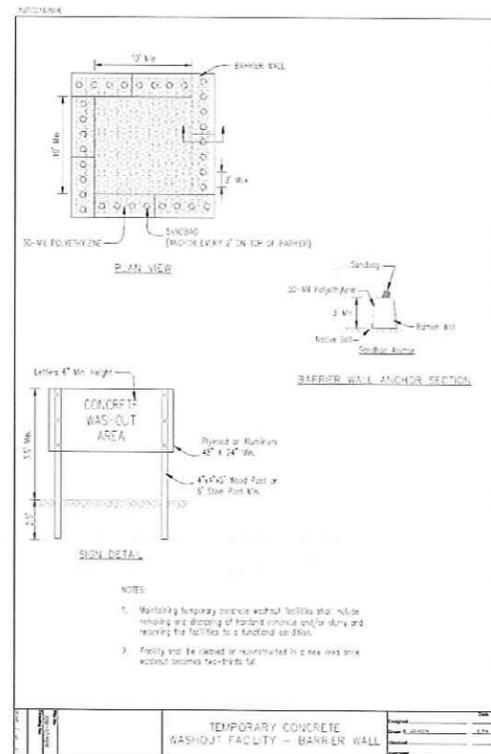


**SILT FENCE PLAN**



- NOTES:
1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
  2. Filter fabric shall meet the requirements of material specification 592 Geotextile based upon performance needed.
  3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 2" x 2" nominal size.

|                  |                   |
|------------------|-------------------|
| REFERENCE        | STANDARD DWG. NO. |
| Project Designed | IUM-620           |
| Checked          | SHEET 1 OF 2      |
| Approved         | DATE 3-16-12      |



TEMPORARY CONCRETE WASHOUT FACILITY - BARRIER WALL

**GHA GEWALT HAMILTON ASSOCIATES, INC.**  
625 Forest Edge Drive ■ Vernon Hills, IL 60061  
TEL 847.478.9700 ■ FAX 847.478.9701

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**DETAILS**  
**CHASE BANK**  
**1860 N. MILWAUKEE AVENUE**  
**VERNON HILLS, ILLINOIS**

| NO. | BY  | DATE     | REVISION                              |
|-----|-----|----------|---------------------------------------|
| 1   | CST | 10/14/16 | UPDATE PER VILLAGE AND COUNTY COMMENT |

|                                   |                           |
|-----------------------------------|---------------------------|
| FILE: 4800.016_DTI.dwg            | SHEET NUMBER              |
| DRAWN BY: PJS<br>DATE: 08.15.16   | GHA PROJECT #<br>4800.016 |
| CHECKED BY: SDB<br>DATE: 08.15.16 | SCALE:<br>N.T.S.          |
|                                   | <b>12</b><br>OF 12 SHEETS |





WEST ELEVATION



NORTH ELEVATION

SCALE: 3/32" = 1'-0"





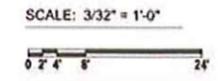
EAST ELEVATION



SOUTH ELEVATION

- RIDGE +26'-4 1/2"
- T.O. PARAPET +19'-0"
- T.O. PARAPET +17'-0"
- T.O. WINDOW R.O. +10'-8"
- T.O. WATER TABLE +3'-4"
- T.O. STONE AT TOWER +2'-0"
- T.O. SLAB 0'-0"

- RIDGE +26'-4 1/2"
- T.O. PARAPET +19'-0"
- T.O. PARAPET +17'-0"
- T.O. WINDOW R.O. +10'-8"
- T.O. WATER TABLE +3'-4"
- T.O. STONE AT TOWER +2'-0"
- T.O. SLAB 0'-0"



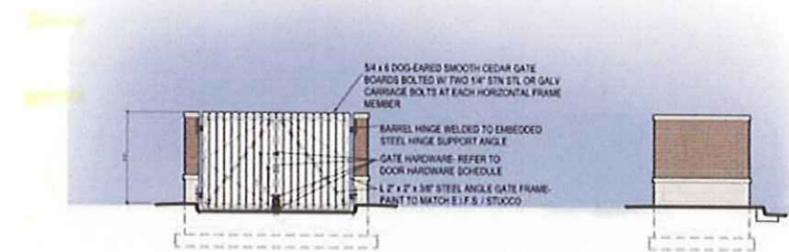
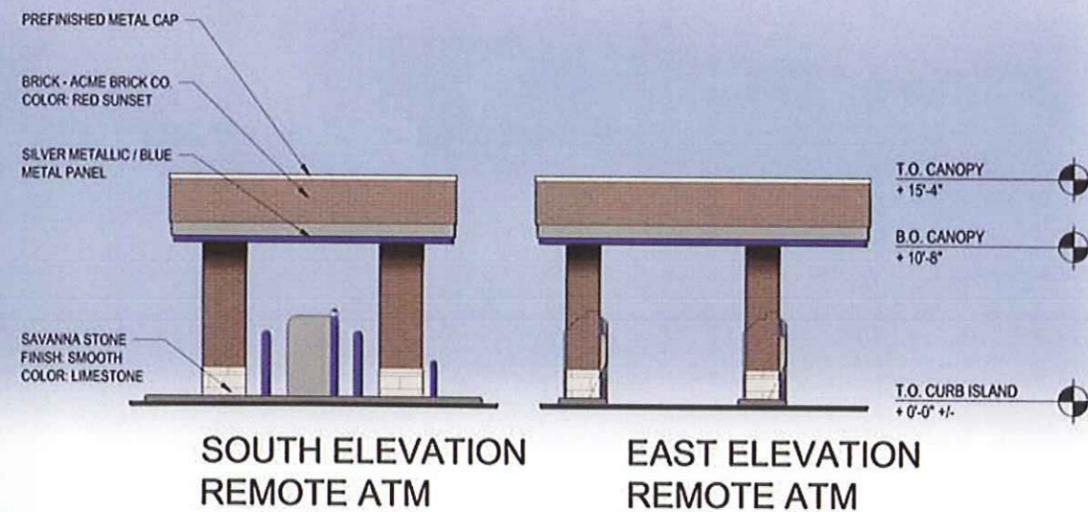
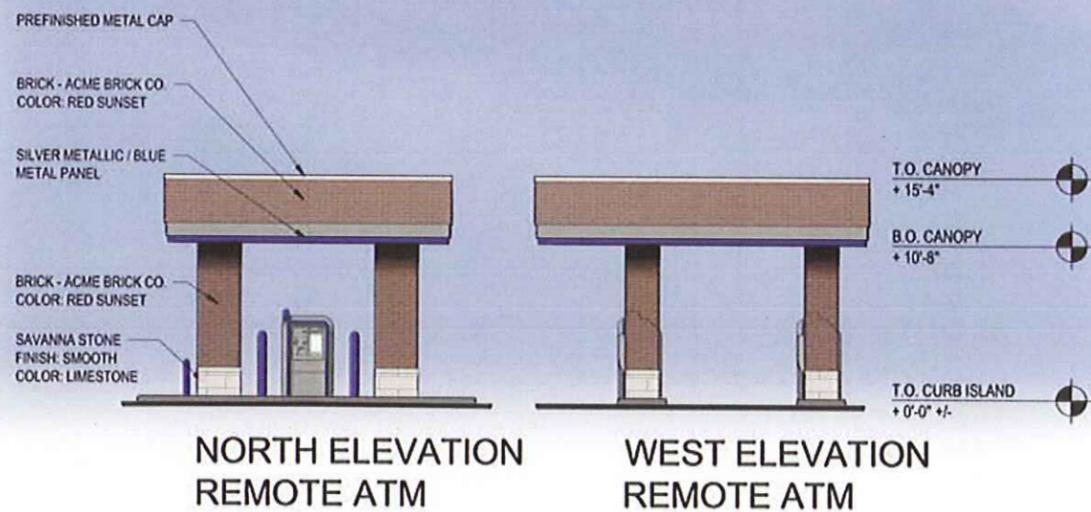
**CHASE**  
 Libertyville Milwaukee - Relo  
 Lot 2 - Gregg's Landing North Commercial  
 Vernon Hills, Illinois

ARCHITECTURAL EXTERIOR ELEVATIONS

10.14.2016

Architect/Designer  
 The Architects Partnership  
 122 South Michigan Avenue  
 Chicago, IL 60603  
 t: 312.583.9800  
 f: 312.583.9890  
 TAP Project Number: 15181



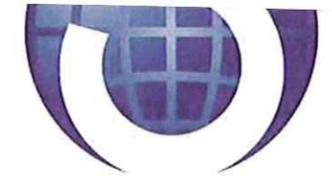
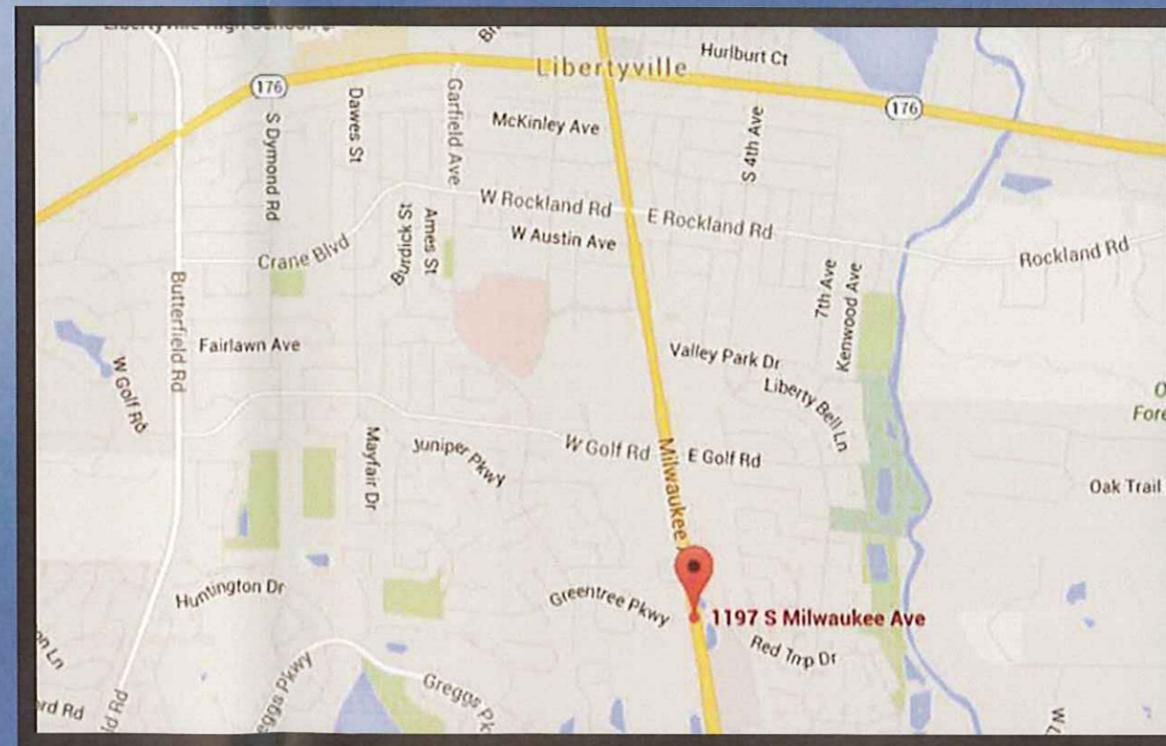


SCALE: 3/32" = 1'-0"  
0 2' 4' 8' 24'

# CHASE



#38100P011977  
Libertyville Milwaukee  
1197 S. Milwaukee Ave.  
Libertyville, IL 60048



## Signtech™

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**JP Morgan Chase Bank**  
#38100P011977

Libertyville Milwaukee  
1197 S. Milwaukee Ave.  
Libertyville, IL 60048

Initial Date: 02/24/16  
Salesperson: Arthur Navarro  
Coordinator: Randi Zeigler  
Designer: bjones  
Scale: As noted

### CUSTOMER APPROVAL

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

Signtech does NOT provide primary  
electrical to sign location -  
**RESPONSIBILITY OF OTHERS!**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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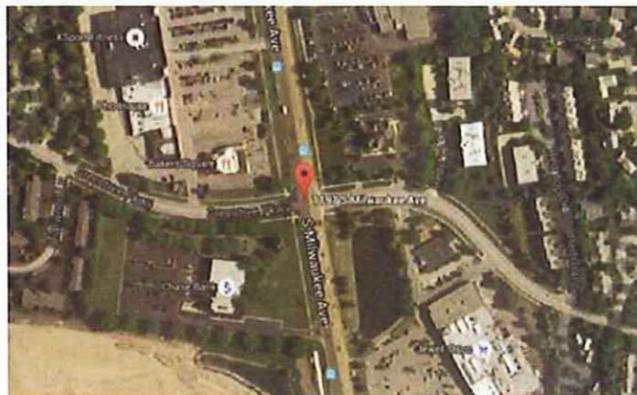
Drawing Number: 16-00429

Project ID: CHASE\_38100P011977\_1

### SIGN LEGEND - ALLOWED

| Elevation | No.  | Sign Type                    | Description  | Sq Ft |
|-----------|------|------------------------------|--|-------|
|           | E.1  | CUSTOM MT PANEL              |  |       |
|           | E.2  | CUSTOM MT PANEL              |  |       |
| East      | E.3  | LIF-WBO-24                   | 24" White Channel Letters and Logo                 | 36.9  |
| South     | E.4  | REQUIRES ADDITIONAL APPROVAL |  |       |
| West      | E.5  | REQUIRES ADDITIONAL APPROVAL |  |       |
| North     | E.6  | REQUIRES ADDITIONAL APPROVAL |  |       |
|           | E.7  | AWN-WU-M                     | Illuminated Metal Awning                           |       |
|           | E.8  | AWN-WU-M                     | Illuminated Metal Awning                           |       |
|           | E.9  | AWN-WU-M                     | Illuminated Metal Awning                           |       |
|           | E.10 | AWN-WU-M                     | Illuminated Metal Awning                           |       |
|           | E.11 | AWN-WU-M                     | Illuminated Metal Awning                           |       |
|           | E.12 | NONE                         | REMOVED FROM SCOPE OF WORK                         |       |
|           | E.13 | TC-P-H-RE                    | Post Mount Do Not Enter Sign                       |       |
|           | E.14 | TC-P-H-RE                    | Post Mount Do Not Enter Sign                       |       |
|           | E.15 | TC-P-ADA-IL-V-RE             | Post Mount Handicap Stall Sign - Van Accessible    |       |
|           | E.16 | TC-P-ADA-IL-RE               | Post Mount Handicap Stall Sign                     |       |
|           | E.17 | CUSTOM D-5-RE                | Non-Illuminated Directional Monument - No Branding |       |
|           | E.18 | CUSTOM D-5-RE                | Non-Illuminated Directional Monument - No Branding |       |
|           | E.19 | CUSTOM D-5-RE                | Non-Illuminated Directional Monument - No Branding |       |
|           | E.20 | CUSTOM D-5-RE                | Non-Illuminated Directional Monument - No Branding |       |
|           | E.21 | DU-C-R                       | ATM Lane Designator                                |       |
|           | E.22 | DU-C-R                       | ATM Lane Designator                                |       |
|           | E.23 | TC-CL-W                      | Clearance Sign                                     |       |
|           | E.40 | NONE                         | REMOVED FROM SCOPE OF WORK                         |       |
|           | E.41 | AWN-WU-M                     | Illuminated Metal Awning                           |       |
|           | E.42 | AWN-WU-M                     | Illuminated Metal Awning                           |       |
|           | E.43 | AWN-WU-M                     | Illuminated Metal Awning                           |       |

|                       |      |
|-----------------------|------|
| Total Proposed Sq Ft  | 36.9 |
| Total Allowable Sq Ft | 50   |
| Difference            | 13.1 |



**AERIAL SITE PLAN NOT TO SCALE**



**SITE PLAN**

**SCALE: 1" = 50'**



**Signtech™**

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www.signtechUSA.com



**JP Morgan Chase Bank  
#38100P011977**

Libertyville Milwaukee  
1197 S. Milwaukee Ave.  
Libertyville, IL 60048

Initial Date: 02/24/16  
Salesperson: Arthur Navarro  
Coordinator: Randi Zeigler  
Designer: bJones  
Scale: As noted

**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

Signtech does NOT provide primary electrical to sign location -  
**RESPONSIBILITY OF OTHERS!**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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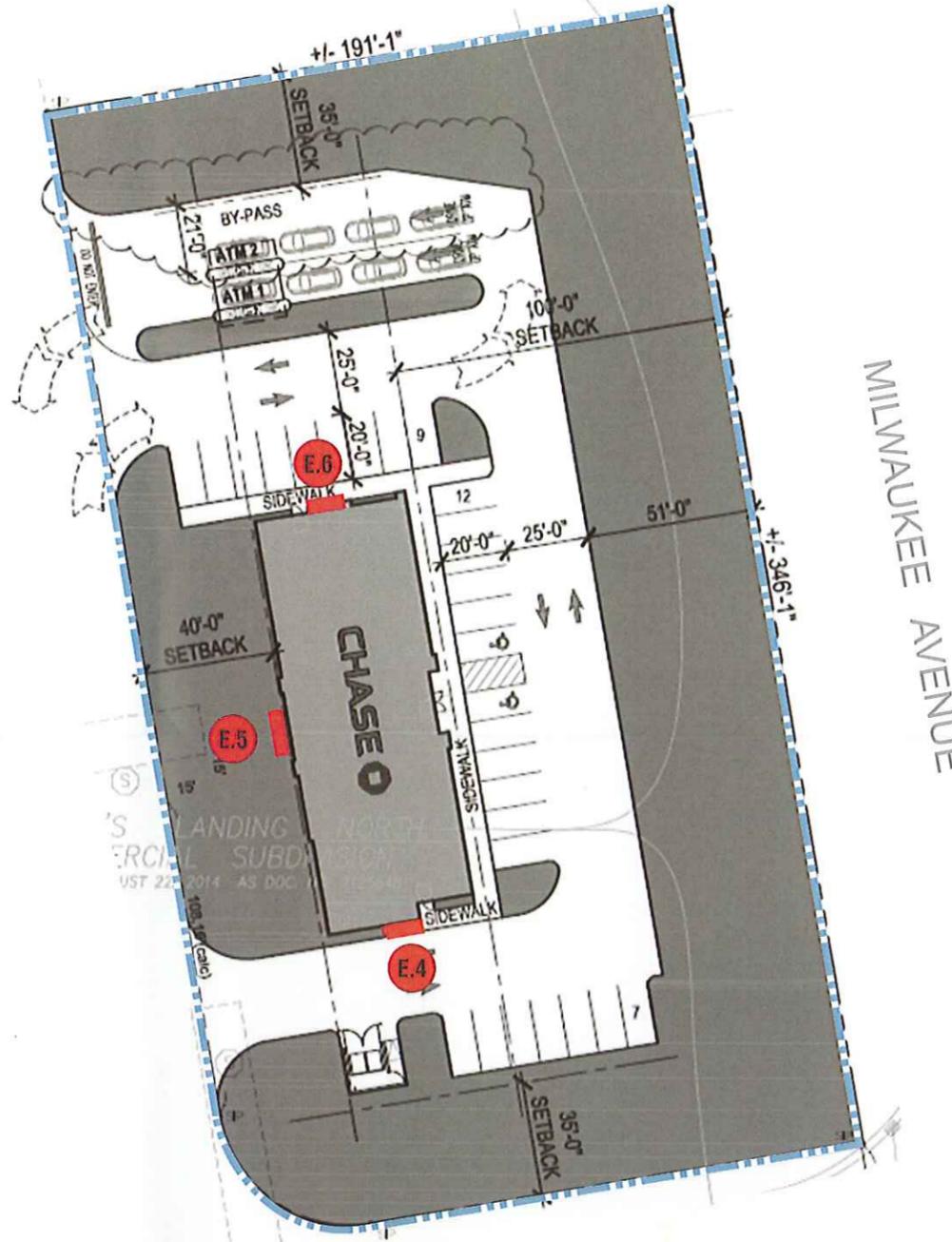
Drawing Number: 16-00429

Project ID: CHASE\_38100P011977\_1

**Sign Legend / Site Plan**

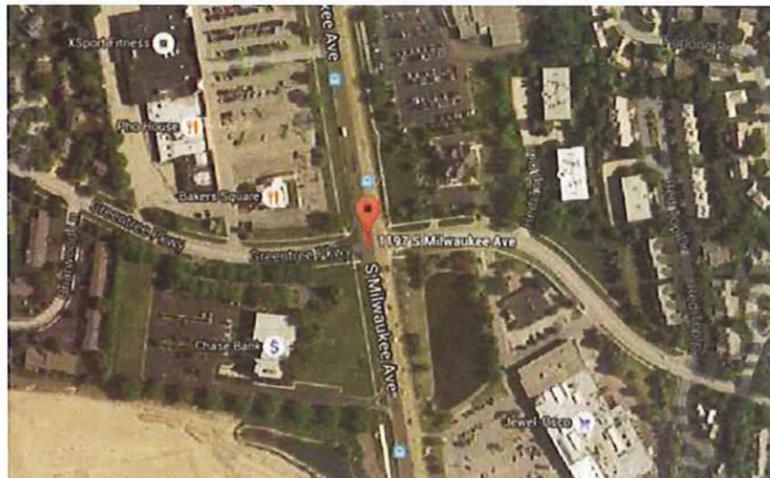
**SIGN LEGEND - REQUIRES ADDITIONAL APPROVAL**

| Elevation             | No. | Sign Type  | Description                        | Sq Ft |
|-----------------------|-----|------------|------------------------------------|-------|
| South                 | E.4 | LIF-WBO-20 | 20" White Channel Letters and Logo | 25.6  |
| West                  | E.5 | LIF-WBO-24 | 24" White Channel Letters and Logo | 36.9  |
| North                 | E.6 | LIF-WBO-20 | 20" White Channel Letters and Logo | 25.6  |
| Total Proposed Sq Ft  |     |            |                                    | 88.1  |
| Total Allowable Sq Ft |     |            |                                    | 50    |
| Difference            |     |            |                                    | -38.1 |



**SITE PLAN**

**SCALE: 1" = 50'**



**AERIAL SITE PLAN**

**NOT TO SCALE**



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 Designer: bjonas  
 Scale: As noted

**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

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Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

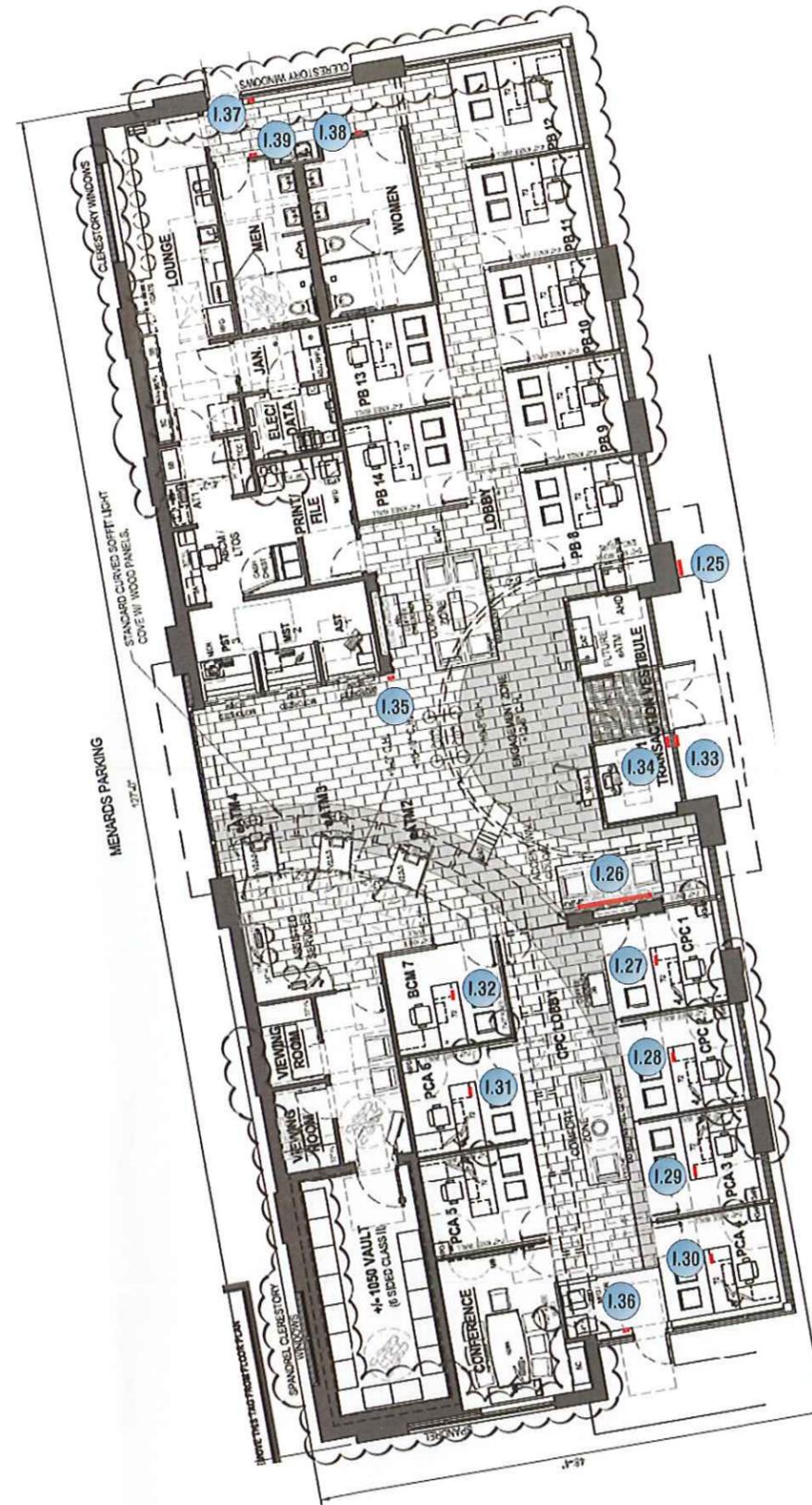
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Drawing Number: 16-00429

Project ID: CHASE\_38100P011977\_1

### SIGN LEGEND - ALLOWED

| Elevation No. | Sign Type          | Description                                   | Sq Ft |
|---------------|--------------------|---|-------|
| I.25          | CPC-EWP-SF-20.5-RE | CPC Entrance Wall Plaque                      |       |
| I.26          | CPC-SSPL-4.5-NI    | CPC Non-Illuminated Stainless Steel Letterset |       |
| I.27          | CPC-TTS-10-RE      | CPC Table Top Sign                            |       |
| I.28          | CPC-TTS-10-RE      | CPC Table Top Sign                            |       |
| I.29          | CPC-TTS-10-RE      | CPC Table Top Sign                            |       |
| I.30          | CPC-TTS-10-RE      | CPC Table Top Sign                            |       |
| I.31          | CPC-TTS-10-RE      | CPC Table Top Sign                            |       |
| I.32          | CPC-TTS-10-RE      | CPC Table Top Sign                            |       |
| I.33          | ADA-EP             | ADA Accessible Entrance Plaque                |       |
| I.34          | ADA-EX             | ADA Exit Plaque                               |       |
| I.35          | ADA-TW             | ADA Accessible Teller Window Plaque           |       |
| I.36          | ADA-EEX            | ADA Emergency Exit Plaque                     |       |
| I.37          | ADA-EEX            | ADA Emergency Exit Plaque                     |       |
| I.38          | ADA-RRW-U-G        | ADA Accessible Women's Restroom Plaque        |       |
| I.39          | ADA-RRM-U-G        | ADA Accessible Men's Restroom Plaque          |       |



FLOOR PLAN

SCALE: 1/16" = 1'-0"

DATE  
8/15/16



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Designer: bjones  
Scale: As noted

#### CUSTOMER APPROVAL

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

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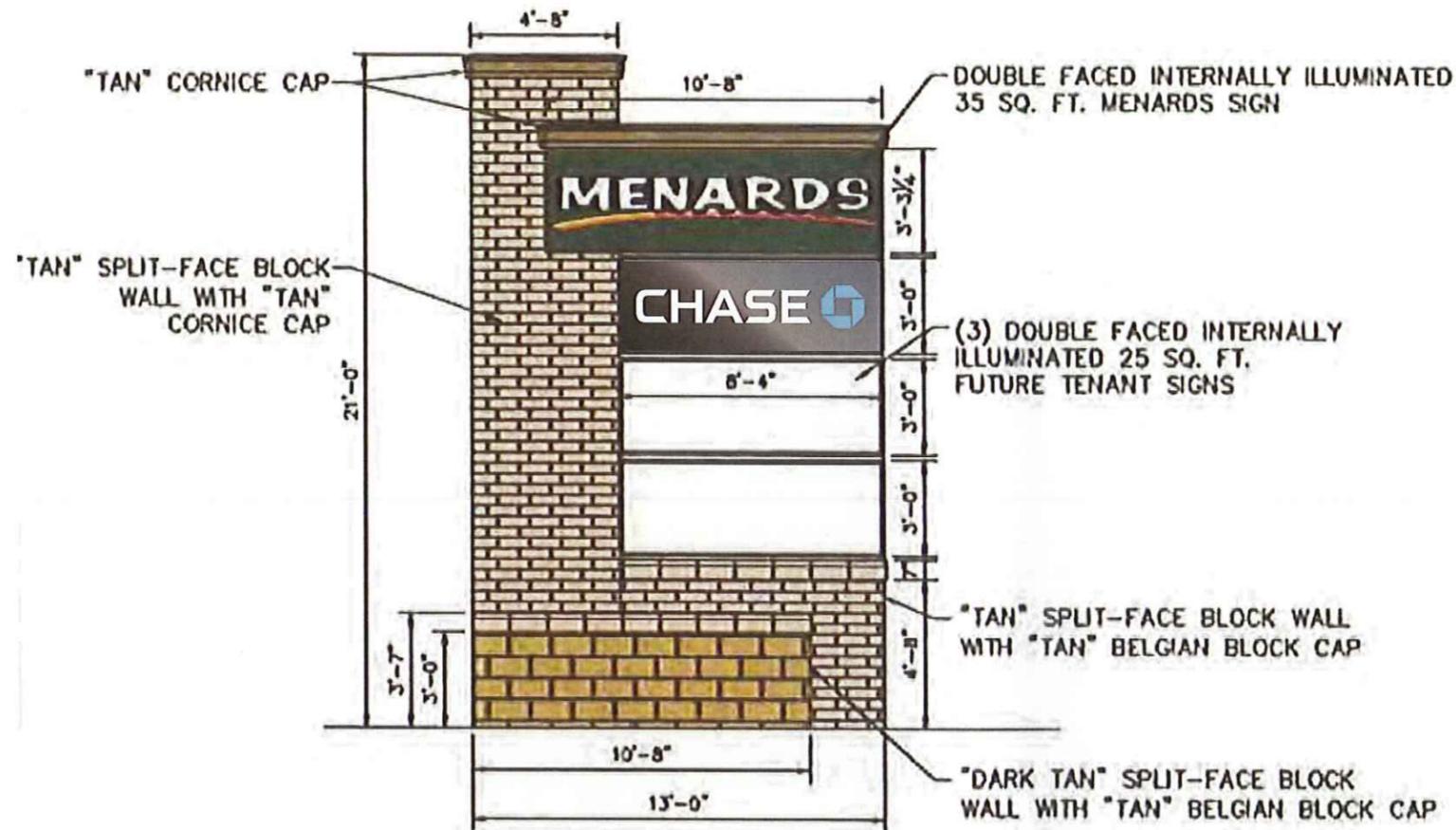
Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
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Drawing Number: 16-00429

Project ID: CHASE\_38100P011977\_1

**Sign Legend / Floor Plan**

# SIGNAGE OVERVIEW - ALLOWED



TENANT MONUMENT ELEVATION SCALE: 3/16" = 1'-0"

E.1 E.2 SIGN TYPE MT TENANT PANEL

**MANUFACTURE AND INSTALL TWO (2) TENANT MONUMENT PANELS FOR NEW D/F ILLUMINATED MONUMENT**



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 Coordinator: Randi Zeigler  
 Designer: biones  
 Scale: As noted

**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

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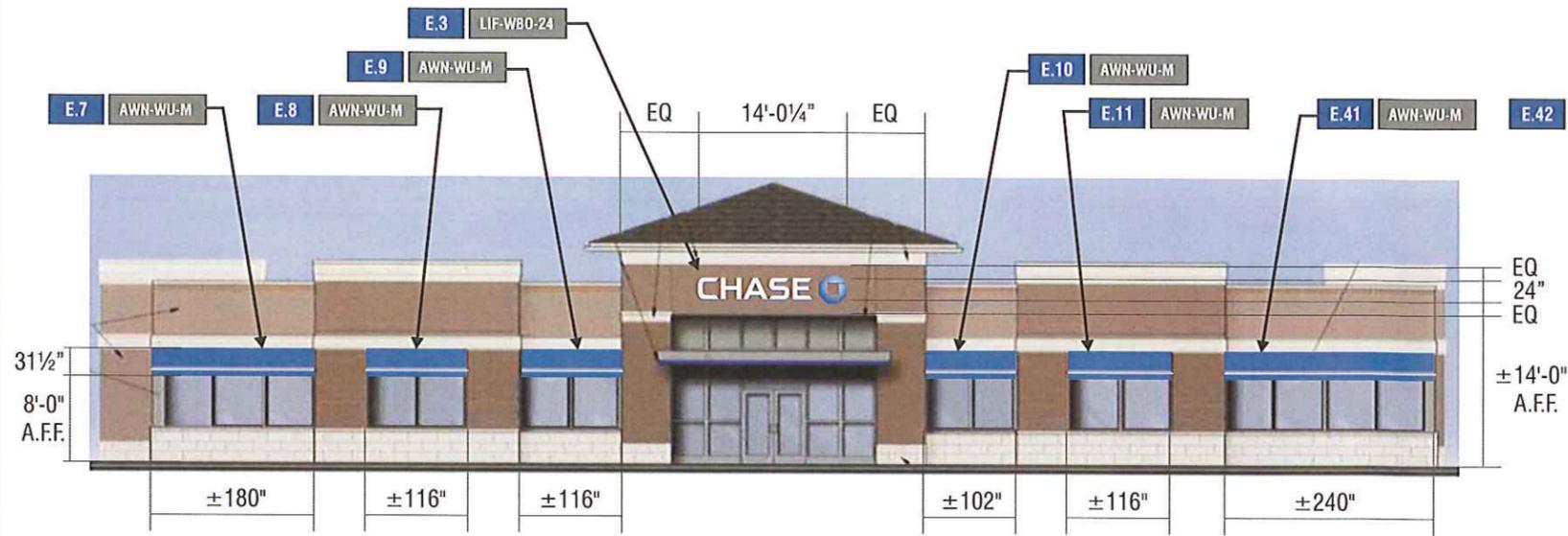
Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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Drawing Number: 16-00429

Project ID: CHASE\_38100P011977\_1

# SIGNAGE OVERVIEW - ALLOWED



**EAST ELEVATION** SCALE: 1/16" = 1'-0"



**NORTH ELEVATION** SCALE: 1/16" = 1'-0"



**WEST ELEVATION** SCALE: 1/16" = 1'-0"



**SOUTH ELEVATION** SCALE: 1/16" = 1'-0"



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 Designer: bjones  
 Scale: As noted

**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

**COPY, COLORS & SIZES**

Signtech does NOT provide primary electrical to sign location - **RESPONSIBILITY OF OTHERS!**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

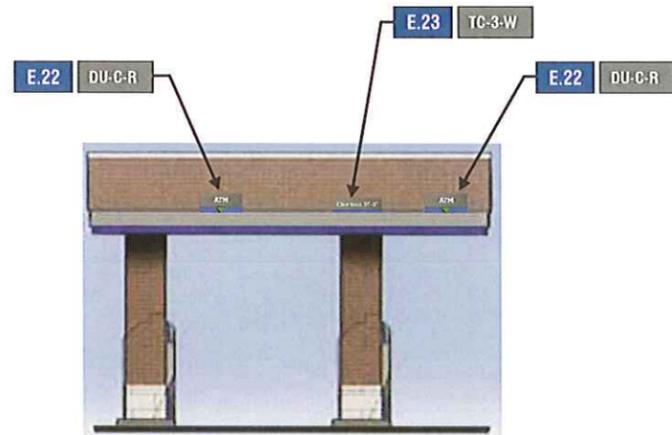
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Drawing Number: 16-00429

Project ID: CHASE\_38100P011977\_1

**Exterior Elevations**

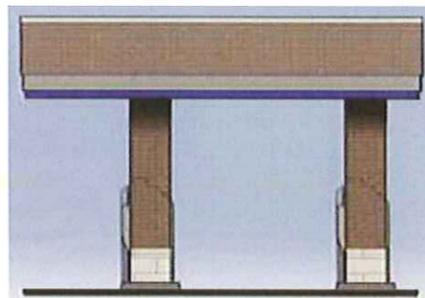
# SIGNAGE OVERVIEW - ALLOWED



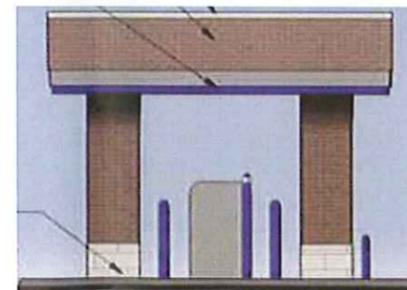
**EAST ELEVATION** SCALE: 3/32" = 1'-0"



**NORTH ELEVATION** SCALE: 3/32" = 1'-0"



**WEST ELEVATION** SCALE: 3/32" = 1'-0"



**SOUTH ELEVATION** SCALE: 3/32" = 1'-0"



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**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

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Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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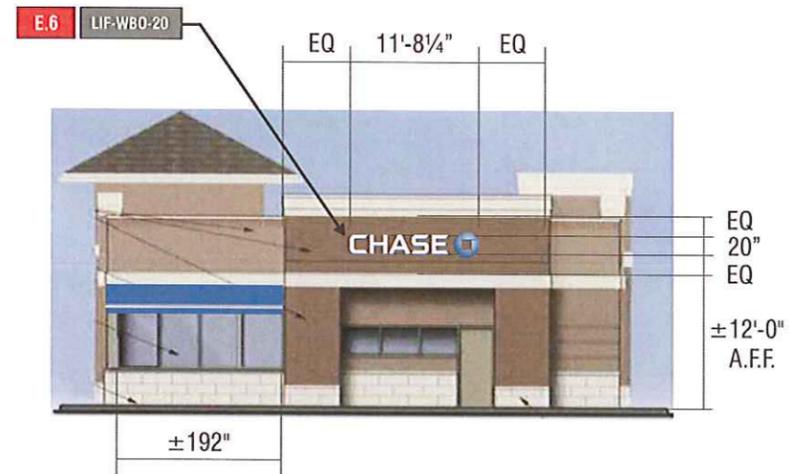
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**Exterior Elevations**

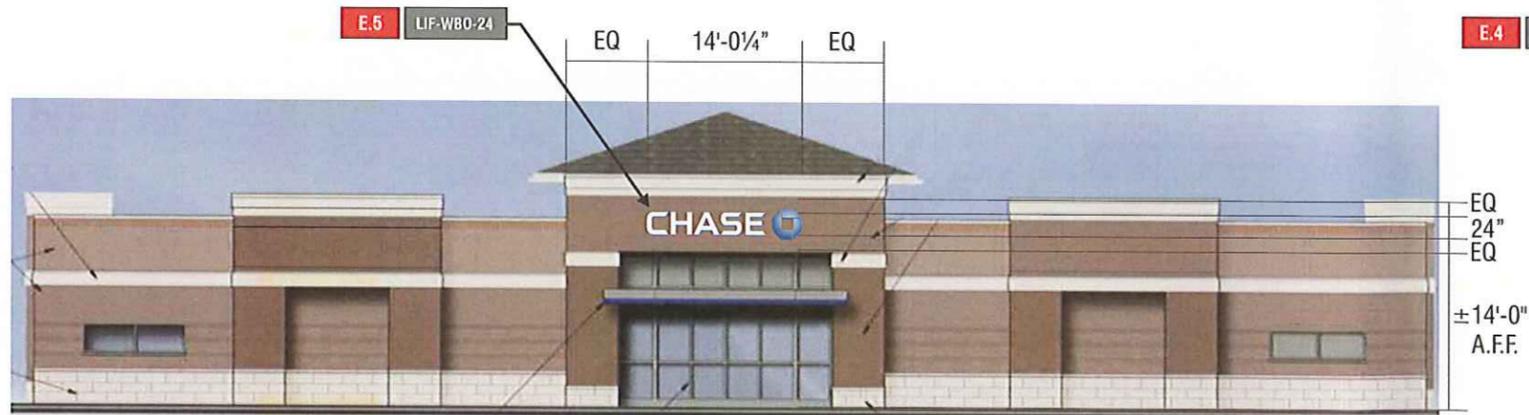
# SIGNAGE OVERVIEW - ADDITIONAL APPROVAL REQUIRED



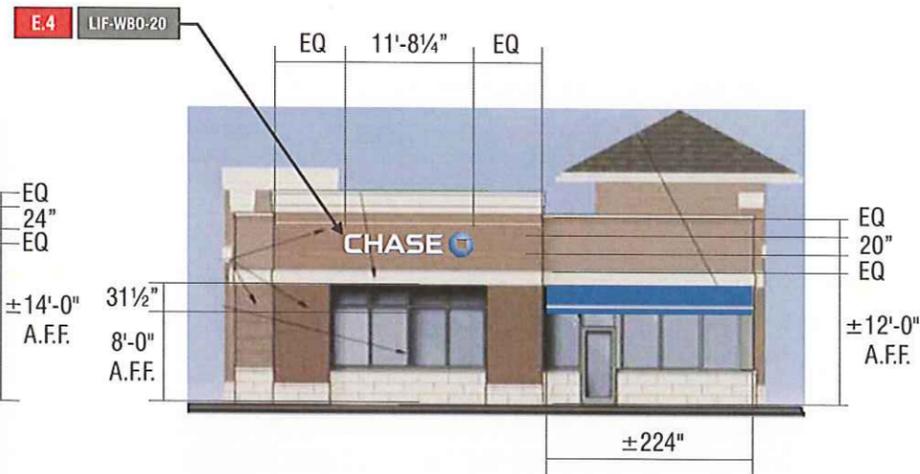
**EAST ELEVATION** SCALE: 1/16" = 1'-0"



**NORTH ELEVATION** SCALE: 1/16" = 1'-0"



**WEST ELEVATION** SCALE: 1/16" = 1'-0"



**SOUTH ELEVATION** SCALE: 1/16" = 1'-0"



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 Scale: As noted

**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

**COPY, COLORS & SIZES**

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Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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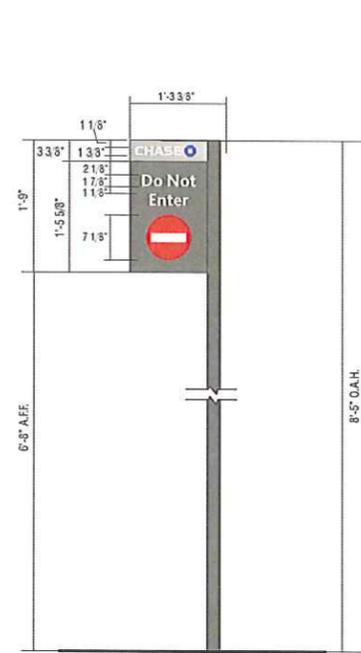
Project ID: CHASE\_38100P011977\_1

**Exterior Elevations**

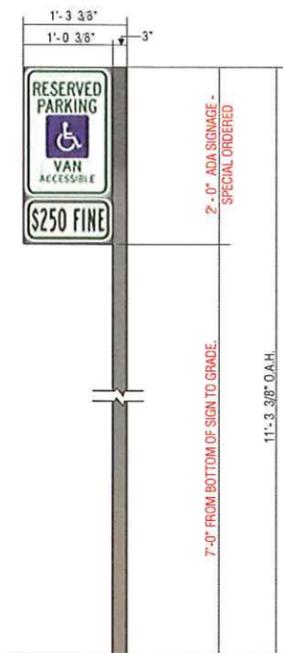
# SIGNAGE OVERVIEW



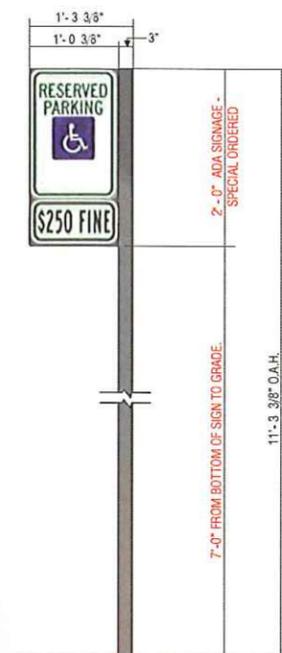
**DRIVE-UP BANKING KIOSK  
TO BE PROVIDED BY OTHERS**



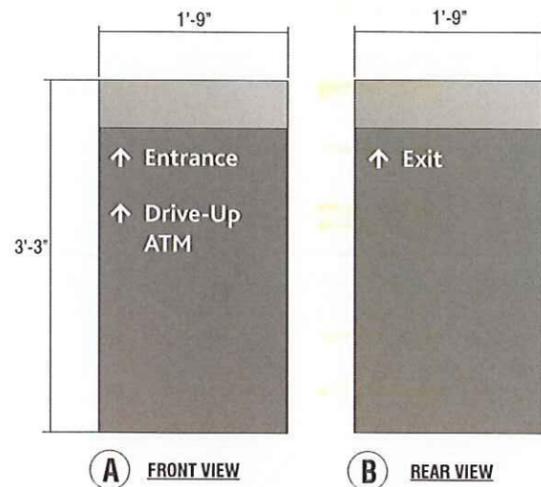
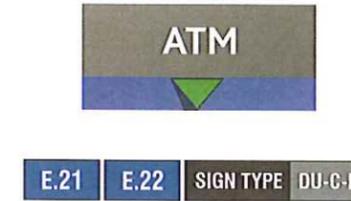
**E.13 | E.14 | SIGN TYPE | TC-P-H-RE**



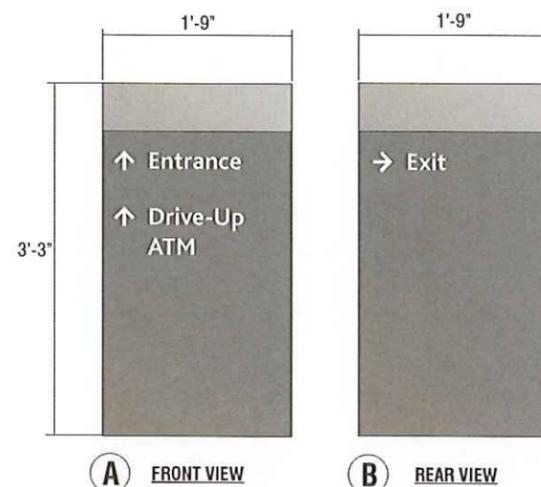
**E.15 | TC-P-ADA-IL-V-RE**



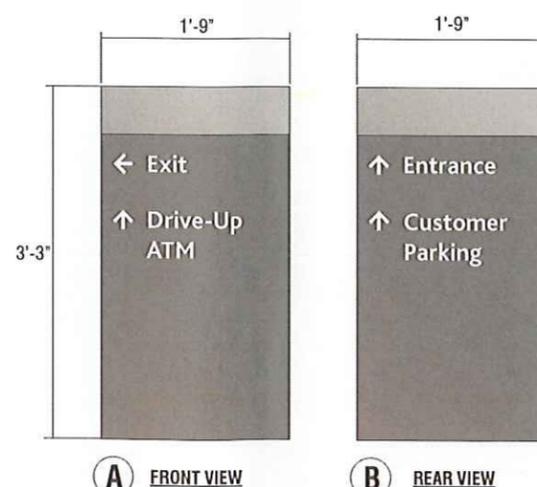
**E.16 | TC-P-ADA-IL-RE**



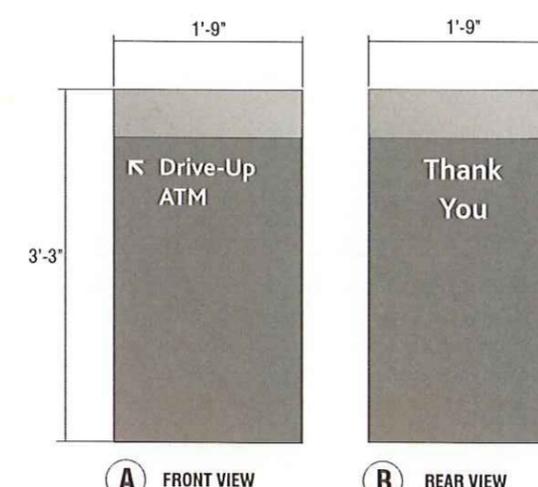
**E.17 | SIGN TYPE | CUSTOM D-5-RE**  
**NO BRANDING**



**E.18 | SIGN TYPE | CUSTOM D-5-RE**  
**NO BRANDING**



**E.19 | SIGN TYPE | CUSTOM D-5-RE**  
**NO BRANDING**



**E.20 | SIGN TYPE | CUSTOM D-5-RE**  
**NO BRANDING**



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Scale: As noted

**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

**COPY, COLORS & SIZES**

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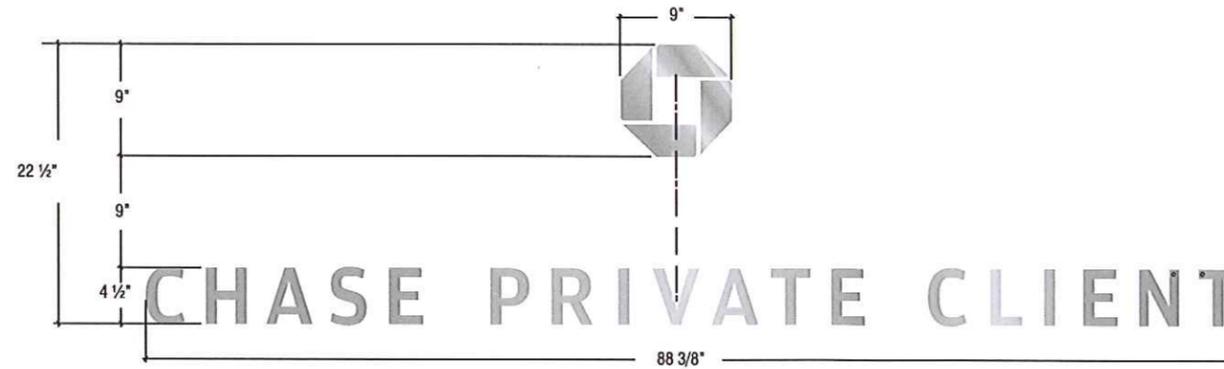
Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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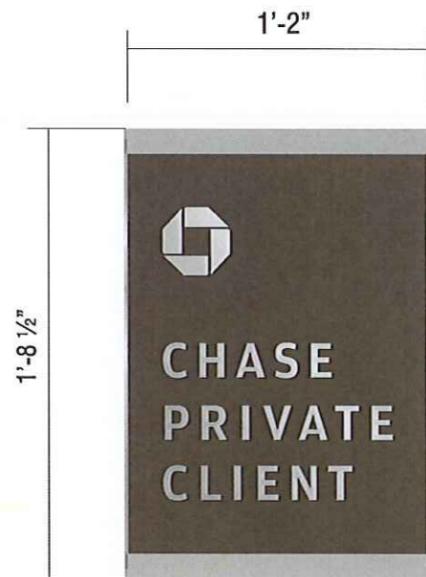
Project ID: CHASE\_38100P011977\_1

# SIGNAGE OVERVIEW

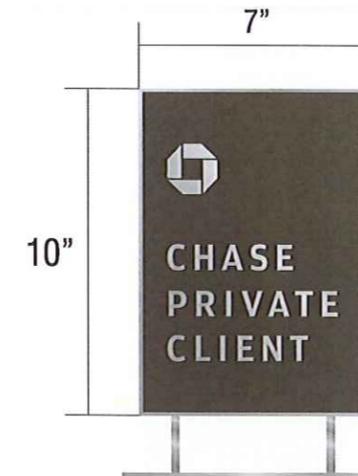


FRONT VIEW SCALE: N.T.S.

**I.26** CPC-SSPL-4.5-NI



**I.25**  
SIGN TYPE CPC-EWP-SF-20.5-RE



**I.27** **I.28** **I.29** **I.30** **I.31** **E.32**  
SIGN TYPE CPC-TTS-10-RE



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Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
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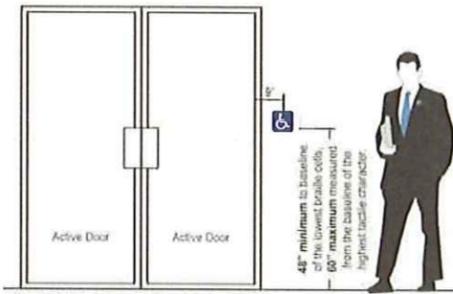
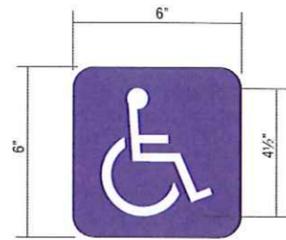
Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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Project ID: CHASE\_38100P011977\_1

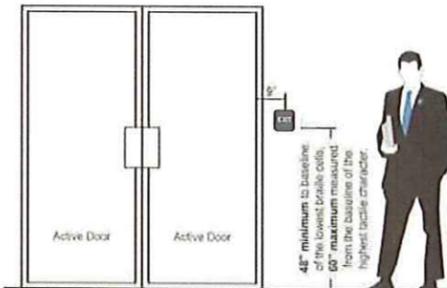
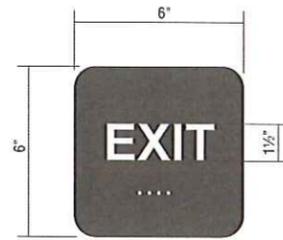
# SIGNAGE OVERVIEW



Double door with both doors active, sign is mounted to the right of the right hand door

I.33

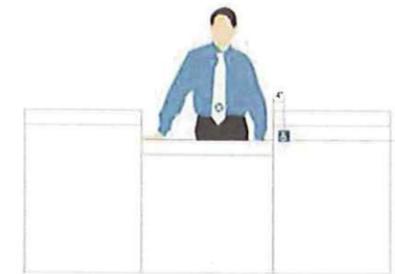
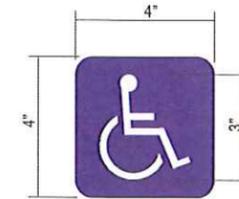
SIGN TYPE ADA-EP ACCESSIBILITY PLAQUE



Double door with both doors active, sign is mounted to the right of the right hand door

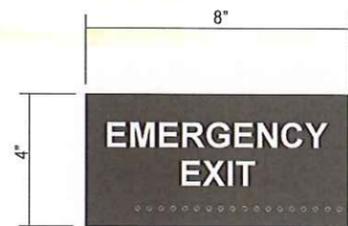
I.34

SIGN TYPE ADA-EX EXIT PLAQUE



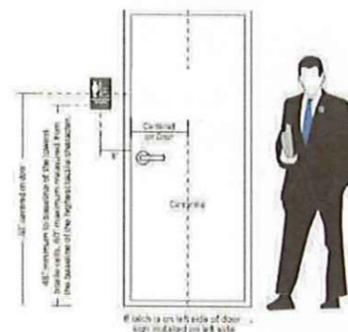
I.35

SIGN TYPE ADA-TW ACCESSIBLE TELLER PLAQUE



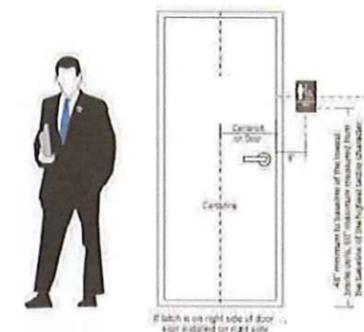
I.36 I.37

SIGN TYPE ADA-EEX EMERGENCY EXIT



I.38

SIGN TYPE ADA-RRW-A-G ACCESSIBLE RESTROOM PLAQUE



I.39

SIGN TYPE ADA-RRM-A-G ACCESSIBLE RESTROOM PLAQUE



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Scale: As noted

### CUSTOMER APPROVAL

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

**COPY, COLORS & SIZES**

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Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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Drawing Number: 16-00429

Project ID: CHASE\_38100P011977\_1



Signage Due Diligence Worksheet

Project Name: Libertyville Milwaukee
Project Site Number: 47214
Address / Legal Description / Intersection:
City / State / Zip: Libertyville IL 60048
Turn Over to Retail: 10/16/2017
Opening Date: 10/23/2017

Developer / Landlord Restrictions - completed by MDRE / PM

General Info: Developer / Landlord Name: N/A - Purchase
Temporary Signs: Is the 8' x 4' Coming Soon Ground Sign Allowed? Per PUD - unknown at this time
Primary Ground Sign: Will Developer / LL allow our standard pylon or monument? Per PUD - unknown at this time
Building Sign: Prototypical FS branch - Will Developer / LL allow our standard illuminated bldg. sign package? Per PUD - unknown at this time
Directional / Regulatory Signs: Is our standard directional and regulatory sign package allowed? Per PUD - unknown at this time
Awnings / ATM Sunscreens: Will Developer / LL allow our branded awnings? Per PUD - unknown at this time
Other Restricting Factors: Is there a MSP that will effect the outcome of us being granted our standard package once we apply for permitting? Per PUD - unknown at this time
Architectural Lighting: Is Architectural lighting allowed? Does it count against overall SF? List provisions. Per PUD - unknown at this time
Additional Comments: Please list any additional comments

Code Allowances - completed by Sign Vendor

General Info: Zoning Designation: B1 General, Vernon Hills, Lake County, Illinois. Mike Atkinson, 847-918-3548, mikeat@vhillis.org
Temporary Signs: Is the 8' x 4' Coming Soon Ground Sign Allowed? No. No, you make application during initial building permit submission.
Primary Ground Sign: Will code allow our standard pylon or monument? No our own standard ground signs are not allowed.
Building Sign: Prototypical FS branch - Will code allow our standard illuminated bldg. sign package? No.
Directional / Regulatory Signs: Is our standard directional and regulatory sign package allowed? Yes.
Awnings / ATM Sunscreens: Are branded awnings allowed? No.
Other Governing Agencies: Identify other governing agencies that could override code (ARB, HRB, PUD, etc) and list the known restrictions. PUD + A permit must be obtained from the Lake county water sewer district.
Permitting / Variance Process: What is the application process and timing for variance approval? Variances are processed along with building permit application.
Architectural Lighting: Is Architectural lighting allowed? Does it count against overall SF? List provisions. Yes, allowed. No does not count as SF.
Additional Comments: Please list any additional comments. Structural engineering must accompany permit package.



Signtech™

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www.signtechUSA.com



JP Morgan Chase Bank
#38100P011977

Libertyville Milwaukee
1197 S. Milwaukee Ave.
Libertyville, IL 60048

Initial Date: 02/24/16
Salesperson: Arthur Navarro
Coordinator: Randi Zeigler
Designer: bjones
Scale: As noted

CUSTOMER APPROVAL

Customer Signature: Date:
COPY, COLORS & SIZES

Signtech does NOT provide primary electrical to sign location - RESPONSIBILITY OF OTHERS!

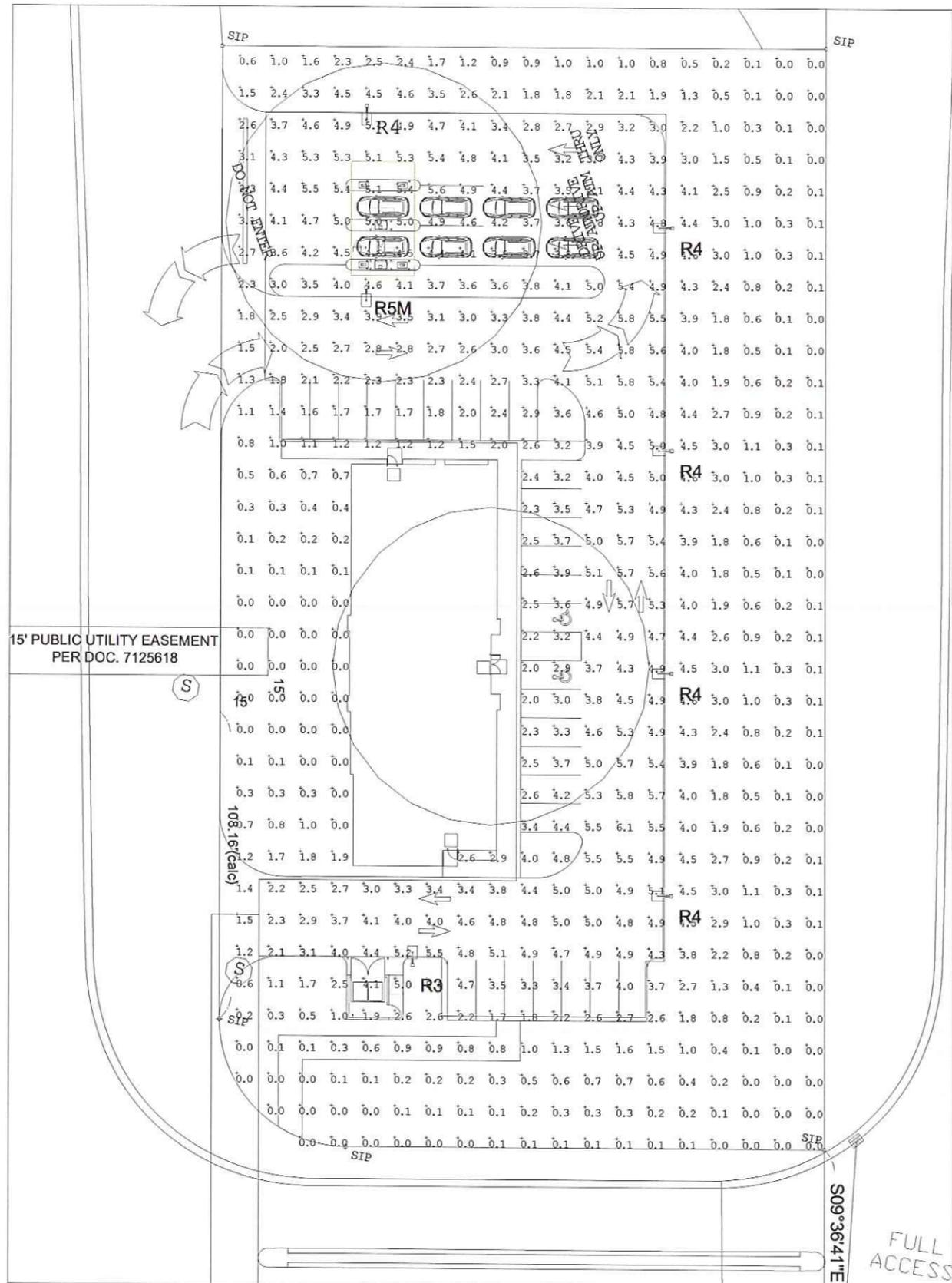
Customer Signature: Date:

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Drawing Number: 16-00429

Project ID: CHASE\_38100P011977\_1

Due Diligence Pages



| Luminaire Schedule |     |       |             |                            |             |            |       |  |
|--------------------|-----|-------|-------------|----------------------------|-------------|------------|-------|--|
| Symbol             | Qty | Label | Arrangement | Description                | Lum. Lumens | Lum. Watts | LLF   |  |
|                    | 1   | R3    | SINGLE      | RZR-III-M-80PLED-1050mA-NW | 23246       | 266        | 0.920 |  |
|                    | 5   | R4    | SINGLE      | RZR-IV-80PLED-1050mA-NW    | 23188       | 266.7      | 0.920 |  |
|                    | 1   | R5M   | SINGLE      | RZR-VSQ-M-80PLED-1050mA-NW | 24955       | 266.1      | 0.920 |  |

| Calculation Summary        |             |       |      |     |     |         |         |  |
|----------------------------|-------------|-------|------|-----|-----|---------|---------|--|
| Label                      | CalcType    | Units | Avg  | Max | Min | Avg/Min | Max/Min |  |
| DRIVE THRU (50' RADIUS)    | Illuminance | Fc    | 4.01 | 5.6 | 2.3 | 1.74    | 2.43    |  |
| EAST ENTRANCE (50' RADIUS) | Illuminance | Fc    | 3.74 | 5.7 | 2.0 | 1.87    | 2.85    |  |
| PARKING LOT                | Illuminance | Fc    | 3.93 | 6.1 | 1.1 | 3.57    | 5.55    |  |

U.S. ARCHITECTURAL / SUN VALLEY LIGHTING  
 660 WEST AVENUE O  
 PALMDALE, CA 93551  
 (661) 223-2000  
 lucasp@usaitg.com

NOTES:  
 See schedule for luminaire specifications.  
 Luminaire Symbols are not to scale.  
 Varying the position, mounting height,  
 or orientation from what is specified in this  
 drawing will invalidate the calculation performed.

DRAWN BY: L.C.P  
 AGENCY: PULP-FRIST & ASSOCIATES, INC.  
 DATE: 10/10/2016  
 SCALE: 1" = 20'

POINT-BY-POINT ILLUMINANCE CALCULATION  
 (AT GRADE)  
 CHASE - VERNON HILLS, IL

REVISED FOR TECHNICAL REVIEW  
 10/10/2016